



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Sergio Mendoza, Planning Director

Meeting Date: November 14, 2023

Agenda Item: PC Docket No. 23-027

Application Type: Final Subdivision, 2-Lot

Hearing: Review/Other

Summary: Attorney Scott Yahne, representing FLOYDS CONCERNS LLC, is seeking Final Plat for a 2-Lot Subdivision for the purpose of supporting Three Floyds Taproom expansion project.

Applicant: Attorney Scott Yahne representing Three Floyds Taproom

Property Address: 9750 Indiana Parkway

Current Zoning: CD-4B - General Urban - B Character District

Adjacent Zoning: North: CD-4B - General Urban - B Character District
South: SD-4A General Urban-A Character District
East: CD-4B - General Urban - B Character District
West: CD-3.R2 - Neighborhood - 60' Lot One Family Residence District

Action Requested: Review of proposed 2-Lot Subdivision, 3 FLOYDS SECOND CONSOLIDATION

Additional Actions Required: Public Hearing, Findings of Fact Approval, Improvements Surety Review

Staff Recommendation: Approve

Exhibit A Attachments: 1. Plat of Consolidation Changes, Exhibit A (pg 7)
2. Proposed Preliminary Plat of Subdivision Application, 49 pages, Exhibit B (pg 8).

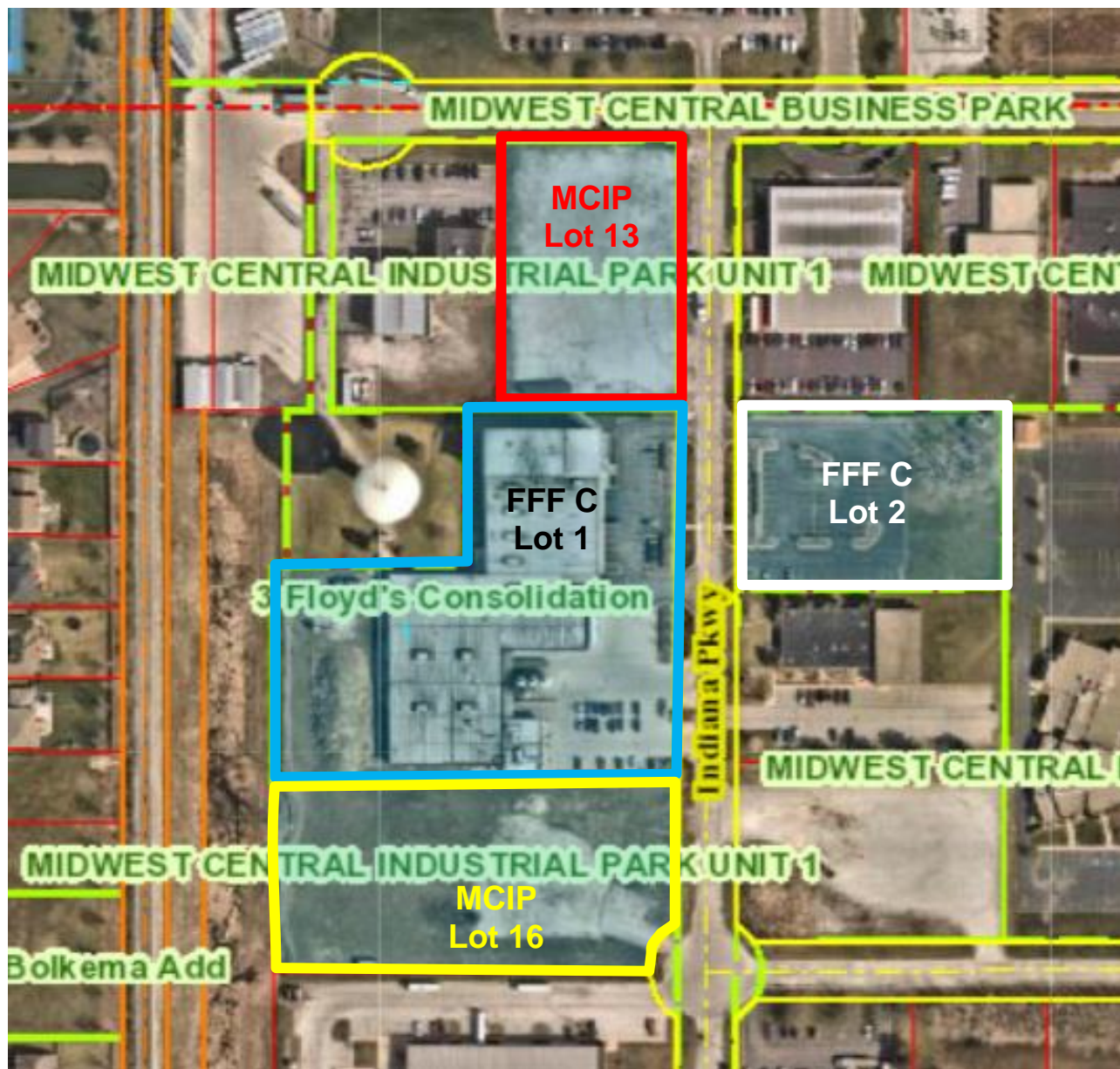


Figure 1 Subject Property.

PROJECT BRIEFING

Attorney Scott Yahne, representing Floyds Concerns LLC, properties (see figure 1) is seeking to combine four lots of records into two lots of records through a replat process to create and record: 3 FLOYDS SECOND CONSOLIDATION, Lot 1 and Lot 2 (see figure 2). The four lots of record to be replated are:

- MIDWEST CENTRAL INDUSTRIAL PARK UNIT 1 LOT 13
- MIDWEST CENTRAL INDUSTRIAL PARK UNIT 1 LOT 16
- 3 FLOYD'S CONSOLIDATION LOT 1

- 3 FLOYD'S CONSOLIDATION LOT 2

Midwest Central Industrial Park Unit 1, Lot 13 and Lot 16, along with 3 Floyd's Consolidation, Lot 1 are to be replated and proposed to be recorded as: LOT 1 of 3 FLOYDS SECOND CONSOLIDATION

3 Floyd's Consolidation, Lot 2 is to be replated as: LOT 2 of 3 FLOYDS SECOND CONSOLIDATION

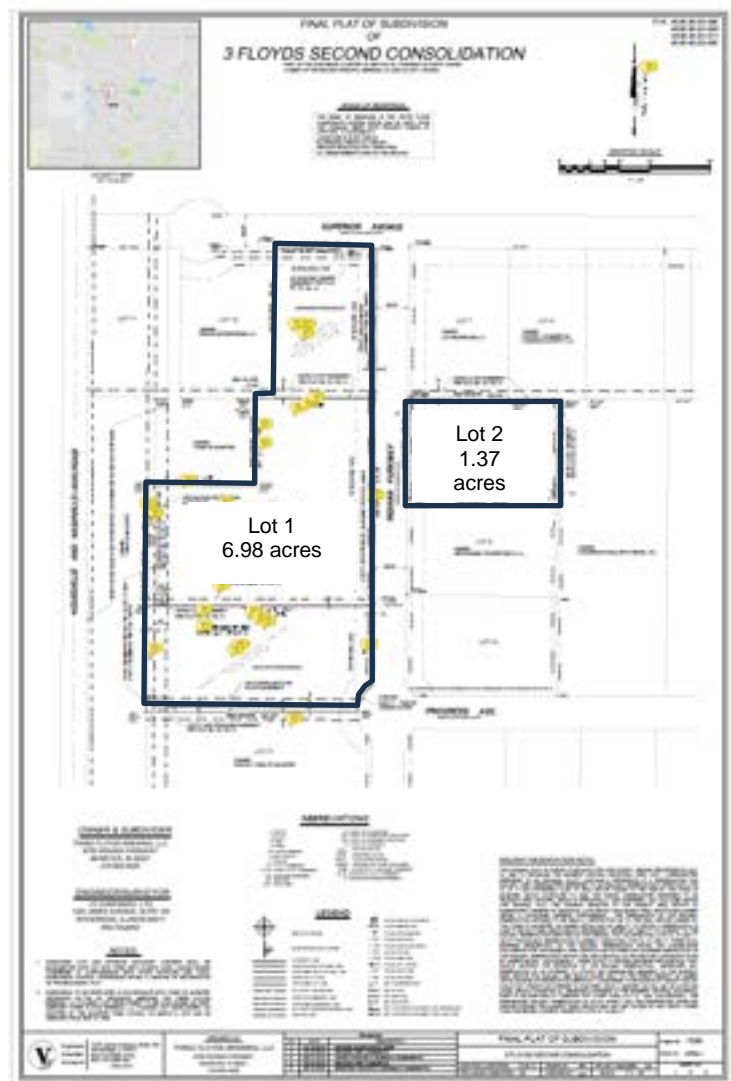


Figure 2 Proposed Final Subdivision Plat of 3 FLOYDS SECOND CONSOLIDATION

The purpose of the subdivision is to create a contiguous 6.98 acre lot of record to expand an existing Taproom and construct a 2,300 sq.ft. building addition for additional bathrooms, game room, kitchen support area, entry vestibule, and outdoor bar, along with a new 3,200 sq.ft. canopy to provide cover for a Biergarten surrounded by landscaped berms.

MUNSTER SUBDIVISION REQUIREMENTS (*CHAPTER 26, ARTICLE V, SUBDIVISIONS*):**Sec. 26-280. Findings of fact by plan commission.**

The plan commission shall adopt written findings of fact setting forth its reasons for approval or denial of the preliminary plat, and provide such findings to the applicant.

Sec. 26-278. Action by plan commission.

After the public hearing provided for in section 26-277, the commission may, if it finds the preliminary plat meets all the requirements, take the following action:

- (1) Grant primary approval as to the general acceptability of the layout as submitted.
- (2) Introduce such changes or revisions as are deemed necessary to the interests and needs of the community.

Sec. 26-277. Public hearing.

- (a) The plan commission shall consider the application for a subdivision and preliminary plat not later than the second regular monthly meeting following its proper submission. If the commission is satisfied that all conditions have been satisfactorily met by the subdivider, it shall set a date for a public hearing on the proposed plat, giving a written notification to the subdivider. The commission shall then publish a notice of the hearing at least ten days prior to the date set for the hearing. The cost of publishing such notice of the hearing shall be paid by the subdivider to the publisher at the time of inserting the notice.
- (b) The applicant for subdivision approval shall provide notice of the public hearing on subdivision approval to all property owners who own property within 200 feet of the proposed subdivision at least ten days prior to the hearing. Additionally, the applicant shall cause a notice of the public hearing on the subdivision to be posted prominently on the property for at least ten days prior to the public hearing using a form and sign provided by the town for this purpose.

Sec. 26-293. Completion of improvements; guarantee of improvements.

- (a) Verification of completion of improvements. When the final plat is submitted to the plan commission for approval, it shall be accompanied by written advice from the town council stating that all improvements and installations to the subdivision for its approval have been made or completed in accordance with ordinances and specifications, in which event the commission may approve the plat.
- (b) Bond in lieu of completion of improvements. If the improvements and installations are not completed as required by the ordinances and specifications, the commission may approve the plat if the applicant provides a bond which:
 - (1) Is in an amount determined by the board and commission to be sufficient to complete the improvements and installations in compliance with the ordinances and specifications.
 - (2) Runs to the town council and town plan commission.
 - (3) Is with surety satisfactory to the town council and town plan commission, which may include:

- a. A surety company entered and licensed to do business in the state;

- b. An unqualified irrevocable standby letter of credit issued by a national bank, an Indiana state bank or other financial institution acceptable to the council and the commission; or
 - c. A deposit of money to a special account controlled by the town.
- (4) Specifies the time for completion of the improvements and installations.
- (c) Guarantee of improvements. In addition, the subdivider shall agree in writing to warrant and guarantee all of the improvements and installations to the subdivision against any defects or imperfections, at his own expense and cost, for a period of two years following acceptance thereof by the town council. The subdivider shall covenant and agree that any defects or imperfections either in workmanship, materials or equipment which may exist, develop or become apparent within the two-year period will be repaired or replaced as may be necessary to the satisfaction of the town, without any expense to the town, and shall accompany the written agreement with a bond which shall:
- (1) Run to the town council.
 - (2) Be in an amount determined by the town council to equal 15 percent of the cost of all improvements and installations to the subdivision.
 - (3) Be with surety satisfactory to the town council and plan commission, which may include:
 - a. A surety company entered and licensed to do business in the state;
 - b. An unqualified irrevocable standby letter of credit issued by a national bank, an Indiana state bank or other financial institution acceptable to the town council and the commission; or
 - c. A deposit of money to a special account controlled by the town.
 - (4) Be conditioned upon the satisfaction of the warranty and guaranty by the subdivider of all the improvements and installations to the subdivision for a period of two years following acceptance thereof by the town council in accordance with requirements of town ordinances. Acceptance shall be conditioned upon an accurate set of as-built engineering drawings being submitted and approved. The drawings shall contain the exact location of all underground utilities, including sewer and water taps, manhole and catch basin invert elevations, and the location and elevations of elevation benchmarks required as identified in subsection 26-362(d). Said as-built plans shall be submitted in paper/hard copy format and a digital format compatible with the town's software.

Sec. 26-294. Action by plan commission.

Within a reasonable time after application for secondary approval of the plat, the commission shall approve or disapprove the plat. If the commission approves the plat, it shall date it and affix the commission's seal upon the plat, together with the certifying signatures of its president and secretary. If the commission disapproves the plat, it shall set forth the reasons therefor in its records and provide the applicant with a copy of such findings. Recording of the plat with the county auditor is required prior to the town accepting the final plat as a legally executed plat.

STAFF FINDINGS and RECOMMENDATION

Staff finds the proposed Final Subdivision Plat plat meets the Town of Munster subdivision requirements and supports Final Subdivision Plat Approval as to the general acceptability of the layout as submitted and that a Guarantee of Performance Surety for sidewalks be presented at the time of Final Plat Approval, or that Final Plat Approval be withheld until such Guarantee of Performance Surety is secured with the Town.

MOTION

The Plan Commission may wish to consider one of the following motions:

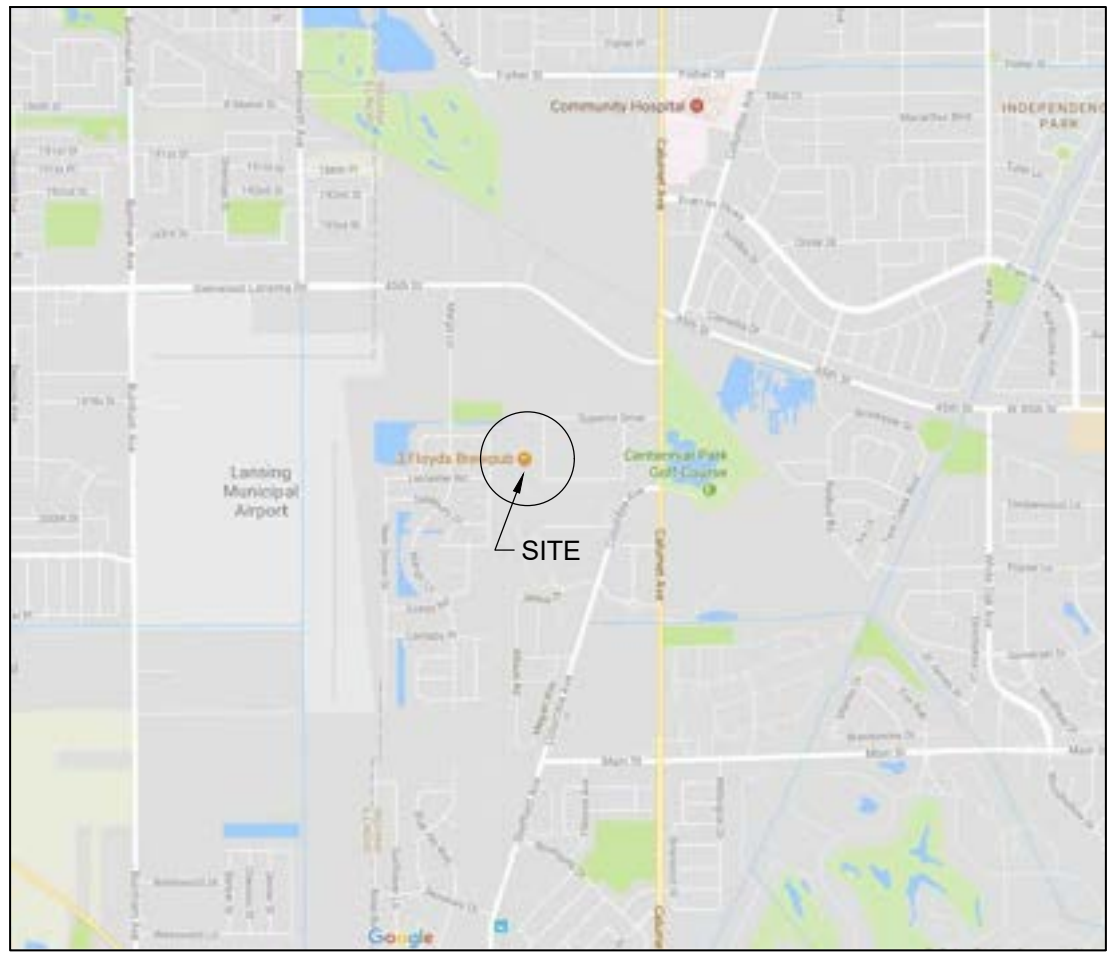
Motion to grant Final Subdivision Plat Approval for PC23-027, 3 FLOYDS SECOND CONSOLIDATION contingent upon a Guarantee of Performance Surety for sidewalks is secured with the Town, including all discussion and findings.

Or

Motion to table/defer Final Subdivision Plat Approval for PC23-027, 3 FLOYDS SECOND CONSOLIDATION until a Guarantee of Performance Surety for sidewalks is secured with the Town, including all discussion and findings.

EXHIBIT A

Final Plat, 3 FLOYDS SECOND CONSOLIDATION



VICINITY MAP
NOT TO SCALE

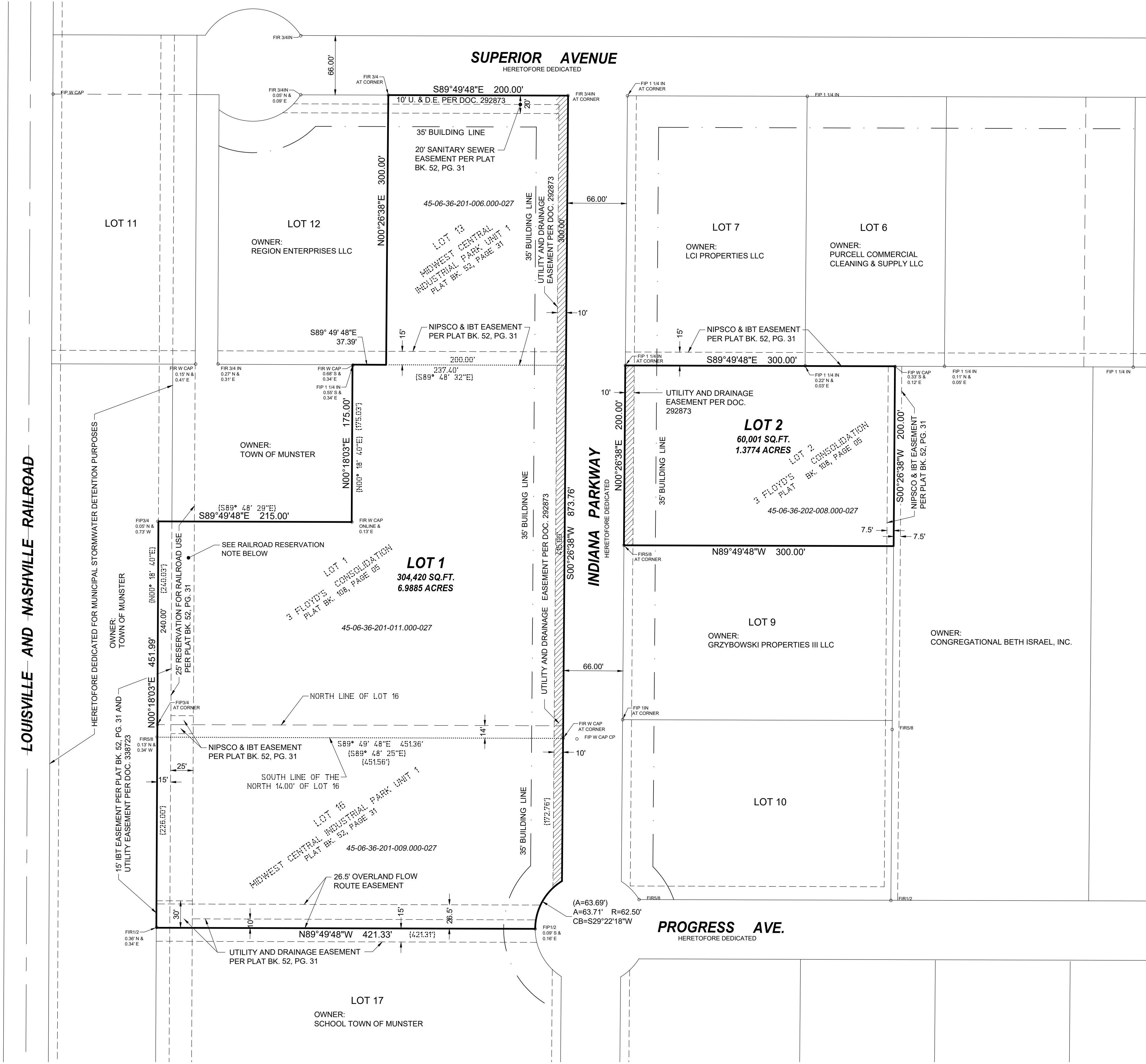
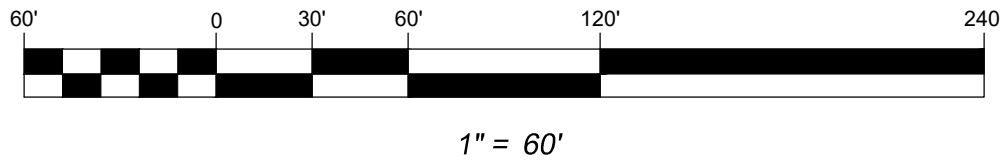
FINAL PLAT OF SUBDIVISION OF 3 FLOYDS SECOND CONSOLIDATION

PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE
10 WEST OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE
1302 (INDIANA WEST) WITH PROJECT ORIGIN AT
LATITUDE 41-32-05.86814 N
LONGITUDE 87-30-55.12359 W
ELLIPSOIDAL HEIGHT: 511.468 SFT
GROUND SCALE FACTOR 1.000417549
ALL MEASUREMENTS ARE ON THE GROUND.

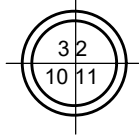
GRAPHIC SCALE



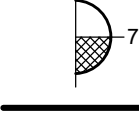
ABBREVIATIONS

N	NORTH	PC	POINT OF CURVATURE
S	SOUTH	PCC	POINT OF COMPOUND CURVATURE
E	EAST	PRC	POINT OF REVERSE CURVATURE
W	WEST	PT	POINT OF TANGENCY
CB	CHORD BEARING	(REC)	RECORD DATUM
A	ARC LENGTH	MEAS.	MEASURED DATUM
R	RADIUS	(CALC)	CALCULATED DATUM
U.E.	UTILITY EASEMENT	<DEED>	INFORMATION TAKEN FROM DEED
P.U.E.	PUBLIC UTILITY EASEMENT	ETBE	EXCEPTION TO BLANKET EASEMENT
D.E.	DRAINAGE EASEMENT	M.U.E.	MUNICIPAL UTILITY EASEMENT
EX.	EXISTING	I.E.	INGRESS & EGRESS EASEMENT
PRO.	PROPOSED		

LEGEND



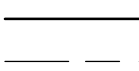
SECTION CORNER



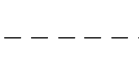
QUARTER SECTION CORNER



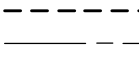
PROPERTY LINE



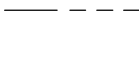
EXISTING RIGHT-OF-WAY LINE



PROPOSED RIGHT-OF-WAY LINE



EXISTING LOT LINE



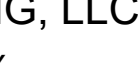
PROPOSED LOT LINE



EX. & PRO. CENTERLINE



EXISTING EASEMENT LINE



PROPOSED EASEMENT LINE



EX. & PRO. BUILDING SETBACK LINE



SECTION LINE



FOUND DISK IN CONCRETE



FOUND BRASS DISC



FOUND ROW MARKER



FOUND IRON ROD



FOUND RAILROAD SPIKE



FOUND PK NAIL



FOUND MAG NAIL



FOUND CUT CROSS



FOUND IRON PIPE



FOUND IRON BAR



SET TRAVERSE POINT



SET PK NAIL



SET MAG NAIL



SET IRON PIPE



SET CONCRETE MONUMENT WITH BRASS DISC



SET CONCRETE MONUMENT WITH IRON PIPE

OWNER & SUBDIVIDER

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

ENGINEER/SURVEYOR

V3 COMPANIES, LTD.
7325 JANES AVENUE, SUITE 100
WOODRIDGE, ILLINOIS 60517
630.724.9200

NOTES:

- SUBDIVIDED LOTS AND EXTERIOR BOUNDARY CORNERS SHALL BE MONUMENTED WITH 3/4" IRON PIPES WITH PLASTIC CAPS, UNLESS SHOWN OTHERWISE, IN CONFORMANCE WITH STATE STATUTES AND LOCAL SUBDIVISION CONTROL ORDINANCES WITHIN 12 MONTHS OF RECORDATION OF THE SECONDARY PLAT.
- SUBDIVISION TO BE DEVELOPED IN ACCORDANCE WITH TOWN OF MUNSTER ORDINANCE NO.1738 AN ORDINANCE AMENDING THE THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT TO BE NOW KNOWN AS FIRST AMENDED THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT AS ADOPTED BY THE MUNSTER TOWN COUNCIL ON MARCH 5, 2018 AND AS AMENDED FROM TIME TO TIME.

RAILWAY RESERVATION NOTE:

THE ORIGINAL PLAT OF SURVEY FILED WITH THE LAKE COUNTY, INDIANA RECORDER ON JULY 19, 1980 TO ESTABLISH THE MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1 (HEREINAFTER REFERRED TO AS "ORIGINAL PLAT"), CONTAINS A REFERENCE TO A "RESERVATION FOR RAILWAY USE" (HEREINAFTER REFERRED TO AS "RAILWAY RESERVATION") AFFECTING LOTS 15, 16, 17 AND OSTENSIBLY ALSO TO REAL ESTATE OWNED AT THE TIME BY THE TOWN OF MUNSTER, WHICH CONTINUES TO OWN THE PARCEL (HEREINAFTER REFERRED TO AS "SUBJECT REAL ESTATE"), WHICH IS SPECIFICALLY AND EXPRESSLY NOT INCLUDED WITHIN THE ORIGINAL PLAT. THE ORIGINAL GRANTOR OF THE SUBJECT REAL ESTATE TO SUBSEQUENT OWNERS OF INDIVIDUAL LOTS WITHIN THE SUBJECT REAL ESTATE WAS KAISER AETNA, A CALIFORNIA GENERAL PARTNERSHIP. THE DESIGNATION OF THE RAILWAY RESERVATION APPEARS TO BE WHOLLY INEFFECTIVE AS TO THE REAL ESTATE OWNED BY THE TOWN OF MUNSTER, AS KAISER AETNA HAD NO ABILITY TO RETAIN A RESERVATION IN LAND IT DID NOT OWN, WHICH WOULD NECESSARILY SEVER ANY ABILITY TO CONNECT TO THE RAILWAY RESERVATION DEPICTED ON THE ORIGINAL PLAT AS AFFECTING LOTS 15, 16, AND 17. AS TO THE RAILWAY RESERVATION ALLEGEDLY IMPACTING LOTS 15, 16, AND 17, THERE IS NO EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION WITHIN THE CONVEYANCE DOCUMENTS FOR THE SUBJECT REAL ESTATE NOR IS THERE ANY EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION WITHIN THE DECLARATION OF PROTECTIVE COVENANTS FILED BY KAISER AETNA. ACCORDINGLY, THERE IS NOT A PROPER EXPRESS DECLARATION THAT WOULD SUPPORT THE RETENTION OF THE RAILWAY RESERVATION. MOREOVER, ANY RESERVATION OF AN INTEREST TO UTILIZE THE DESIGNATED SEGMENT OF THE SUBJECT REAL ESTATE FOR RAILWAY USE WOULD INURE ONLY TO THE DIRECT BENEFIT OF KAISER AETNA (WORDS OF RESERVATION WERE NOT CONSIDERED TO BE WORDS OF "GRANT" AND SO COULD NOT CREATE AN INTEREST IN ANOTHER. OGLE V. BARKER, 224 IND. 489, 68 N.E.2D 550 (1946)), WHICH CONVEYED ALL REMAINING INTEREST IN THE MIDWEST CENTRAL INDUSTRIAL PARK TO BOTABA REALTY COMPANY NOT LATER THAN JULY 31, 1984. ACCORDINGLY, THE REFERENCED RAILWAY RESERVATION IS OF NO AFFECT AND THE REFERENCED AFFECTED PARCELS WITHIN THE SUBJECT REAL ESTATE MAY NOT BE UTILIZED BY ANY PARTY OTHER THAN THE SEIZED CURRENT OWNER OF LOTS 15, 16 AND 17.



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

REVISIONS		
NO.	DATE	DESCRIPTION
1.	02-19-2018	REVISED SUBDIVISION NAME
2.	02-22-2018	REVISED PER COMMENTS
3.	06-21-2018	ADDED PARKING & SIDEWALK EASEMENTS
4.	08-02-2018	REVISED PER COMMENTS
5.	09-18-2023	REMOVED PARKING & SIDEWALK EASEMENTS

FINAL PLAT OF SUBDIVISION

3 FLOYDS SECOND CONSOLIDATION

DRAFTING COMPLETED:	02-06-18	DRAWN BY:	SPK	PROJECT MANAGER:	AJS
FIELD WORK COMPLETED:	N/A	CHECKED BY:	AJS	SCALE:	1" = 60'

Project No: 17265

Group No: VP04.1

SHEET NO.
1 of 2

FINAL PLAT OF SUBDIVISION
OF
3 FLOYDS SECOND CONSOLIDATION

PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE
10 WEST OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA.

OWNER'S CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

THE UNDERSIGNED, FLOYDS CONCERN, LLC, DOES HEREBY CERTIFY THAT IT IS THE OWNER
OF THE PROPERTY DESCRIBED HEREON, AND THAT IT HAS CAUSED SAID PROPERTY TO BE
SURVEYED AND SUBDIVIDED AS SHOWN HEREON.

DATED THIS ____ DAY OF _____, 20 ____.

BY: _____ ATTEST: _____
TITLE: _____ TITLE: _____

NOTARY CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE
OF INDIANA, APPEARED _____, AND
EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING
INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN
EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20 ____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: A RESIDENT OF ____ COUNTY

PRINTED SIGNATURE

MORTGAGEE CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

THE UNDERSIGNED, AS MORTGAGOR, UNDER THE PROVISIONS OF A CERTAIN MORTGAGE
DATED _____ A.D., 20____ AND RECORDED IN THE RECORDER'S OF DEEDS
OFFICE OF _____ COUNTY, ILLINOIS ON THE ____ DAY OF _____
_____, A.D., ____
_____, MONTH ____ YEAR

AS DOCUMENT NO. _____ HEREBY CONSENTS TO AND APPROVES THE
SUBDIVISION OF THE LAND AND THE GRANTING OF THE EASEMENT(S) DEPICTED HEREON.

DATED THIS ____ DAY OF _____ A.D., 20 ____.

MORTGAGOR NAME : _____

BY: _____ ATTEST: _____
ITS: _____ ITS: _____

NOTARY CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE
OF INDIANA, APPEARED _____, AND
EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING
INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN
EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20 ____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: A RESIDENT OF ____ COUNTY

PRINTED SIGNATURE

PLAN COMMISSION CERTIFICATE

UNDER THE AUTHORITY PROVIDED IN INDIANA CODE 36-7-4-700 (SEC.700-799), AS AMENDED
FROM TIME TO TIME BY THE TOWN COUNCIL OF THE TOWN OF MUNSTER, LAKE COUNTY,
INDIANA, THIS PLAT OF SUBDIVISION WAS GIVEN APPROVAL BY THE TOWN OF MUNSTER AS
FOLLOWS:

APPROVED BY THE TOWN OF MUNSTER PLAN COMMISSION AT A MEETING HELD ON THE
____ DAY OF _____, 20 ____.

PRESIDENT

SECRETARY

NOTARY CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE
OF INDIANA, APPEARED _____, AND
EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING
INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN
EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20 ____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: A RESIDENT OF ____ COUNTY

PRINTED SIGNATURE

TOWN ENGINEER'S CERTIFICATE

MY SIGNATURE, AS TOWN ENGINEER FOR THE TOWN OF MUNSTER, CERTIFIES THAT THIS
PLAT MEETS ALL THE REQUIREMENTS OF TOWN ORDINANCES. APPROVED THIS
____ DAY OF _____, 20 ____.

TOWN ENGINEER

OVERLAND FLOOD ROUTE EASEMENT PROVISIONS

THERE ARE STRIPS OF GROUND DESIGNATED ON THIS PLAT AS "OVERLAND FLOOD ROUTE"
WHICH ARE AREAS DESIGNED TO DIRECT THE SURFACE FLOW OF STORM WATER TO PASS
THROUGH THE DEVELOPMENT WITHOUT DAMAGE TO PROPERTY. NO BUILDINGS OR
STRUCTURES MAY BE PLACED WITHIN SAID STRIPS THAT WOULD ADVERSELY AFFECT THE
FREE FLOW OF STORM WATER. EACH OWNER OR SUBSEQUENT PURCHASER SHALL BE
EQUALLY RESPONSIBLE FOR MAINTAINING THE OVERLAND FLOOD ROUTE EASEMENT AREAS
AND SHALL NOT DESTROY OR MODIFY GRADES OR SLOPES IN ACCORDANCE WITH THE
TOWN APPROVED INFRASTRUCTURE ENGINEERING PLANS WITHOUT FIRST HAVING
RECEIVED PRIOR WRITTEN APPROVAL OF THE TOWN OF MUNSTER.

PLANNED UNIT DEVELOPMENT PLAN

THERE IS A DEVELOPMENT PLAN ASSOCIATED WITH THIS FINAL PLAT OF SUBDIVISION, WHICH
IS AUTHORIZED THROUGH TOWN OF MUNSTER ORDINANCE 1738, AN ORDINANCE AMENDING
THE THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT TO BE NOW KNOWN AS
FIRST AMENDED THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT, COPIES OF
WHICH ARE ON FILE WITH THE TOWN OF MUNSTER.

REFERENCE SURVEY

ALTA/NSPS LAND TITLE SURVEY TITLED THREE FLOYDS BREWING, LAST REVISED 12-13-2017,
RECORDED ON FEBRUARY 28, 2018, AS DOCUMENT NUMBER 2018-013591; THERE ARE NO
SUBSTANTIAL DIFFERENCES BETWEEN SAID SURVEY AND THIS PLAT.

FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA OF 0.2% ANNUAL CHANCE FLOOD;
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF
LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE
MILE; AND AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE
FLOOD (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF LAKE
COUNTY, INDIANA AND INCORPORATED AREAS (COMMUNITY PANEL
NO. 18089C0117E) MAP REVISED JANUARY 18, 2012.

LEGAL DESCRIPTION

LOT 1 AND LOT 2 IN 3 FLOYD'S CONSOLIDATION, BEING A SUBDIVISION OF PART OF THE
NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 10 WEST OF THE SECOND
PRINCIPAL MERIDIAN, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE
OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS
SHOWN IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY,
INDIANA.

ALSO,

LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT
1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31,
IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

SURVEYOR'S CERTIFICATE

STATE OF INDIANA)
) SS
COUNTY OF LAKE)

I, ANTHONY J. STRICKLAND, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND
SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT THE
PROPERTY DESCRIBED HEREON HAS BEEN SURVEYED AND SUBDIVIDED BY MYSELF OR
UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A REPRESENTATION OF SAID SURVEY
AND SUBDIVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT SAID SURVEY
CONFORMS TO THE REQUIREMENTS AS SET FORTH UNDER TITLE 865 IAC, RULE 12.

DATED THIS ____ DAY OF _____, A.D., 20 ____.

ANTHONY J. STRICKLAND
INDIANA PROFESSIONAL LAND SURVEYOR NO. LS20800143
MY LICENSE EXPIRES ON JULY 31, 2024



Engineers 7325 Janes Avenue, Suite 100
Scientists Woodridge, IL 60517
Surveyors 630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

REVISIONS			
NO.	DATE	DESCRIPTION	
1.	02-19-2018	REVISED SUBDIVISION NAME	
2.	02-22-2018	REVISED PER COMMENTS	
3.	06-21-2018	ADDED PARKING & SIDEWALK EASEMENTS	
4.	08-02-2018	REVISED PER COMMENTS	
5.	09-18-2023	REMOVED PARKING & SIDEWALK EASEMENTS	

FINAL PLAT OF SUBDIVISION

3 FLOYDS SECOND CONSOLIDATION

DRAFTING COMPLETED:	02-06-18	DRAWN BY:	SPK	PROJECT MANAGER:	AJS
FIELD WORK COMPLETED:	N/A	CHECKED BY:	AJS	SCALE:	1" = N/A

Project No: 17265

Group No: VP04.1

SHEET NO.
2 of 2

EXHIBIT B

49 page application and supporting documents



Petition PC 23 - 027

Date: 10/24/2023

Application Fee: \$

Sign Fee: \$

Town of Munster Plan Commission Petition Application

OWNER INFORMATION:

Floyds Concern, LLC

Name of Owner

(219) 922-3565

Phone Number

9750 Indiana Parkway, Munster, IN 46321

Street address, City, ST, ZIP Code

nick@3floyds.com

Email address

APPLICANT OR PETITIONER INFORMATION (if different than above):

Floyds Concern, LLC c/o Scott E. Yahne, Yahne Law, P.C.

Name of Applicant/Petitioner

(219) 513-9892

Phone Number

9301 Calumet Avenue, Suite 2F, Munster, IN 46321

Street address, City, ST, ZIP Code

scott@yahnelaw.com

Email address

PROPERTY INFORMATION:

Three Floyds Taproom

Business or Development Name (if applicable)

CD-4B

9750 Indiana Parkway, Munster, IN 46321

Address of Property or Legal Description

Current Zoning

APPLICATION INFORMATION:

Please select what this Application is for:

☒ **Subdivision**

If yes, select one of the following:

☐ **Preliminary Plat**

☒ **Final Plat**

☐ **Development Plan Review**

☐ **Rezoning (including Planned Unit Development) – Proposed Zoning District**

Brief Description of Project:

Petitioner seeks to consolidate a total of three (3) existing lots along the Western side of Indiana Parkway into one (1) contiguous 6.9885 acre lot. After consolidation, petitioner seeks to construct a 2,300 sq.ft. building addition, containing additional bathrooms, game room, kitchen support area, entry vestibule, and outdoor bar, along with a new 3,200 sq.ft. canopy to provide cover to the new outdoor Biergarten. The Biergarten will be nestled in a bermed landscape, planted with native grasses, trees, & flowering perennials.

Gabriel McKee, V Three Studios, LLC

Name of Registered Engineer, Architect or Land Surveyor

(314) 922-7212

Phone Number

2717 Sutton Blvd., Maplewood, MO 63143

Street address, City, ST, ZIP Code

gabriel.mckee@v3-studios.com

Email address



Petition PC 23 - 027

Town of Munster Plan Commission Application Signature Page

Scott E. Yahne & Gabriel McKee

I hereby authorize _____ to act on my behalf as my agent in this petition and to furnish, upon request, supplemental information in support of this petition application.

Signature of Owner

Nicholas Floyd, Manager

10/23/2023

Date

Signature of Applicant

Scott E. Yahne, Yahne Law, P.C.,
one of Floyd's Concern, LLC's attorneys

10/23/2023

Date

REQUIRED ATTACHMENTS

Required Attachments for Plan Commission Applications

To ensure that adequate information is provided to the Plan Commission, please check off each of these items and provide documentation to the Community Development Department at the time of submittal of the application.

ALL APPLICATIONS	Included	N/A
Narrative statement describing project	✓	
Property owner consent (Signature page)	✓	
Proof of Ownership (e.g. copy of tax bill)	✓	
Current ALTA Survey	✓	
Vicinity Plan (A dimensioned drawing to scale of the planned building(s)/improvements in the context of the surrounding properties, including existing buildings and driveways at least one block in every direction)	✓	

The following pages list the additional attachments required for specific applications. Please refer to your type of petition request and provide the additional required attachments.

SUBDIVISION - PRELIMINARY PLAT	Included	N/A
Single-Family Residential Subdivision		
Preliminary Plat		
Engineering Plans		
Storm Water Report		
Commercial or Multi-Family Residential Subdivision		
Preliminary Plat		
Engineering Plans		
Storm Water Reports		
Preliminary Development Plan containing:		
Boundary identification		
Fire hydrant locations		
Accessory structures		
Parking lot design		
Utility location		
Building footprints		
Proposed curb cuts		
Drainage/detention plans		
Traffic circulation		
Ingress/egress locations		
Major topographic information		
Infrastructure improvements		

SUBDIVISION - FINAL PLAT	Included	N/A
Final Plat	✓	
Engineering Plans	✓	
Stormwater report	✓	
Special Studies as required – see Site Plan Review Committee minutes		✓

REZONING (including PLANNED UNIT DEVELOPMENT amendments)	Included	N/A
Preliminary Development Plan containing at a minimum:		
Boundary Identification		
Fire hydrant locations		
Accessory structures		
Parking lot design		
Utility location		
Building footprints		
Proposed curb cuts		
Drainage/detention plans		
Traffic circulation		
Ingress/egress locations		
Major topographic information		
Proposed Use table		
Stormwater report		
Special Studies as Required– see Site Plan Review Committee minutes		

DEVELOPMENT PLAN	Included	N/A
Detailed Site plan including:		
Boundary identification		
Fire hydrant locations		
Accessory structures		
Parking lot design		
Utility location		
Building footprints		
Proposed curb cuts		
Drainage/detention plans		
Traffic circulation		
Ingress/egress locations		
Major topographic information		
Infrastructure improvements		
Square footage of:		
Lot or parcel		
Existing impervious surface		
Proposed total impervious (existing plus current proposal)		
Existing building		
Proposed total building (existing plus current proposal)		

Existing parking and pavement		
Proposed total parking and pavement (existing plus current proposal)		
Relevant dimensions including:		
Buildings		
Parking stalls		
Driveway widths		
Setbacks to buildings and other improvements		
Parking lot aisles, turnarounds, turning radii, etc.		
Distance from driveway to street corner if less than 200'		
Sidewalk, walkway and handicap ramp widths and locations		
Widths of abutting R.O.W.'s, roadways, and terraces.		
Full color architectural renderings of all building elevations with materials identified		
Proposed lighting for site, including:		
Photometric Plan		
Location of all light fixtures		
Pole height		
Luminaire type and manufacturer's specifications for all exterior light fixtures		
Landscaping plan drawn to scale including:		
Common and Latin plant names		
Planting specifications		
Total number of trees provided		
Total square footage of landscaped area on site and internal to the parking lot		
Identification of area used to calculate internal parking lot landscaping		
Fence detail drawing		
Dumpster enclosure detail drawing		
Sign detail drawing		
Special studies as required– see Site Plan Review Committee minutes		

NOTE: If you checked any exhibits "N/A", please explain:

Special Studies have been marked as N/A since there have been no special studies requested by Munster.

Town of Munster
Legal Notice
Plan Commission Petition Nos. PC 23-024, PC 23-027 and PC 23-0__

A petition to subdivide property, including an Application for Preliminary Plat Approval and an Application for Final Plat Approval, in conformance with the Town of Munster Zoning Ordinance (collectively the “Subdivision Applications”), has been filed by Floyds Concern, LLC (the “Petitioner”). Additionally, Petitioner has filed an Application for Development Plan Review in conformance with the Town of Munster Zoning Ordinance (the “Development Plan Application”).

Notice is hereby given that at the Town of Munster, Lake County, Indiana, will hold a public hearing in the Munster Town Hall, 1005 Ridge Road, at 7:30 p.m. on November 14, 2023, to consider the Application for Preliminary Plat Approval, the Application for Final Plat Approval and the Application for Development Plan Review (collectively the “Petitions”).

As described in the Subdivision Applications, Petitioner is requesting to consolidate a total of three (3) lots along the western side of Indiana Parkway into one (1) contiguous 6.9885 acre lot together with one (1) existing lot on the eastern side of Indiana Parkway to be known as:

3 Floyds Second Consolidation

located upon the real estate commonly known as 9750 Indiana Parkway, Munster, IN 46321 (the “Real Estate”).

As described in the Subdivision Applications, Petitioner is requesting to construct a 2,300 sq. ft. building addition, containing additional bathrooms, game room, kitchen support area, entry vestibule, and outdoor bar, along with a new 3,200 sq.ft. canopy to provide cover to the new outdoor Biergarten. The Biergarten will be nestled in a bermed landscape, planted with native grasses, trees, & flowering perennials.

The Real Estate consists of 6.9885 acres and is currently legally described as follows:

Legal Description:

LOT 1 AND LOT 2 IN 3 FLOYD'S CONSOLIDATION, BEING A SUBDIVISION
OF PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36
NORTH, RANGE 10 WEST OF THE SECOND PRINCIPAL MERIDIAN, AS PER
PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE OFFICE
OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

ALSO,

LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

COMMONLY KNOWN AS: 9812, 9750 and 9731 Indiana Parkway and 448 Superior Avenue, Munster, IN 46321

Parcel Identification Nos.: 45-06-36-201-011.000-027
45-06-36-201-006.000-027
45-06-36-202-008.000-027
45-06-36-201-009.000-027

Anyone interested in the Petitions may appear in person or by agent at the public meeting. Written objections, filed with the Plan Commission Executive Secretary, Sergio Mendoza, before the hearing before the hearing will be considered. The hearing may be continued from time to time as may be found necessary. All information concerning the Petitions is on file in the Community Development Office, 1005 Ridge Road, Munster, Indiana, 46321, for public examination.

To join the meeting using Zoom:

<https://us02web.zoom.us/j/81328495728?pwd=NTdQUUgxWVFFbFd5STJiZjB3RjlRZz09>

Meeting ID: 813 2849 5728

Passcode: 849295

Sergio Mendoza, Executive Secretary

Note to Times:

to be published on any one of the following dates:

November 1 (Wednesday), November 2 (Thursday) or November 3 (Friday).

Town of Munster
Notice to Owners of Affected Property
Plan Commission Petition Nos. PC 23-024, PC 23-027 and PC 23-0__

Petitioner: Floyds Concern, LLC
Address: 9750 Indiana Parkway, Munster, IN 46321

Notice is hereby given that at the regularly scheduled meeting of November 14, 2023 at 7:30 p.m., at the Munster Town Hall, 1005 Ridge Road, Munster, Indiana, the Plan Commission will conduct a public hearing on the following:

A petition to subdivide property, including an Application for Preliminary Plat Approval and an Application for Final Plat Approval, in conformance with the Town of Munster Zoning Ordinance (collectively the “Subdivision Applications”), has been filed by Petitioner.

Additionally, Petitioner has filed an Application for Development Plan Review in conformance with the Town of Munster Zoning Ordinance.

Anyone interested in the petition may appear in person or by agent. Written objections, filed with the Plan Commission Secretary before the hearing, will be considered. The hearing may be continued from time to time as may be found necessary. All information concerning the Petitions is on file in the Community Development Office, 1005 Ridge Road, Munster, Indiana, 46321, for public examination.

To join the meeting using Zoom:

<https://us02web.zoom.us/j/81328495728?pwd=NTdQUUgxWVFFbFd5STJiZjB3RjlhZz09>

Meeting ID: 813 2849 5728

Passcode: 849295

Floyds Concern, LLC

By: _____
Scott E. Yahne, one of its attorneys

EXHIBIT A
LEGAL DESCRIPTION OF PROPERTY

LOT 1 AND LOT 2 IN 3 FLOYD'S CONSOLIDATION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 10 WEST OF THE SECOND PRINCIPAL MERIDIAN, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

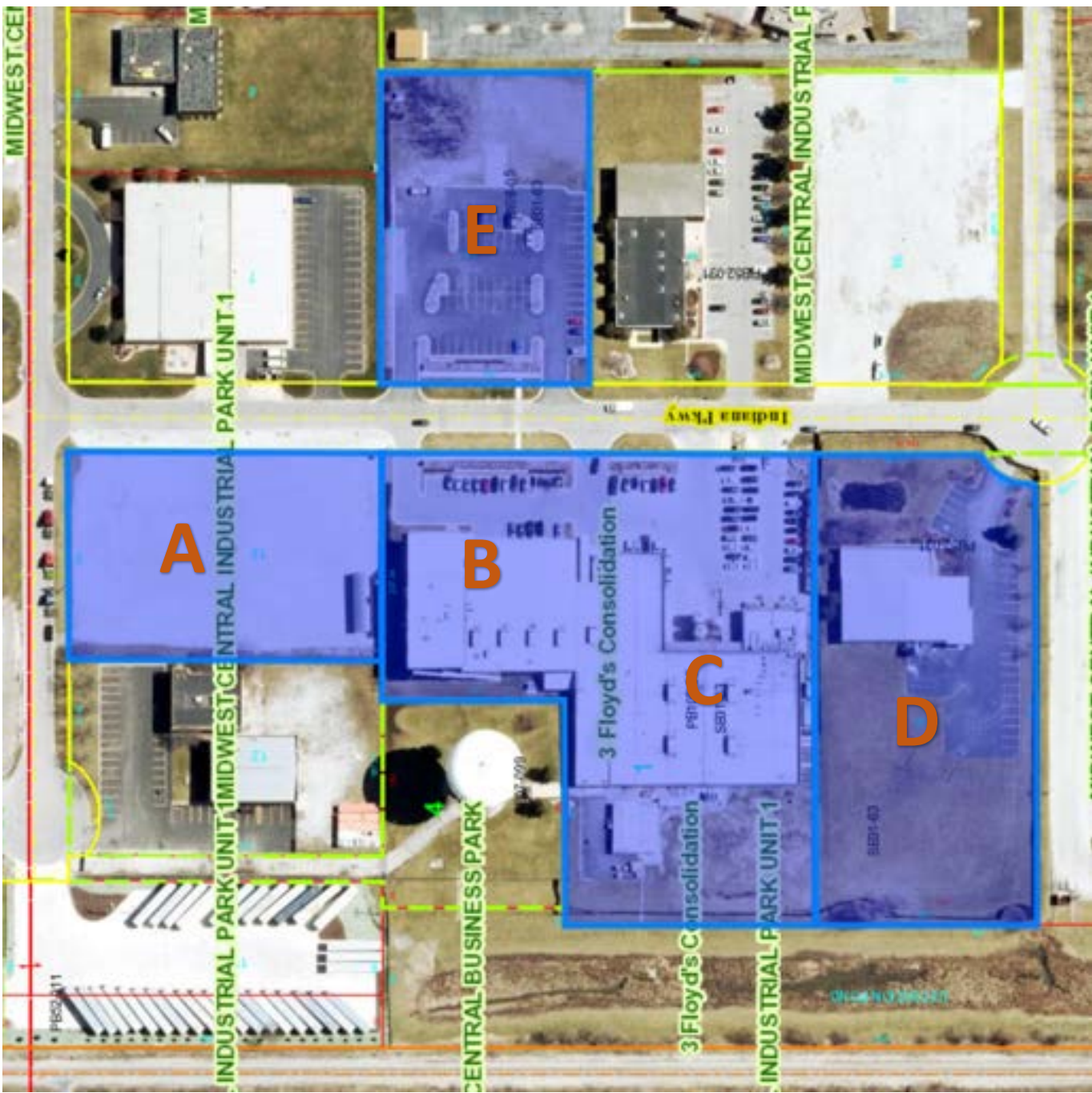
LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

ALSO,

LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

COMMONLY KNOWN AS: 9812, 9750 and 9731 Indiana Parkway and 448 Superior Avenue,
Munster, IN 46321

Parcel Identification Nos.: 45-06-36-201-011.000-027
45-06-36-201-006.000-027
45-06-36-202-008.000-027
45-06-36-201-009.000-027



☆ **Parcel: 45-06-36-201-009.000-027** > | ...

Owner:

Floyds Concern LLC

Mailing Address:

9750 Indiana Parkway Munster IN 46321

Site Address:

9812 INDIANA PKWY MUNSTER IN 46321

☆ **Parcel: 45-06-36-201-006.000-027** > | ...

Owner:

Floyds Concern LLC

Mailing Address:

9750 Indiana PARK Munster IN 46321

Site Address:

448 SUPERIOR AVE MUNSTER IN 46321

☆ **Parcel: 45-06-36-201-011.000-027** > | ...

Owner:

Floyds Concern LLC

Mailing Address:

9748 Indiana PKWY Munster IN 46321

Site Address:

9750 Indiana PKWY Munster IN 46321

☆ **Parcel: 45-06-36-202-008.000-027** > | ...

Owner:

Floyds Concern LLC

Mailing Address:

9748 Indiana PKWY Munster IN 46321

Site Address:

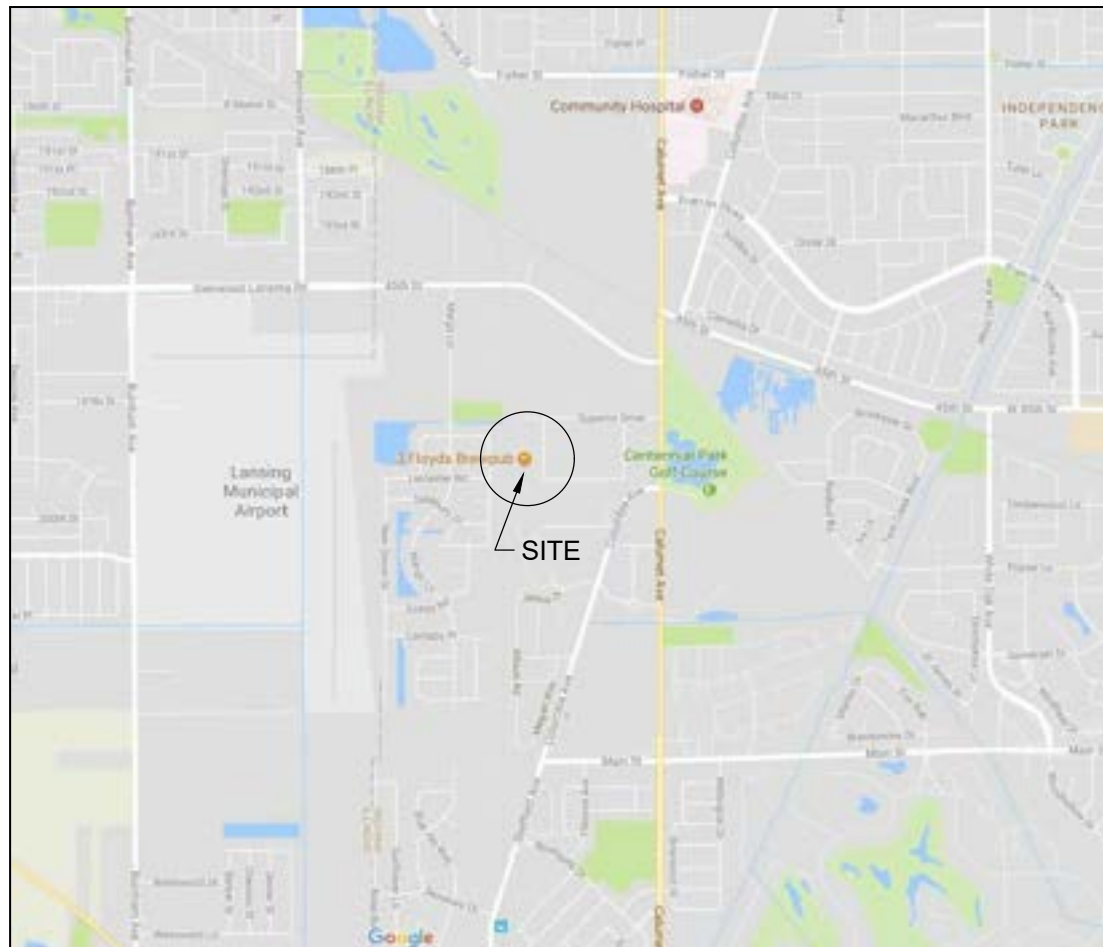
9731 Indiana PKWY Munster IN 46321

THREE FLOYDS BREWING





VICINITY PLAN
SCALE= 1"= 100'



VICINITY MAP
NOT TO SCALE

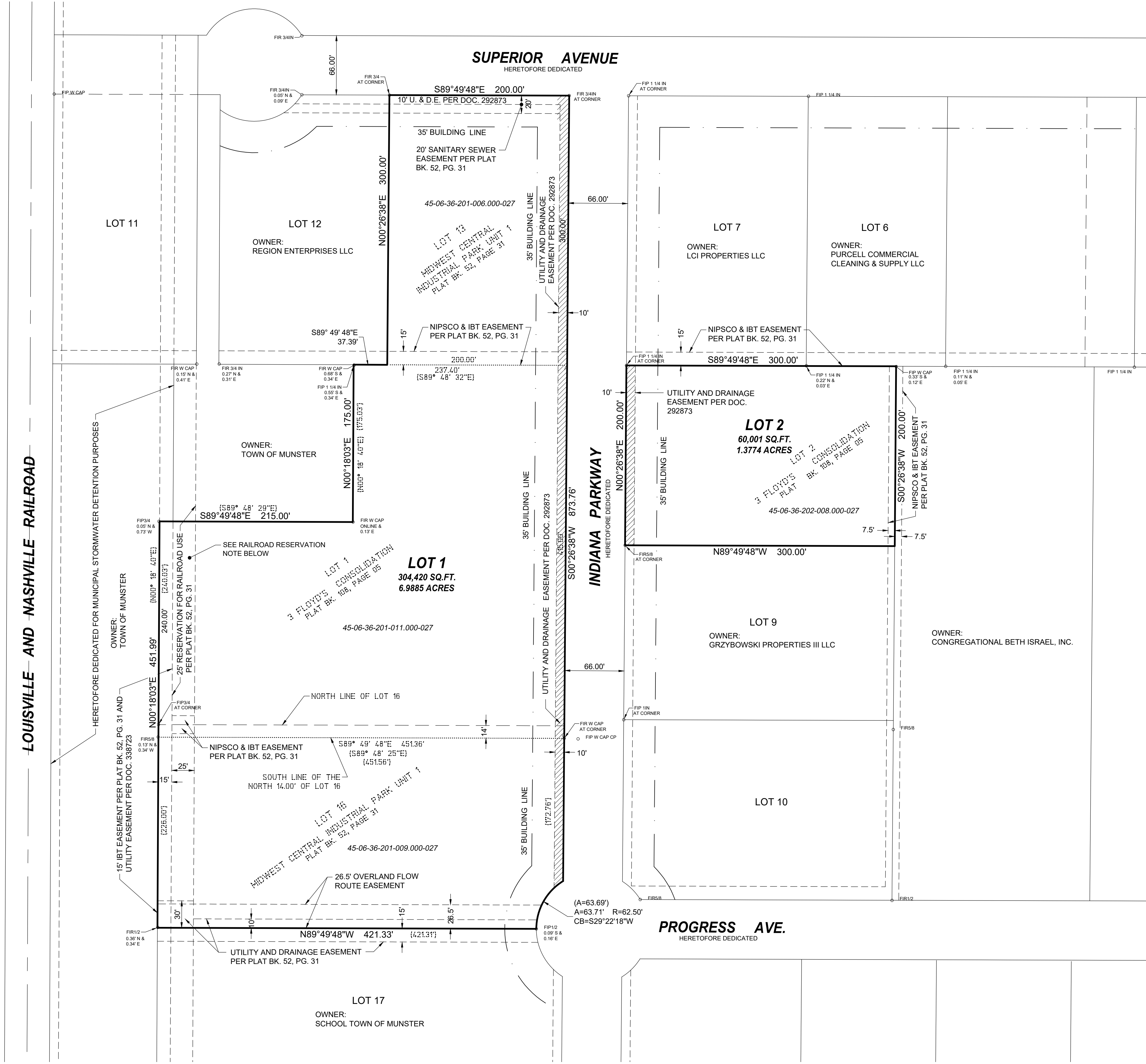
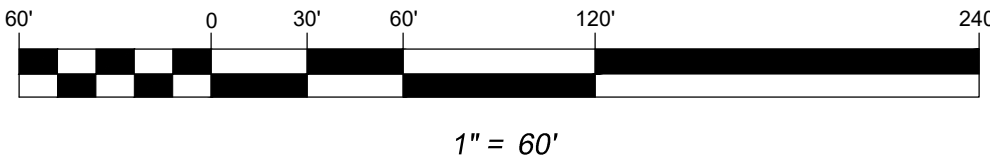
FINAL PLAT OF SUBDIVISION OF 3 FLOYDS SECOND CONSOLIDATION

PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE
10 WEST OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE
1302 (INDIANA WEST) WITH PROJECT ORIGIN AT
LATITUDE 41-32-05.86814 N
LONGITUDE 87-30-55.12359 W
ELLIPSOIDAL HEIGHT: 511.468 SFT
GROUND SCALE FACTOR 1.000417549
ALL MEASUREMENTS ARE ON THE GROUND.

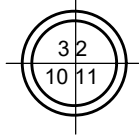
GRAPHIC SCALE



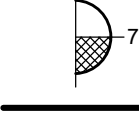
ABBREVIATIONS

N	NORTH	PC	POINT OF CURVATURE
S	SOUTH	PCC	POINT OF COMPOUND CURVATURE
E	EAST	PRC	POINT OF REVERSE CURVATURE
W	WEST	PT	POINT OF TANGENCY
CB	CHORD BEARING	(REC)	RECORD DATUM
A	ARC LENGTH	MEAS.	MEASURED DATUM
R	RADIUS	(CALC)	CALCULATED DATUM
U.E.	UTILITY EASEMENT	<DEED>	INFORMATION TAKEN FROM DEED
P.U.E.	PUBLIC UTILITY EASEMENT	ETBE	EXCEPTION TO BLANKET EASEMENT
D.E.	DRAINAGE EASEMENT	M.U.E.	MUNICIPAL UTILITY EASEMENT
EX.	EXISTING	I.E.	INGRESS & EGRESS EASEMENT
PRO.	PROPOSED		

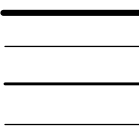
LEGEND



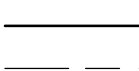
SECTION CORNER



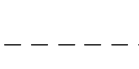
QUARTER SECTION CORNER



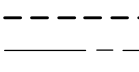
PROPERTY LINE



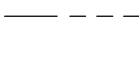
EXISTING RIGHT-OF-WAY LINE



PROPOSED RIGHT-OF-WAY LINE



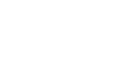
EXISTING LOT LINE



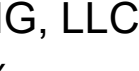
PROPOSED LOT LINE



EX. & PRO. CENTERLINE



EXISTING EASEMENT LINE



PROPOSED EASEMENT LINE



EX. & PRO. BUILDING SETBACK LINE



SECTION LINE



FOUND DISK IN CONCRETE



FOUND BRASS DISC



FOUND ROW MARKER



FOUND IRON ROD



FOUND RAILROAD SPIKE



FOUND PK NAIL



FOUND MAG NAIL



FOUND CUT CROSS



FOUND IRON PIPE



FOUND IRON BAR



SET TRAVERSE POINT



SET PK NAIL



SET MAG NAIL



SET IRON PIPE



SET CONCRETE MONUMENT WITH BRASS DISC



SET CONCRETE MONUMENT WITH IRON PIPE

OWNER & SUBDIVIDER

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

ENGINEER/SURVEYOR

V3 COMPANIES, LTD.
7325 JANES AVENUE, SUITE 100
WOODRIDGE, ILLINOIS 60517
630.724.9200

NOTES:

- SUBDIVIDED LOTS AND EXTERIOR BOUNDARY CORNERS SHALL BE MONUMENTED WITH 3/4" IRON PIPES WITH PLASTIC CAPS, UNLESS SHOWN OTHERWISE, IN CONFORMANCE WITH STATE STATUTES AND LOCAL SUBDIVISION CONTROL ORDINANCES WITHIN 12 MONTHS OF RECORDATION OF THE SECONDARY PLAT.
- SUBDIVISION TO BE DEVELOPED IN ACCORDANCE WITH TOWN OF MUNSTER ORDINANCE NO.1738 AN ORDINANCE AMENDING THE THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT TO BE NOW KNOWN AS FIRST AMENDED THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT AS ADOPTED BY THE MUNSTER TOWN COUNCIL ON MARCH 5, 2018 AND AS AMENDED FROM TIME TO TIME.

RAILWAY RESERVATION NOTE:

THE ORIGINAL PLAT OF SURVEY FILED WITH THE LAKE COUNTY, INDIANA RECORDER ON JULY 19, 1980 TO ESTABLISH THE MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1 (HEREINAFTER REFERRED TO AS "ORIGINAL PLAT"), CONTAINS A REFERENCE TO A "RESERVATION FOR RAILWAY USE" (HEREINAFTER REFERRED TO AS "RAILWAY RESERVATION") AFFECTING LOTS 15, 16, 17 AND OSTENSIBLY ALSO TO REAL ESTATE OWNED AT THE TIME BY THE TOWN OF MUNSTER, WHICH CONTINUES TO OWN THE PARCEL (HEREINAFTER REFERRED TO AS "SUBJECT REAL ESTATE"), WHICH IS SPECIFICALLY AND EXPRESSLY NOT INCLUDED WITHIN THE ORIGINAL PLAT. THE ORIGINAL GRANTOR OF THE SUBJECT REAL ESTATE TO SUBSEQUENT OWNERS OF INDIVIDUAL LOTS WITHIN THE SUBJECT REAL ESTATE WAS KAISER AETNA, A CALIFORNIA GENERAL PARTNERSHIP. THE DESIGNATION OF THE RAILWAY RESERVATION APPEARS TO BE WHOLLY INEFFECTIVE AS TO THE REAL ESTATE OWNED BY THE TOWN OF MUNSTER, AS KAISER AETNA HAD NO ABILITY TO RETAIN A RESERVATION IN LAND IT DID NOT OWN, WHICH WOULD NECESSARILY SEVER ANY ABILITY TO CONNECT TO THE RAILWAY RESERVATION DEPICTED ON THE ORIGINAL PLAT AS AFFECTING LOTS 15, 16, AND 17. AS TO THE RAILWAY RESERVATION ALLEGEDLY IMPACTING LOTS 15, 16, AND 17, THERE IS NO EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION WITHIN THE CONVEYANCE DOCUMENTS FOR THE SUBJECT REAL ESTATE NOR IS THERE ANY EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION WITHIN THE DECLARATION OF PROTECTIVE COVENANTS FILED BY KAISER AETNA. ACCORDINGLY, THERE IS NOT A PROPER EXPRESS DECLARATION THAT WOULD SUPPORT THE RETENTION OF THE RAILWAY RESERVATION. MOREOVER, ANY RESERVATION OF AN INTEREST TO UTILIZE THE DESIGNATED SEGMENT OF THE SUBJECT REAL ESTATE FOR RAILWAY USE WOULD INURE ONLY TO THE DIRECT BENEFIT OF KAISER AETNA (WORDS OF RESERVATION WERE NOT CONSIDERED TO BE WORDS OF "GRANT" AND SO COULD NOT CREATE AN INTEREST IN ANOTHER. OGLE V. BARKER, 224 IND. 489, 68 N.E.2D 550 (1946)), WHICH CONVEYED ALL REMAINING INTEREST IN THE MIDWEST CENTRAL INDUSTRIAL PARK TO BOTABA REALTY COMPANY NOT LATER THAN JULY 31, 1984. ACCORDINGLY, THE REFERENCED RAILWAY RESERVATION IS OF NO AFFECT AND THE REFERENCED AFFECTED PARCELS WITHIN THE SUBJECT REAL ESTATE MAY NOT BE UTILIZED BY ANY PARTY OTHER THAN THE SEIZED CURRENT OWNER OF LOTS 15, 16 AND 17.



Engineers 7325 Janes Avenue, Suite 100
Scientists Woodridge, IL 60517
Surveyors 630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

NO.	DATE	DESCRIPTION
1.	02-19-2018	REVISED SUBDIVISION NAME
2.	02-22-2018	REVISED PER COMMENTS
3.	06-21-2018	ADDED PARKING & SIDEWALK EASEMENTS
4.	08-02-2018	REVISED PER COMMENTS
5.	09-18-2023	REMOVED PARKING & SIDEWALK EASEMENTS

FINAL PLAT OF SUBDIVISION

3 FLOYDS SECOND CONSOLIDATION

DRAFTING COMPLETED:	02-06-18	DRAWN BY:	SPK	PROJECT MANAGER:	AJS
FIELD WORK COMPLETED:	N/A	CHECKED BY:	AJS	SCALE:	1" = 60'

Project No: 17265

Group No: VP04.1

SHEET NO.
1 of 2

FINAL PLAT OF SUBDIVISION
OF
3 FLOYDS SECOND CONSOLIDATION

PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE
10 WEST OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA.

OWNER'S CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

THE UNDERSIGNED, FLOYDS CONCERN, LLC, DOES HEREBY CERTIFY THAT IT IS THE OWNER
OF THE PROPERTY DESCRIBED HEREON, AND THAT IT HAS CAUSED SAID PROPERTY TO BE
SURVEYED AND SUBDIVIDED AS SHOWN HEREON.

DATED THIS DAY OF , 20 .

BY: ATTEST:
TITLE: TITLE:

NOTARY CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE
OF INDIANA, APPEARED , AND
EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING
INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN
EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS DAY OF ,20 .

NOTARY PUBLIC
MY COMMISSION EXPIRES: A RESIDENT OF COUNTY
PRINTED SIGNATURE

MORTGAGEE CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

THE UNDERSIGNED, AS MORTGAGOR, UNDER THE PROVISIONS OF A CERTAIN MORTGAGE
DATED A.D., 20 AND RECORDED IN THE RECORDER'S OF DEEDS
OFFICE OF COUNTY, ILLINOIS ON THE DAY OF
DATE
A.D.,
MONTH YEAR

AS DOCUMENT NO. HEREBY CONSENTS TO AND APPROVES THE
SUBDIVISION OF THE LAND AND THE GRANTING OF THE EASEMENT(S) DEPICTED HEREON.

DATED THIS DAY OF A.D., 20 .

MORTGAGOR NAME :

BY: ATTEST:
ITS: ITS:

NOTARY CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE
OF INDIANA, APPEARED , AND
EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING
INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN
EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS DAY OF ,20 .

NOTARY PUBLIC
MY COMMISSION EXPIRES: A RESIDENT OF COUNTY
PRINTED SIGNATURE

PLAN COMMISSION CERTIFICATE

UNDER THE AUTHORITY PROVIDED IN INDIANA CODE 36-7-4-700 (SEC.700-799), AS AMENDED
FROM TIME TO TIME BY THE TOWN COUNCIL OF THE TOWN OF MUNSTER, LAKE COUNTY,
INDIANA, THIS PLAT OF SUBDIVISION WAS GIVEN APPROVAL BY THE TOWN OF MUNSTER AS
FOLLOWS:

APPROVED BY THE TOWN OF MUNSTER PLAN COMMISSION AT A MEETING HELD ON THE
DAY OF , 20 .

PRESIDENT
SECRETARY

NOTARY CERTIFICATE

STATE OF INDIANA)
) S.S.
COUNTY OF LAKE)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE
OF INDIANA, APPEARED , AND
EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING
INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN
EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS DAY OF ,20 .

NOTARY PUBLIC
MY COMMISSION EXPIRES: A RESIDENT OF COUNTY
PRINTED SIGNATURE

TOWN ENGINEER'S CERTIFICATE

MY SIGNATURE, AS TOWN ENGINEER FOR THE TOWN OF MUNSTER, CERTIFIES THAT THIS
PLAT MEETS ALL THE REQUIREMENTS OF TOWN ORDINANCES. APPROVED THIS
DAY OF , 20 .

TOWN ENGINEER

OVERLAND FLOOD ROUTE EASEMENT PROVISIONS

THERE ARE STRIPS OF GROUND DESIGNATED ON THIS PLAT AS "OVERLAND FLOOD ROUTE"
WHICH ARE AREAS DESIGNED TO DIRECT THE SURFACE FLOW OF STORM WATER TO PASS
THROUGH THE DEVELOPMENT WITHOUT DAMAGE TO PROPERTY. NO BUILDINGS OR
STRUCTURES MAY BE PLACED WITHIN SAID STRIPS THAT WOULD ADVERSELY AFFECT THE
FREE FLOW OF STORM WATER. EACH OWNER OR SUBSEQUENT PURCHASER SHALL BE
EQUALLY RESPONSIBLE FOR MAINTAINING THE OVERLAND FLOOD ROUTE EASEMENT AREAS
AND SHALL NOT DESTROY OR MODIFY GRADES OR SLOPES IN ACCORDANCE WITH THE
TOWN APPROVED INFRASTRUCTURE ENGINEERING PLANS WITHOUT FIRST HAVING
RECEIVED PRIOR WRITTEN APPROVAL OF THE TOWN OF MUNSTER.

PLANNED UNIT DEVELOPMENT PLAN

THERE IS A DEVELOPMENT PLAN ASSOCIATED WITH THIS FINAL PLAT OF SUBDIVISION, WHICH
IS AUTHORIZED THROUGH TOWN OF MUNSTER ORDINANCE 1738, AN ORDINANCE AMENDING
THE THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT TO BE NOW KNOWN AS
FIRST AMENDED THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT, COPIES OF
WHICH ARE ON FILE WITH THE TOWN OF MUNSTER.

REFERENCE SURVEY

ALTA/NSPS LAND TITLE SURVEY TITLED THREE FLOYDS BREWING, LAST REVISED 12-13-2017,
RECORDED ON FEBRUARY 28, 2018, AS DOCUMENT NUMBER 2018-013591; THERE ARE NO
SUBSTANTIAL DIFFERENCES BETWEEN SAID SURVEY AND THIS PLAT.

FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA OF 0.2% ANNUAL CHANCE FLOOD;
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF
LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE
MILE, AND AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE
FLOOD (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF LAKE
COUNTY, INDIANA AND INCORPORATED AREAS (COMMUNITY PANEL
NO. 18089C0117E) MAP REVISED JANUARY 18, 2012.

LEGAL DESCRIPTION

LOT 1 AND LOT 2 IN 3 FLOYD'S CONSOLIDATION, BEING A SUBDIVISION OF PART OF THE
NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 10 WEST OF THE SECOND
PRINCIPAL MERIDIAN, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE
OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS
SHOWN IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY,
INDIANA.

ALSO,

LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT
1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31,
IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

SURVEYOR'S CERTIFICATE

STATE OF INDIANA)
) SS
COUNTY OF LAKE)

I, ANTHONY J. STRICKLAND, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND
SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT THE
PROPERTY DESCRIBED HEREON HAS BEEN SURVEYED AND SUBDIVIDED BY MYSELF OR
UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A REPRESENTATION OF SAID SURVEY
AND SUBDIVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT SAID SURVEY
CONFORMS TO THE REQUIREMENTS AS SET FORTH UNDER TITLE 865 IAC, RULE 12.

DATED THIS DAY OF A.D., 20 .

ANTHONY J. STRICKLAND
INDIANA PROFESSIONAL LAND SURVEYOR NO. LS20800143
MY LICENSE EXPIRES ON JULY 31, 2024



Engineers 7325 Janes Avenue, Suite 100
Scientists Woodridge, IL 60517
Surveyors 630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

REVISIONS			
NO.	DATE	DESCRIPTION	
1.	02-19-2018	REVISED SUBDIVISION NAME	
2.	02-22-2018	REVISED PER COMMENTS	
3.	06-21-2018	ADDED PARKING & SIDEWALK EASEMENTS	
4.	08-02-2018	REVISED PER COMMENTS	
5.	09-18-2023	REMOVED PARKING & SIDEWALK EASEMENTS	

FINAL PLAT OF SUBDIVISION

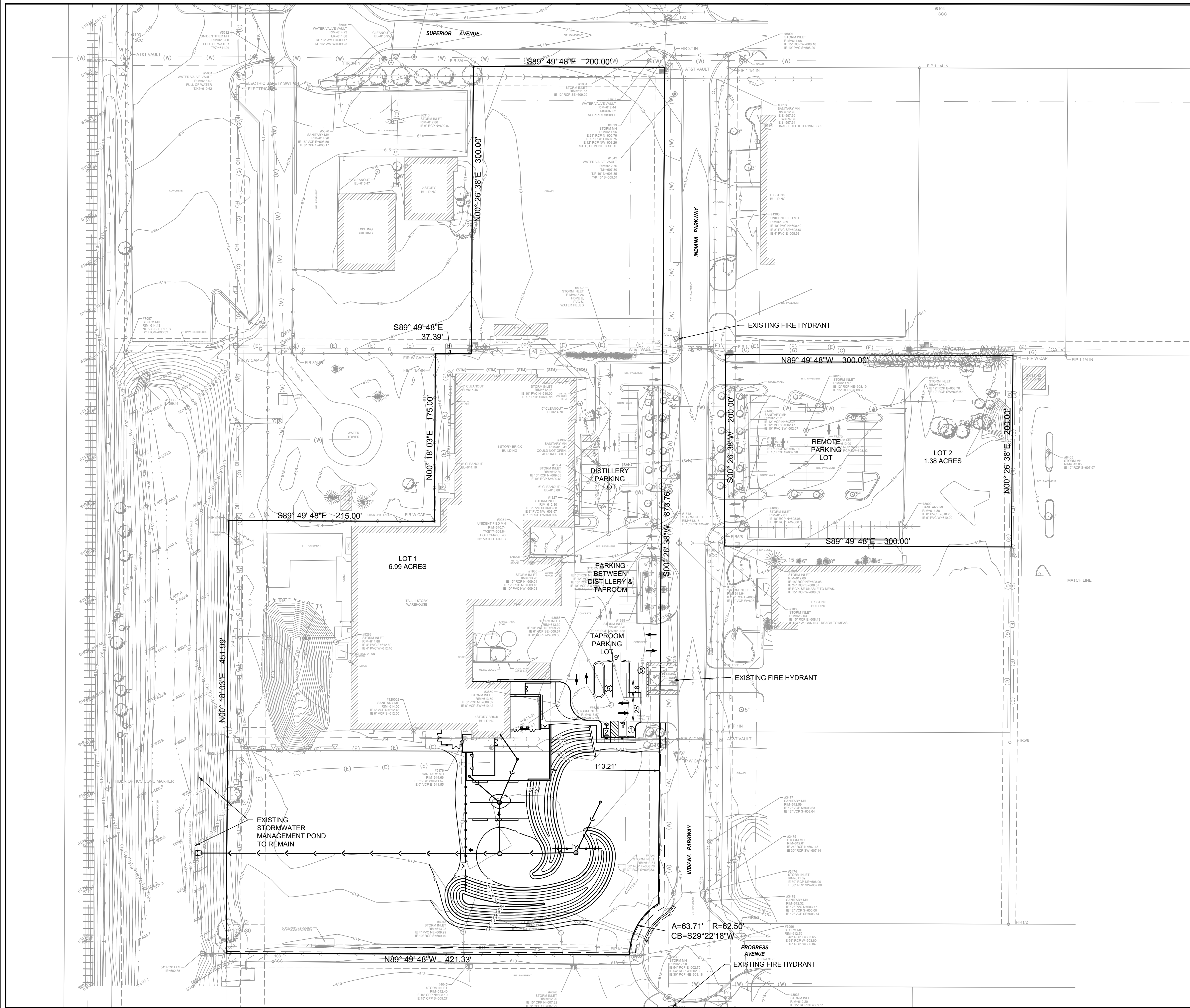
3 FLOYDS SECOND CONSOLIDATION

DRAFTING COMPLETED:	02-06-18	DRAWN BY:	SPK	PROJECT MANAGER:	AJS
FIELD WORK COMPLETED:	N/A	CHECKED BY:	AJS	SCALE:	1" = N/A

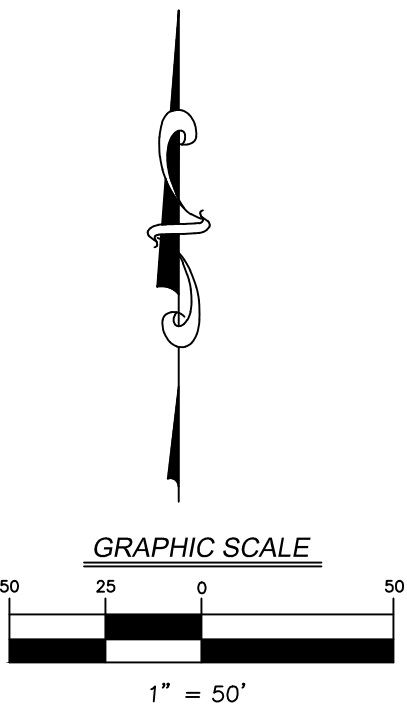
Project No: 17265

Group No: VP04.1

SHEET NO.
2 of 2



PARKING SUMMARY	
EXISTING PARKING SPACES	
REMOTE PARKING LOT STANDARD SPACES	= 61
DISTILLERY PARKING LOT	
STANDARD SPACES	= 17
ADAVAN SPACES	= 2
TOTAL SPACES	= 19
PARKING BETWEEN DISTILLERY & TAPROOM	
STANDARD SPACES	= 10
TAPROOM PARKING LOT	
STANDARD SPACES	= 32
ADA SPACES	= 2
VAN SPACES	= 1
TOTAL SPACES	= 35
TOTAL EXISTING PARKING SPACES = 125	
PROPOSED PARKING SPACES	
REMOTE PARKING LOT STANDARD SPACES	= 61
DISTILLERY PARKING LOT	
STANDARD SPACES	= 17
ADAVAN SPACES	= 2
TOTAL SPACES	= 19
PARKING BETWEEN DISTILLERY & TAPROOM	
STANDARD SPACES	= 10
TAPROOM PARKING LOT	
STANDARD SPACES	= 11
ADA SPACES	= 2
TOTAL SPACES	= 13
TOTAL PROPOSED PARKING SPACES = 103	
PROPOSED REQUIRED PARKING SPACES	
TAPROOM/DISTILLERY 1 SPACES PER 2 EMPLOYEES	= 17
BUSINESS/OFFICE 3.3 SPACES PER 1000 SF	= 7
TAPROOM 1 SPACES PER 4 SEATS	= 72
TOTAL PROPOSED REQUIRED PARKING SPACES = 96	
IMPERVIOUS/PERVIOUS SUMMARY	
EXISTING: IMPERVIOUS = 4.39 AC PERVIOUS = 3.98 AC	
PROPOSED: IMPERVIOUS = 4.48 AC PERVIOUS = 3.89 AC	
TOTAL AREA = 8.37 ACRES	



OVERALL SITE PLAN		REVISIONS		ORIGINAL ISSUE DATE: 10-24-2023	
PROJECT NO.: 17265.3F2		PROJECT MANAGER: RS		DESIGNER BY: MR	
THREE FLOYDS BREWERY		DRAWN BY: DB		NO. DATE	
MUNSTER		INDIANA		DESCRIPTION	
7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com		DRAWING NO.		1.0	

FINAL ENGINEERING PLANS
FOR
THREE FLOYDS TAPROOM
9750 INDIANA PARKWAY
MUNSTER, INDIANA

PROJECT TEAM

OWNER/DEVELOPER

Three Floyds Brewing, LLC
9750 Indiana Parkway
Munster, Indiana 46321
630 930 7228
Contact: Gary Modrow

ENGINEER

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Principal In Charge: Ted Feenstra; P.E.
Project Manager: Ryan Smykowski,
rsmykowski@v3co.com
Design Engineer: Mary Rokicki
mrokicki@v3co.com

ARCHITECT

V Three Studios, LLC
2717 Sutton Blvd.
St Louis, Missouri 63143
314 922 7212
Contact: Gabe McKee



VICINITY MAP

NO SCALE



LOCATION MAP

NO SCALE



INDEX

CIVIL ENGINEERING PLANS

- C0.0 TITLE SHEET
- C1.0 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
- C1.1 SPECIFICATIONS
- C2.0 EXISTING CONDITIONS AND DEMOLITION PLAN
- C3.0 LAYOUT AND PAVING PLAN
- C4.0 GRADING PLAN
- C4.1 EROSION CONTROL PLAN
- C4.2 EROSION CONTROL DETAILS
- C5.0 UTILITY PLAN
- C6.0 CONSTRUCTION DETAILS
- C6.1 CONSTRUCTION DETAILS

SUPPORTING DOCUMENTS

- 1 of 2 TOPOGRAPHIC SURVEY

BENCHMARKS

SOURCE:

BENCHMARKS ESTABLISHED & HELD VIA TRIMBLE VRS HARN NETWORK.
PROJECT ORIGIN AT :
LATITUDE: 41-32-05.86814 N
LONGITUDE: 87-30-55.12359 W
ELLIPSOIDAL HEIGHT: 511.468 SFT
GROUND SCALE FACTOR 1.0000417549
VERTICAL DATUM IS NAVD88 .

SITE:

STATION DESIGNATION: SBM #1
ESTABLISHED BY: V3 COMPANIES DATE:10-20-17
ELEVATION: 614.60 (MEASURED) DATUM: NAVD88
DESCRIPTION: NORTH BOLT OF FIRE HYDRANT WITH CUT CROSS ON BOLT AT SOUTH SIDE OF INDIANA AND PROGRESS AVENUE.
STATION DESIGNATION: SBM #1
ESTABLISHED BY: V3 COMPANIES DATE:10-20-17
ELEVATION: 614.63 (MEASURED) DATUM: NAVD88
DESCRIPTION: NORTH BOLT OF FIRE HYDRANT AT SOUTHEAST CORNER OF INDIANA AND SUPERIOR AVENUE.

REVISIONS

ORIGINAL ISSUE DATE: 10-24-2023

PROJECT NO.: 17265.3F2 S04

PROJECT MANAGER: RS

DESIGNED BY: MR

DRAWN BY: NRS

TITLE SHEET

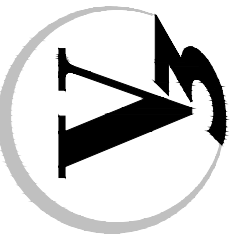
THREE FLOYDS TAPROOM

9750 INDIANA PARKWAY

MUNSTER

INDIANA

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



DRAWING NO.

C0.0

PROFESSIONAL ENGINEER'S CERTIFICATION

I, THEODORE E. FEENSTRA, A LICENSED PROFESSIONAL ENGINEER OF INDIANA, HEREBY CERTIFY THAT THE CIVIL ENGINEERING PLANS WERE PREPARED ON BEHALF OF THREE FLOYDS BREWING, LLC BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 24TH DAY OF OCTOBER, A.D., 2023.

Theodore E. Feenstra Jr.

INDIANA LICENSED PROFESSIONAL ENGINEER PE10100366
MY LICENSE EXPIRES ON JULY 31, 2024



GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

V3 COMPANIES, LTD.
7325 JANES AVENUE
WOODRIDGE, IL 60517

- COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
3. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES, LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE INDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
8. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- a. "STANDARD SPECIFICATIONS" AS PREPARED BY INDOT, LATEST EDITION.
- b. "RECOMMENDED STANDARDS FOR WATER WORKS (10 STATE STANDARDS)", LATEST EDITION.
- c. "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (10 STATE STANDARDS)", LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE TOWN OF MUNSTER.
- e. THE NATIONAL ELECTRIC CODE.
- f. THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN
9. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER INDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION

PLAN.

12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE TOWN OF MUNSTER MUNICIPAL CODE AND INDOT REQUIREMENTS.
13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5644. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
21. ALL CURB RADII REFER TO BACK OF CURB.
22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR INDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND INDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE TOWN OF MUNSTER STANDARDS.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE PERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.


LEGEND

EXISTING	PROPOSED

DESCRIPTION
RIGHT-OF-WAY LINE
PROPERTY LINE (EXTERIOR)
LOT LINE (INTERIOR)
EASEMENT LINE
FENCE LINE
CENTERLINE
PROPERTY CORNER
CONTOUR
CURB & GUTTER
DEPRESSED CURB & GUTTER
REVERSE PITCHED CURB
SPOT ELEVATION
TOP OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION
UTILITY STUB
SANITARY SEWER
SANITARY FORCE MAIN
STORM SEWER
WATER MAIN
GAS MAIN
UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK
BURIED CABLE-ELECTRIC
BURIED CABLE-TELEPHONE
ATLAS LOCATED UTILITY
UTILITY STRUCTURE WITH CLOSED LID
CURB INLET
DRAINAGE STRUCTURE WITH OPEN LID
FIRE HYDRANT
VALVE IN VALVE BOX
GATE VALVE IN VALVE VAULT
POST INDICATOR VALVE
THRUST BLOCK
TREE
TREE LINE
CONCRETE HEADWALL
SUBMERGED HEADWALL
FLARED END SECTION (F.E.S.)
GUY WIRES
FLOOD LIGHT
UTILITY POLE
LIGHT STANDARD
TRAFFIC SIGNAL POLE
HAND HOLE
SOIL BORING
IRRIGATION HEADS
SIGN
TELEPHONE MANHOLE
MONITORING WELL
TELEPHONE PEDESTAL
TRANSFORMER PAD
UTILITY TO BE ABANDONED
FEATURE TO BE REMOVED
STORMWATER FLOW DIRECTION
STORMWATER OVERFLOW ROUTE
DITCH CHECK
INLET FILTER BASKET
RIP RAP
BOLLARD
SILT FENCE
WATER MAIN PROTECTION
TRENCH BACKFILL
UTILITY CROSSING LABEL
GUARDRAIL
RAILROAD TRACKS
RETAINING WALL
REVISION DELINEATION
CONSTRUCTION LIMIT LINE
TREE PROTECTION FENCE

ABBREVIATIONS

A	ARC LENGTH
B-B	BACK TO BACK OF CURB
B/C	BACK OF CURB
BLDG	BUILDING
BM	BENCHMARK
B/P	BOTTOM OF PIPE
BV/VV	BUTTERFLY VALVE IN VALVE VAULT
C & G	CURB AND GUTTER
CB	CATCH BASIN
CL	CENTERLINE
CL	CLOSED LID
CO	CLEAN OUT
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
DIWM	DUCTILE IRON WATER MAIN
DWG	DRAWING
E	EAST OR ELECTRIC OR EDGE
EJ	EXPANSION JOINT
ELEV	ELEVATION
E/P	EDGE OF PAVEMENT
EX.	EXISTING
F & CL	FRAME & CLOSED LID
F & G	FRAME & GRATE
F & OL	FRAME & OPEN LID
FES	FLARED END SECTION
F-F	FACE TO FACE OF CURB
FF	FINISHED FLOOR
F/G	FINISHED GRADE
FH	FIRE HYDRANT
F/L	FLOW LINE
G	GAS LINE
GV/VB	GATE VALVE IN VALVE BOX
GV/VV	GATE VALVE IN VALVE VAULT
HDCP	HANDICAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HDW	HEADWALL
HOR	HORIZONTAL
HP	HIGH POINT
HWL	HIGH WATER LEVEL
IE	INVERT ELEVATION
IN	INLET
LF	LINEAL FEET
LP	LOW POINT OR LIGHT POLE
L	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MW	MONITORING WELL
N	NORTH
NIC	NOT IN CONTRACT / NOT INCLUDED
NWL	NORMAL WATER LEVEL
OC	ON CENTER
OL	OPEN LID
PC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS OR RIGHT
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SLOPE OR SOUTH
SAN	SANITARY
SF	SILTATION FENCE
SFM	SANITARY FORCE MAIN
SHT	SHEET
SHW	SUBMERGED HEADWALL
SMH	SANITARY MANHOLE
STA	STATION
ST	STORM STRUCTURE OR STORM SEWER
STMH	STORM MANHOLE
T	TANGENT LENGTH OR TELEPHONE
T/C	TOP OF CURB
T/P	TOP OF PIPE
T/W	TOP OF WALL
TY	TYPE
TYP	TYPICAL
UP	UTILITY POLE
VC	VERTICAL CURVE
VERT	VERTICAL
VCP	VITRIFIED CLAY PIPE
W	WEST
WM	WATER MAIN

<div></div> <div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div>	GENERAL NOTES, LEGEND AND ABBREVIATIONS										THREE FLOYDS TAPROOM																			
	MUNSTER										9750 INDIANA PARKWAY										INDIANA									
	DRAWING NO.																													
	C1.0																													
	PROJECT NO.: 17265.3F2 S04																													
ORIGINAL ISSUE DATE: 10-24-2023										REV I S I O N S																				
NO.		DATE		DESCRIPTION		NO.		DATE		DESCRIPTION		NO.		DATE		DESCRIPTION		NO.		DATE		DESCRIPTION		NO.		DATE		DESCRIPTION		
PROJECT MANAGER: RS										DESIGNED BY: MR										DRAWN BY: NRS										

SPECIFICATIONS

EARTHWORK

1.

THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE. IN WRITING, ANY REMEDIATION, BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
2.

THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
3.

THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
4.

EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
5.

ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
6.

COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1' TOLERANCE OF DESIGN SUBGRADE.
7.

THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
8.

BORROW PIT LOCATION(S) SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.

SANITARY SEWER

1.

SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:

a.

POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D2241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.

b.

DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
2.

MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "SEWER".
3.

ALL SANITARY SEWER SHALL BE TESTED FOR ACCEPTANCE IN ACCORDANCE WITH THE STANDARD FOR WASTEWATER FACILITIES (10 STATE STANDARDS). CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. IF THE LOCAL JURISDICTION HAS MORE STRINGENT TESTING REQUIREMENTS THE CONTRACTOR SHALL ADHERE TO THE MORE STRINGENT REQUIREMENTS. THE COST SHALL BE INCIDENTAL TO THE CONTRACT.

STORM SEWER

1.

STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:

A.

REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH INDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C776. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-443, UNLESS OTHERWISE NOTED.

B.

POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.

C.

DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).

D.

HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3350 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
2.

STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM".

WATERMAIN CROSSING REQUIREMENTS

1.

HORIZONTAL SEPARATION:

A.

WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.

B.

WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:

i.

TYPICAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;

ii.

THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND

iii.

THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

C.

BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
2.

VERTICAL SEPARATION:

A.

A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.

B.

BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN:

i.

IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 9A) ABOVE; OR

ii.

THE WATERMAIN PASSES UNDER A SEWER DRAIN.

C.

A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.

D.

CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

PAVING

1.

BASE COURSE SHALL BE AGGREGATE BASE COURSE, CONFORMING TO INDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
2.

SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO INDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
3.

CURB & GUTTER AND SIDEWALK SHALL BE PORTLAND CEMENT CONCRETE CONFORMING TO INDOT STANDARD SPECIFICATIONS.
4.

SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
5.

AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE INDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
6.

PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.

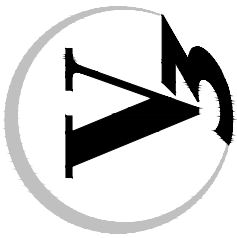
7.

SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND ½ INCH PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, UNLESS OTHERWISE NOTED.
8.

TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH INDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
9.

ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

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Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



DRAWING NO.

C1.1

SPECIFICATIONS

THREE FLOYDS TAPROOM

MUNSTER

9750 INDIANA PARKWAY

INDIANA

PROJECT NO.:

17265.3F2 S04

PROJECT MANAGER:

RS

DESIGNED BY:

MR

DRAWN BY:

NRS

ORIGINAL ISSUE DATE: 10-24-2023

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:

- SIDEWALK AND ON-SITE PAVEMENT
- UTILITIES
- CONSTRUCTION DEBRIS

2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.

3. CONTRACTOR MUST RECEIVE APPROVAL FROM GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.

4. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.

5. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.

7. EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.

8. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-23 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.

9. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.

10. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

11. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.

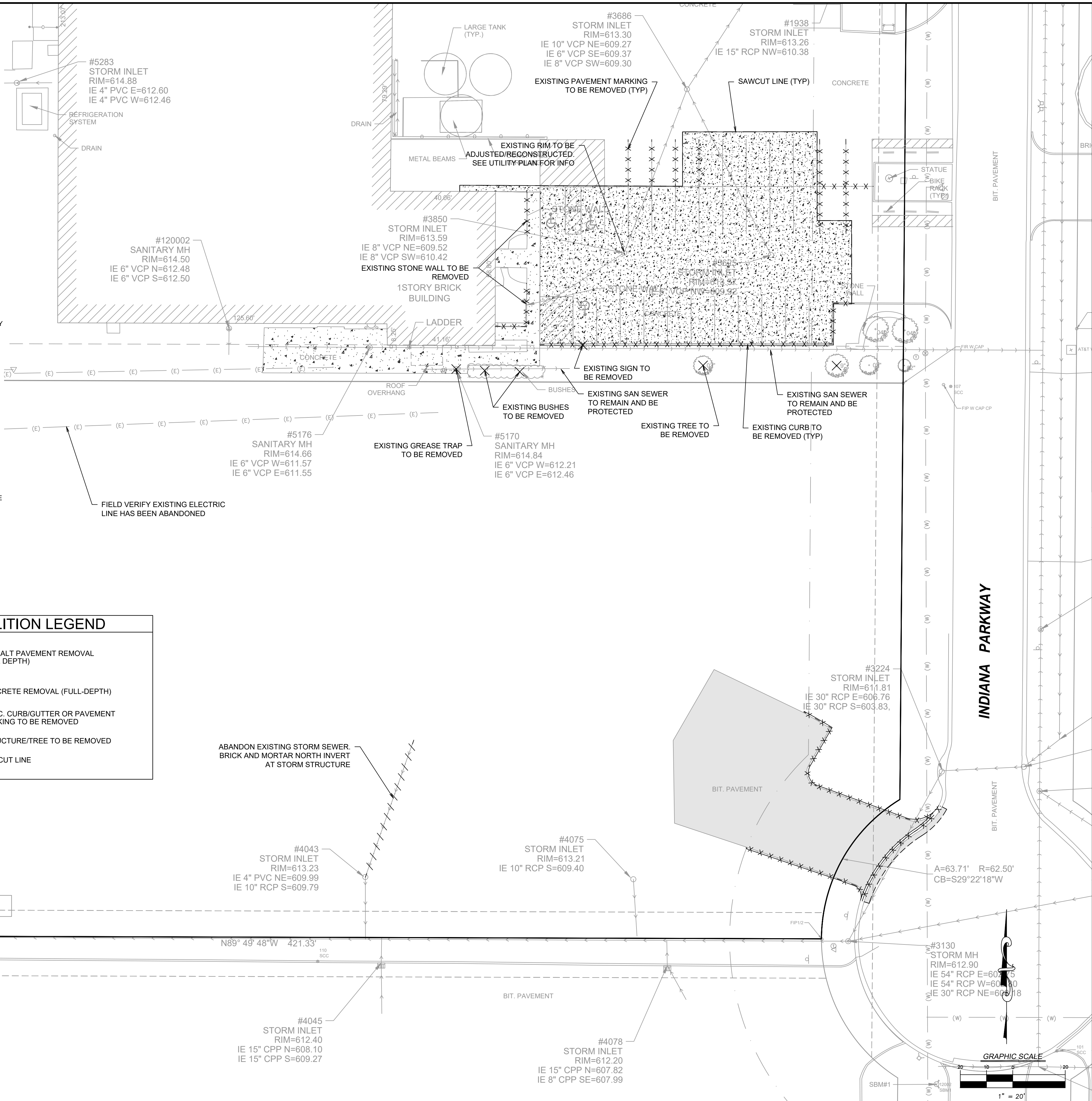
12. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.


13. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

14. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE INDOT APPROVED AGGREGATE (NO. 53) OR APPROVED EQUAL.

15. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.

16. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.



 <p>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</p>	<p>EXISTING CONDITIONS AND DEMOLITION PLAN</p>		<p>PROJECT NO.: 17265.3F2 S04</p>		<p>ORIGINAL ISSUE DATE: 10-24-2023</p>				<p>REVISIONS</p>	
			<p>PROJECT MANAGER: RS</p>							
			<p>DESIGNED BY: MR</p>							
			<p>DRAWN BY:</p>							
			<p>NRS</p>							
<p>MUNSTER</p>			<p>9750 INDIANA PARKWAY</p>			<p>INDIANA</p>				
<p>DRAWING NO.</p>										
<p>C2.0</p>										

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
3. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

PAVING LEGEND

OUTDOOR PATIO PAVING

- 5" P.C. CONCRETE
4" COMPACTED AGGREGATE, NO. 53 BASE
SEE ARCHITECTURAL PLANS FOR FINISH DETAILS AND JOINT LAYOUT

CONCRETE SIDEWALK

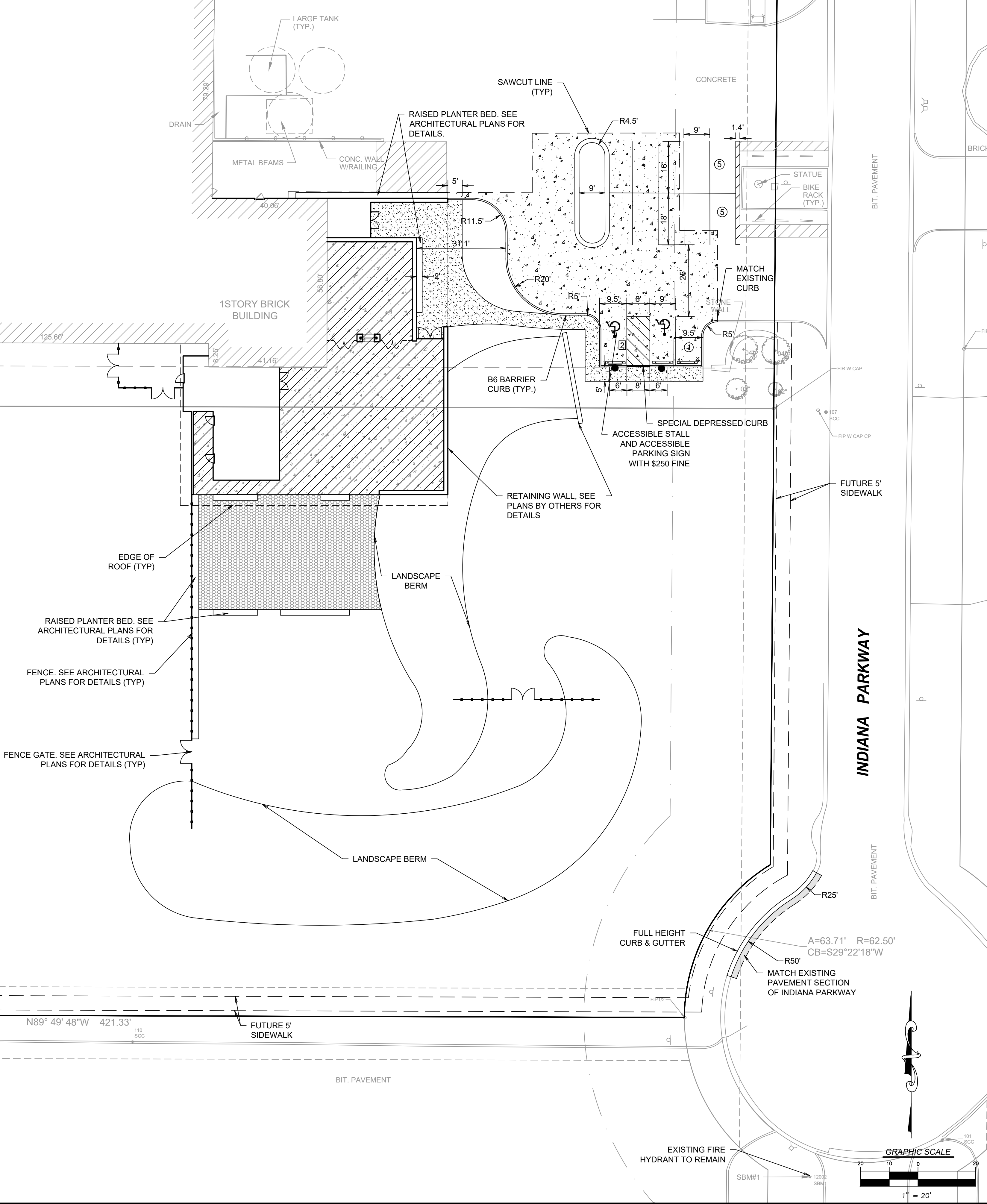
- 5" P.C. CONCRETE SIDEWALK
4" COMPACTED AGGREGATE, NO. 53, BASE

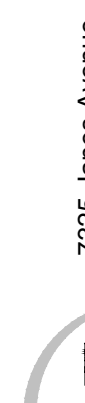
CONCRETE PAVEMENT

- 6" P.C. CONCRETE PAVEMENT WITH WWF
8" COMPACTED AGGREGATE, NO. 53, BASE

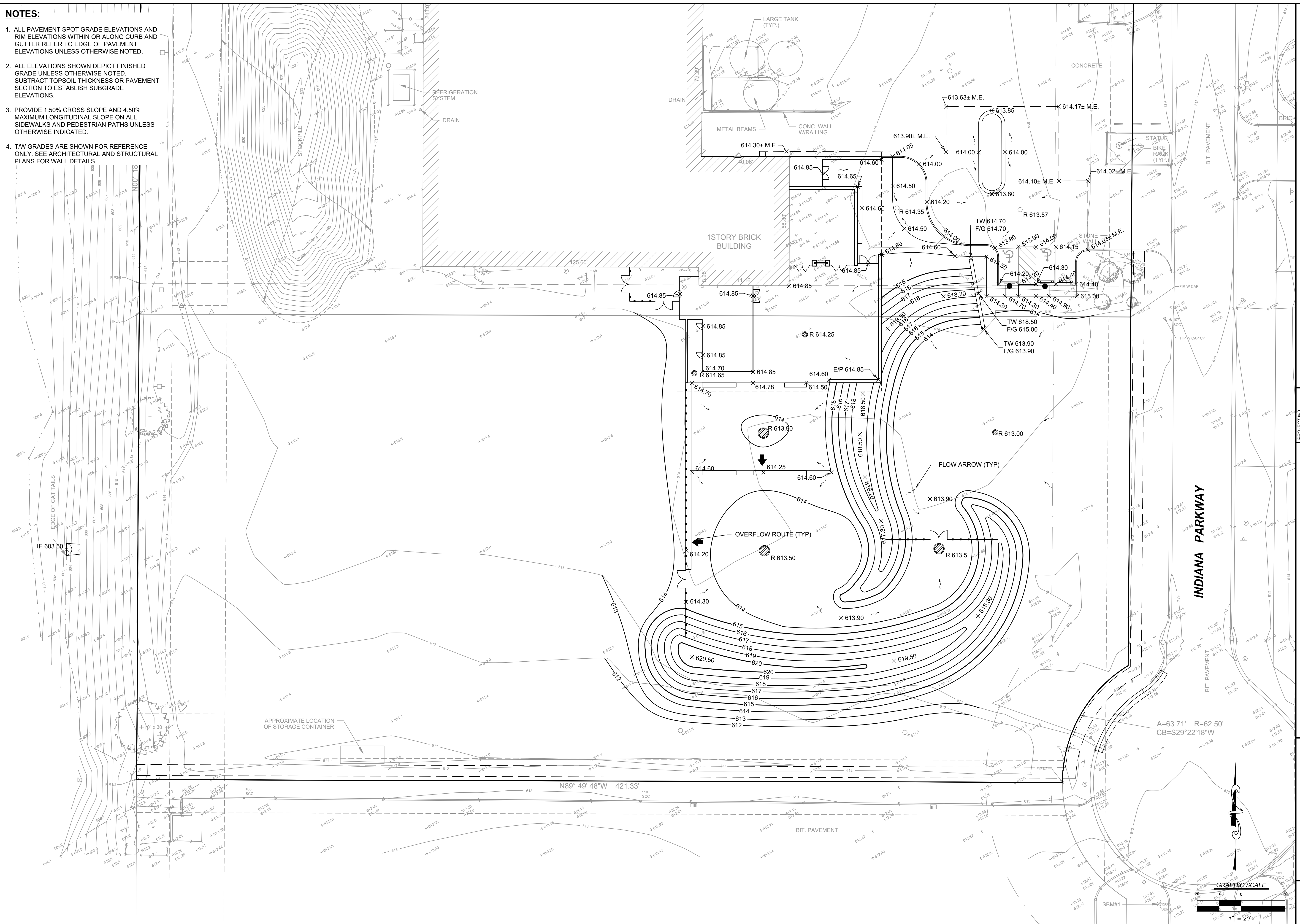
GRAVEL


- PERMEABLE GRAVEL, SEE ARCHITECTURAL PLANS FOR DETAILS

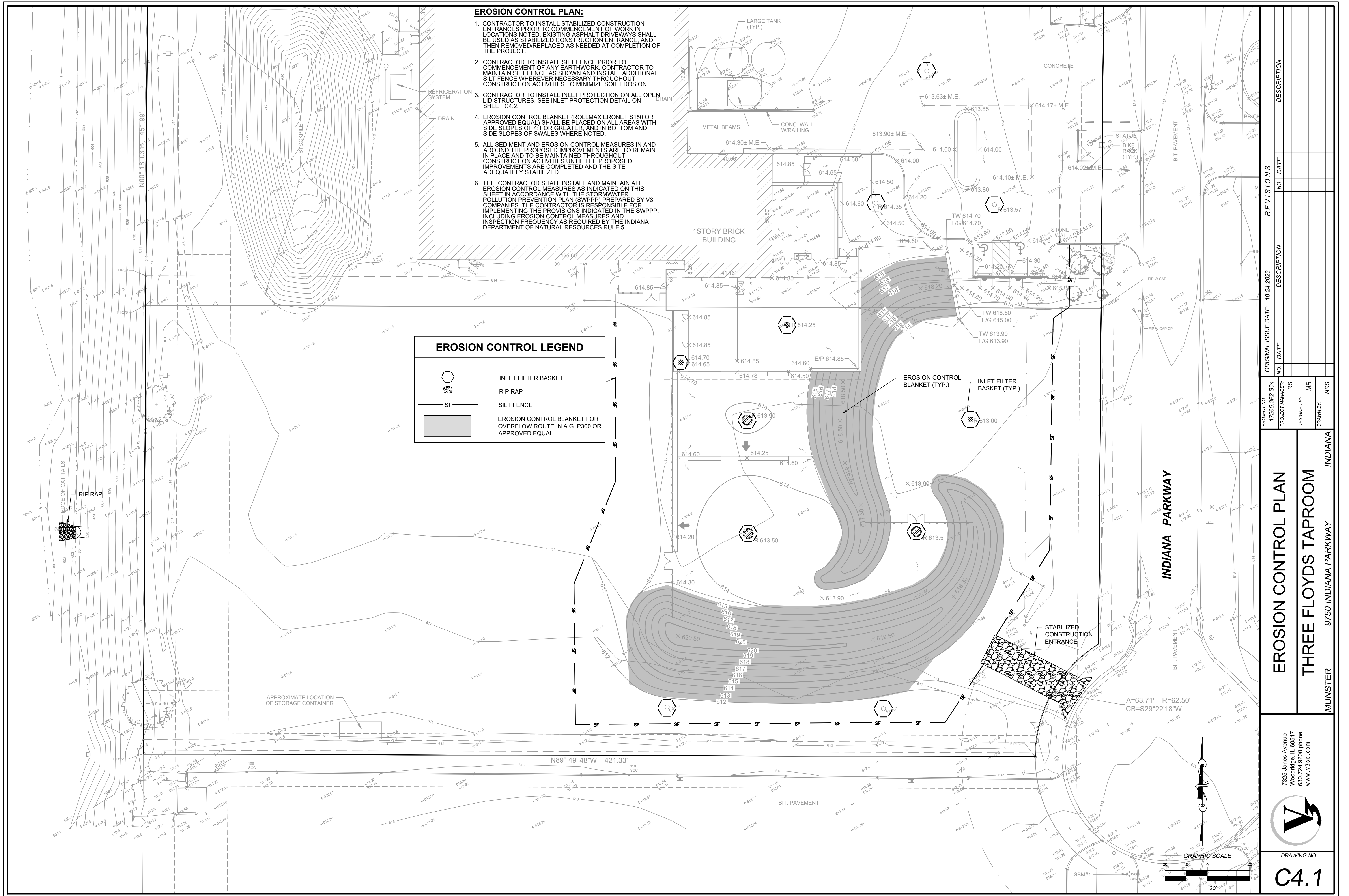


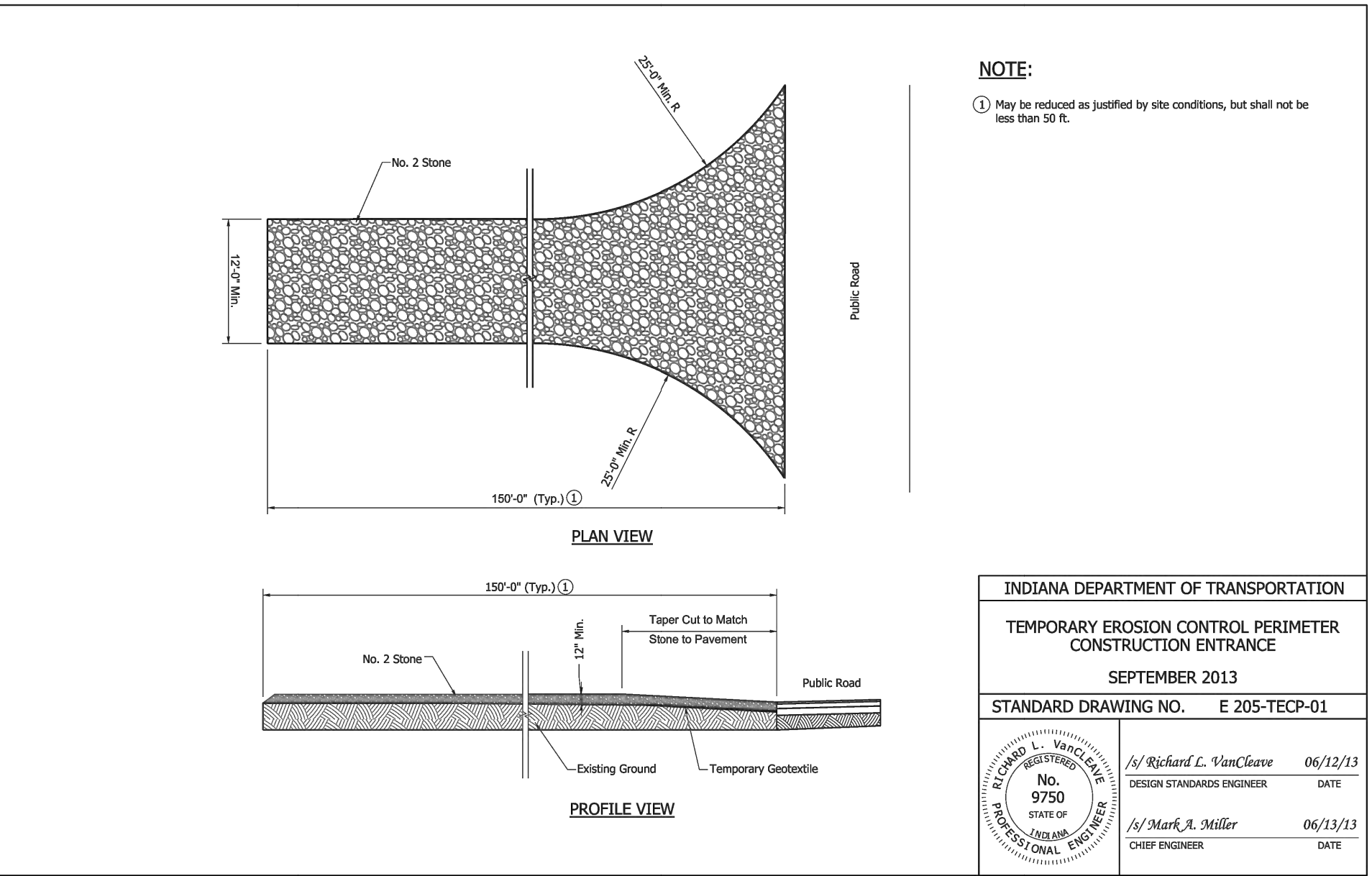
<div></div> <div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div>	<div>LAYOUT AND PAVING PLAN</div> <div>THREE FLOYDS TAPROOM</div> <div>MUNSTER9750 INDIANA PARKWAYINDIANA</div>	ORIGINAL ISSUE DATE: 10-24-2023				R E V I S I O N S	
		PROJECT NO.: 17265.3F2 S04	NO.		DATE	DESCRIPTION	
		PROJECT MANAGER: RS	NO.		DATE	DESCRIPTION	
		DESIGNED BY: MR	NO.		DATE	DESCRIPTION	
		DRAWN BY: NRS	NO.		DATE	DESCRIPTION	
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DRAWING NO.						C3.0	

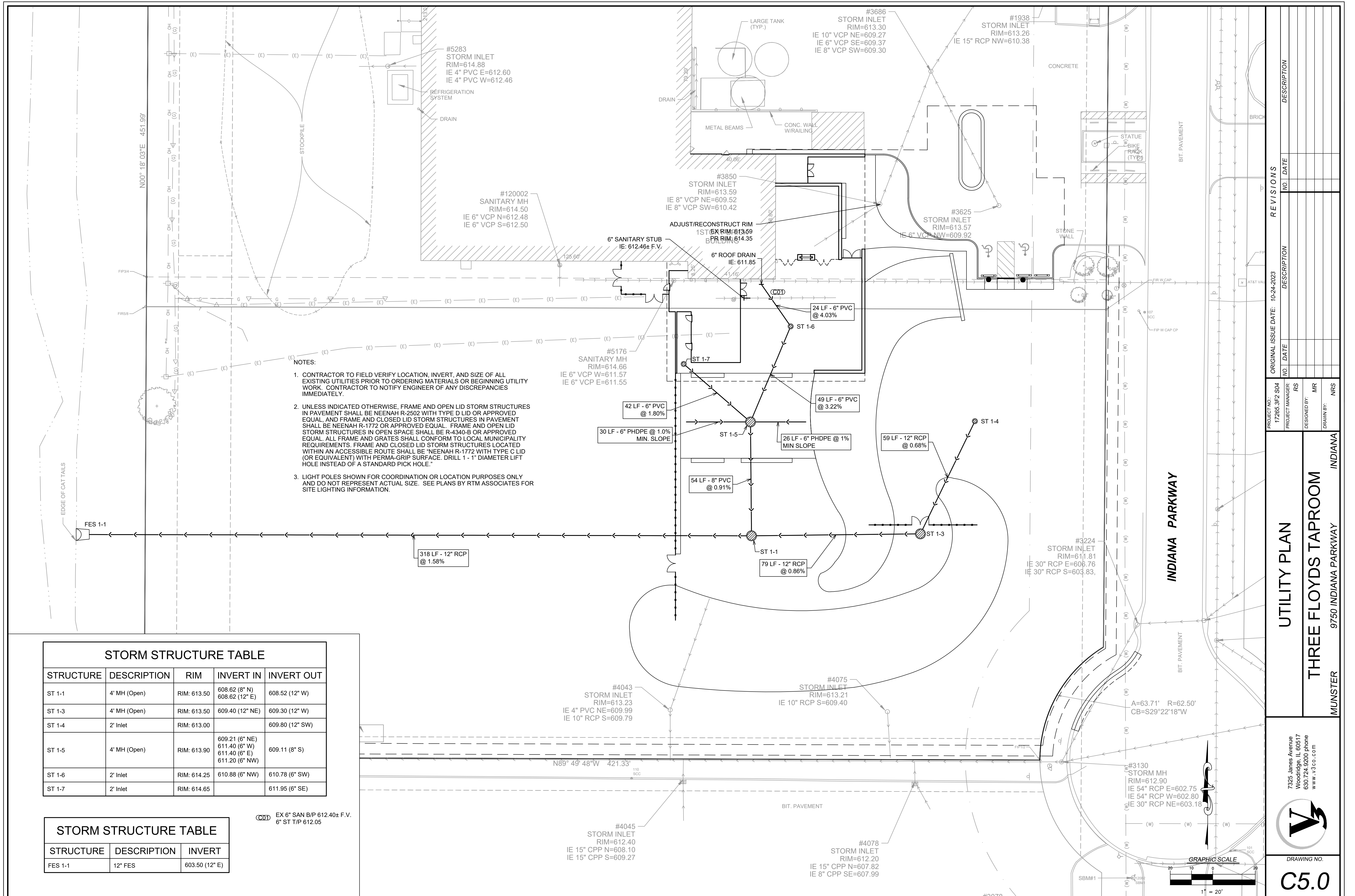
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.50% CROSS SLOPE AND 4.50% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED.
4. T/W GRADES ARE SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR WALL DETAILS.

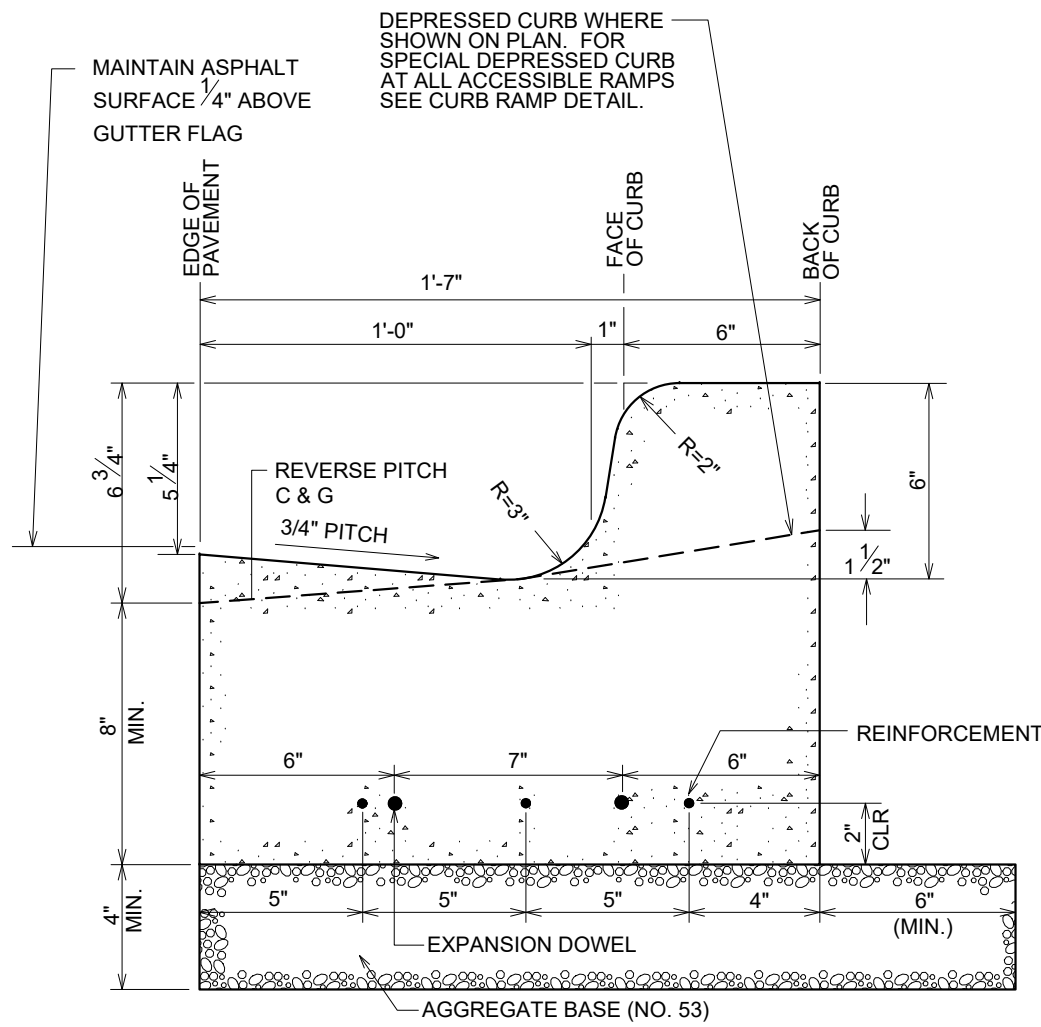


<div><p>DRAWING NO. C4.0</p></div> <div><p>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</p></div>	<div><div>MUNSTER</div><div>THREE FLOYDS TAPROOM</div><div>9750 INDIANA PARKWAY</div><div>INDIANA</div></div>		<div><div>GRADING PLAN</div><div>17285-JF2 S04</div><div>PROJECT MANAGER</div></div>								ORIGINAL ISSUE DATE: 10-24-2023				REVISIONS			
			RS		NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION								
			DESIGNED BY: MR															
			DRAWN BY:															
			NRS															





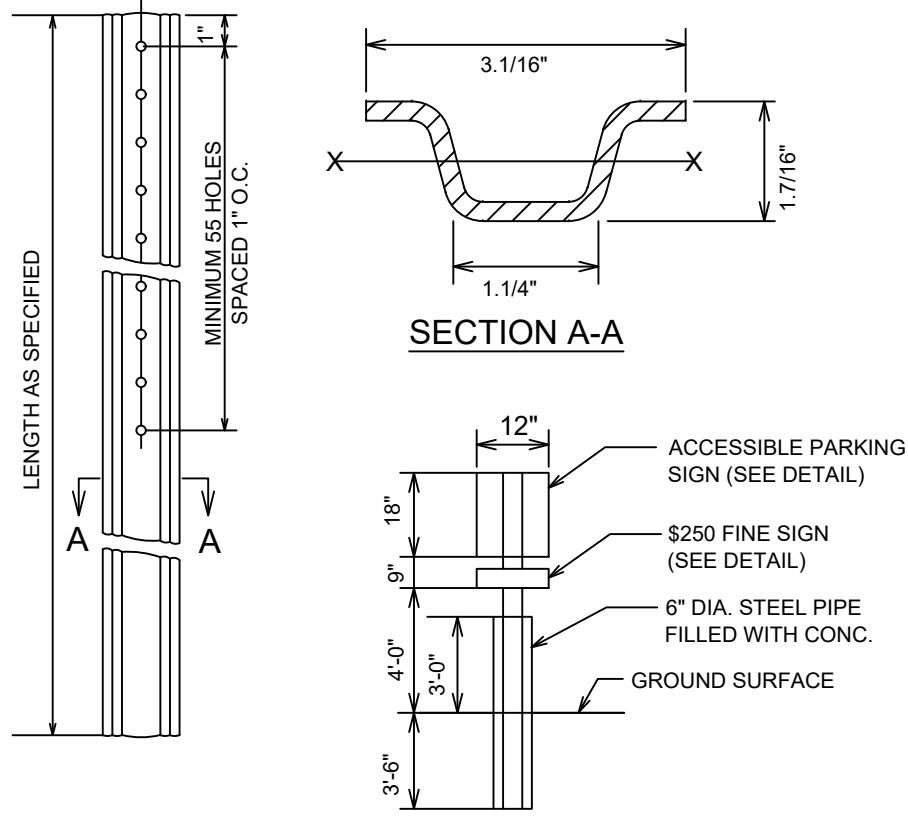




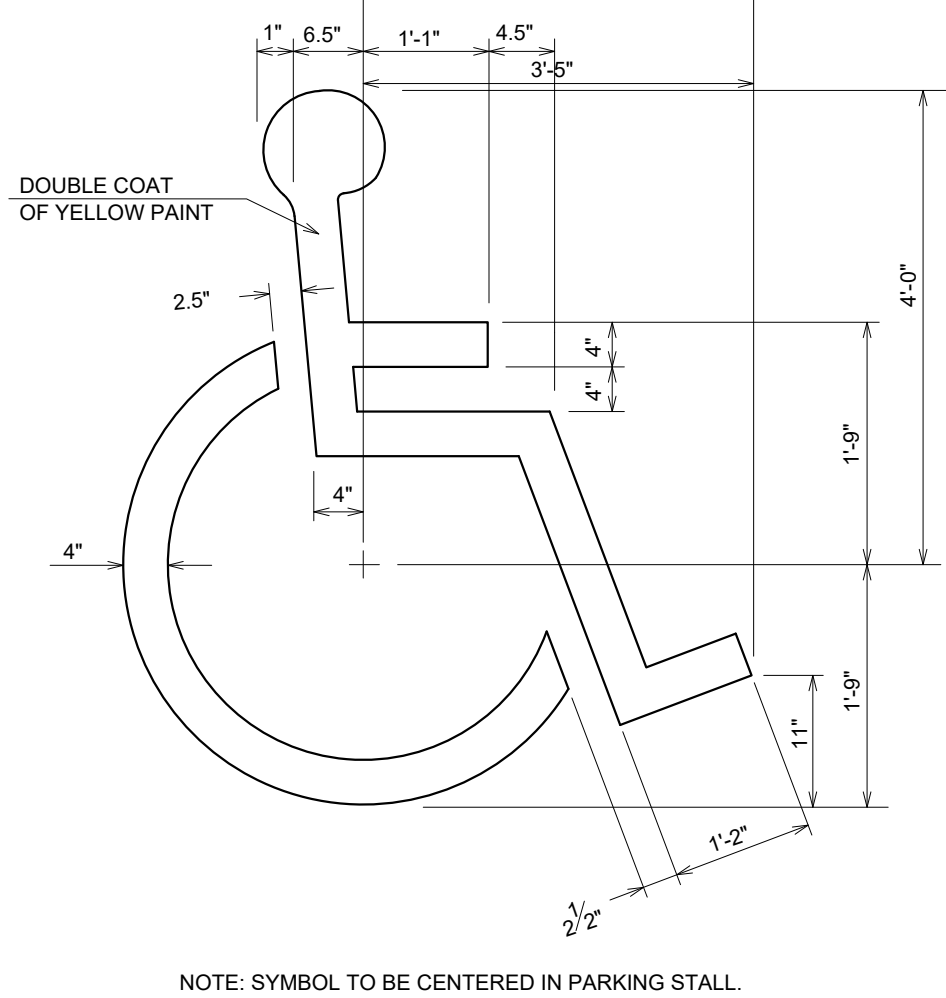
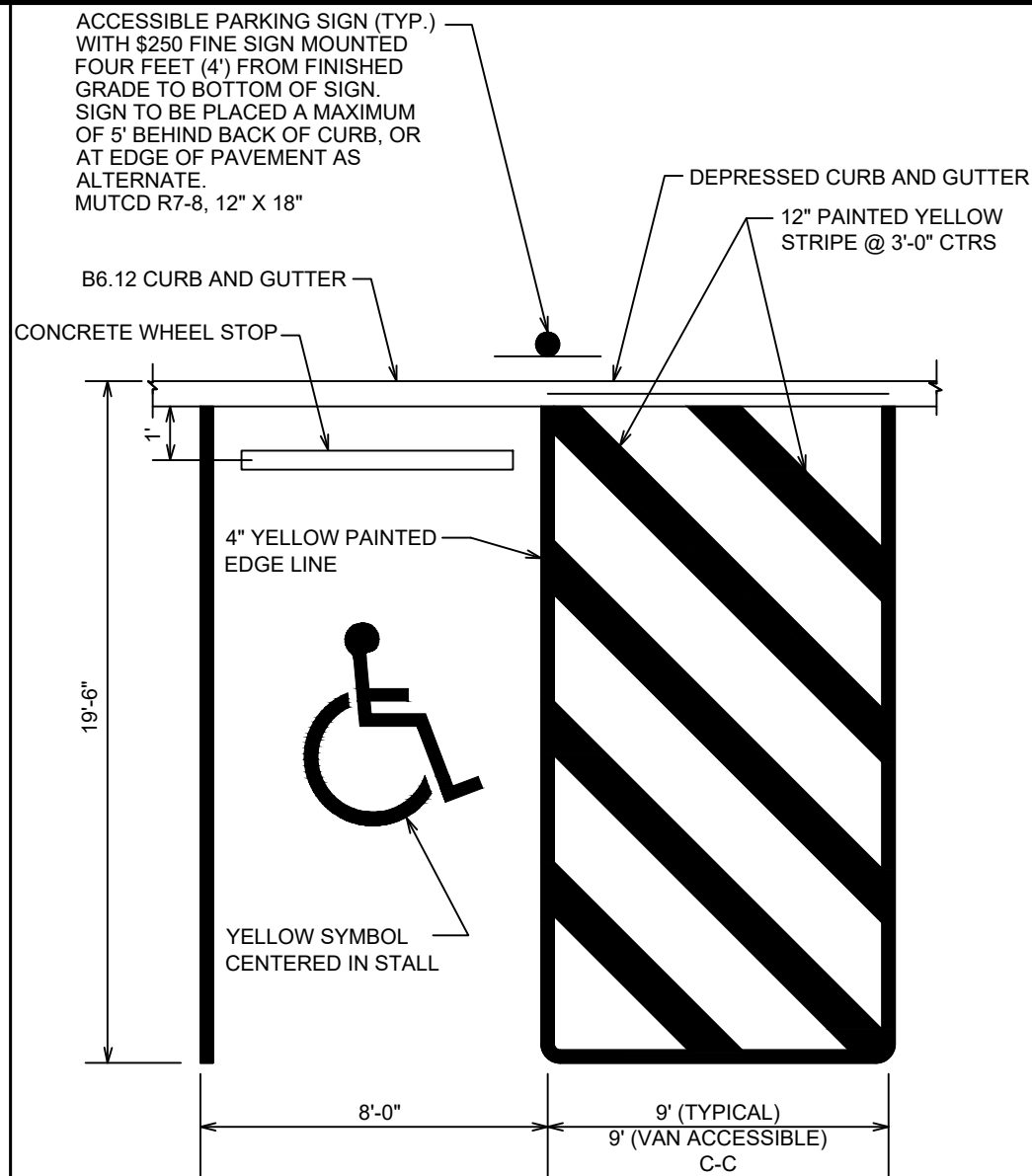
	RELATIVE ELEVATIONS	
	STANDARD PITCH	REVERSE PITCH
E/P	0.00	0.00
GUTTER	-1/4" (-0.021)	+1/4" (+0.021)
FLOW LINE	-1" (-0.083)	+1" (+0.083)
T/C	+5" (+0.417)	+7" (+0.583)

NOTES:

1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADII, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL).
3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 6x2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.



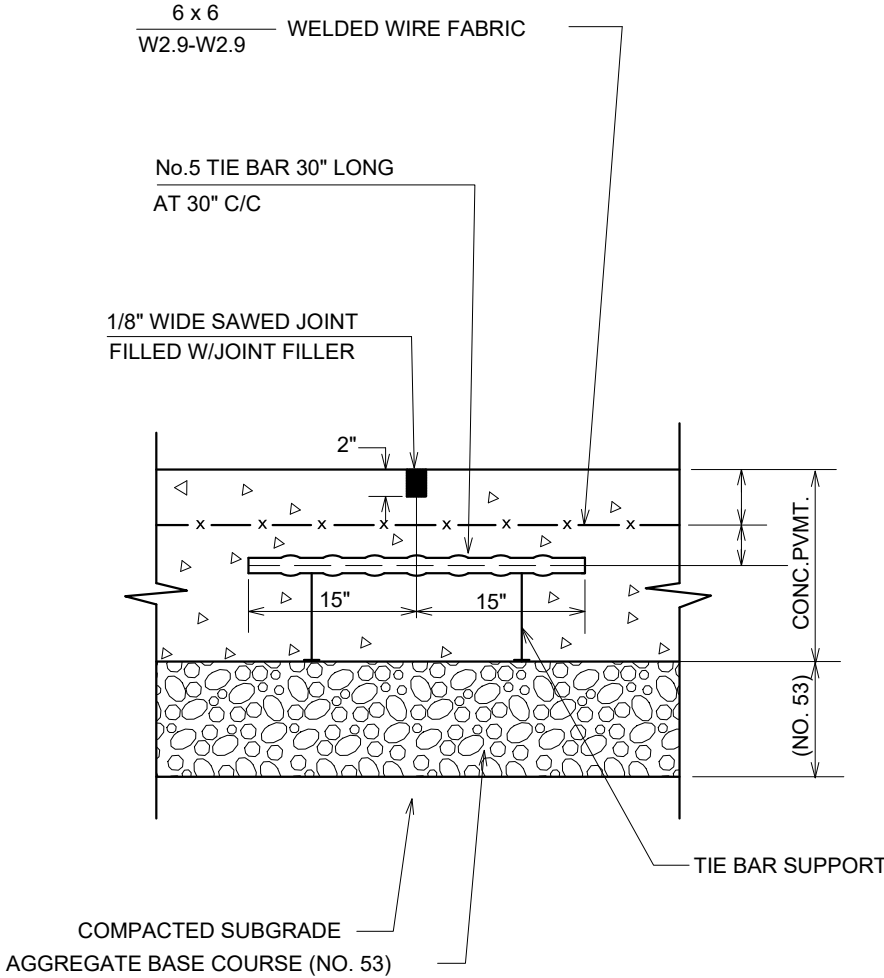
POST MOUNTING
2' BACK OF CURB



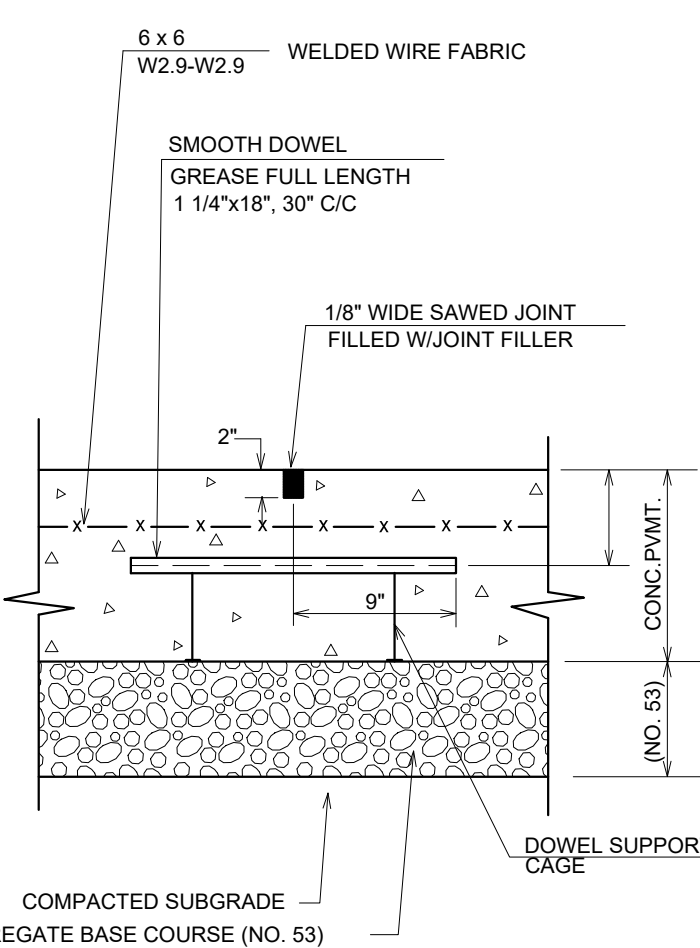
B6.12 CURB AND GUTTER

ACCESSIBLE PARKING STALL DETAIL

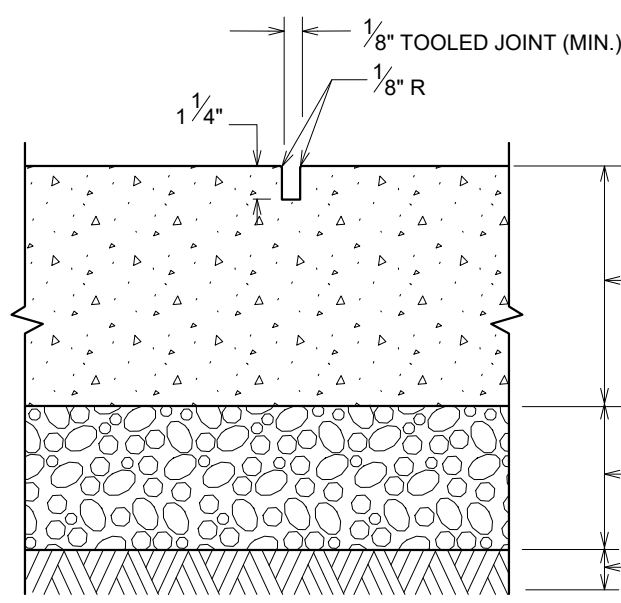
PAINTED ACCESSIBLE STALL SYMBOL



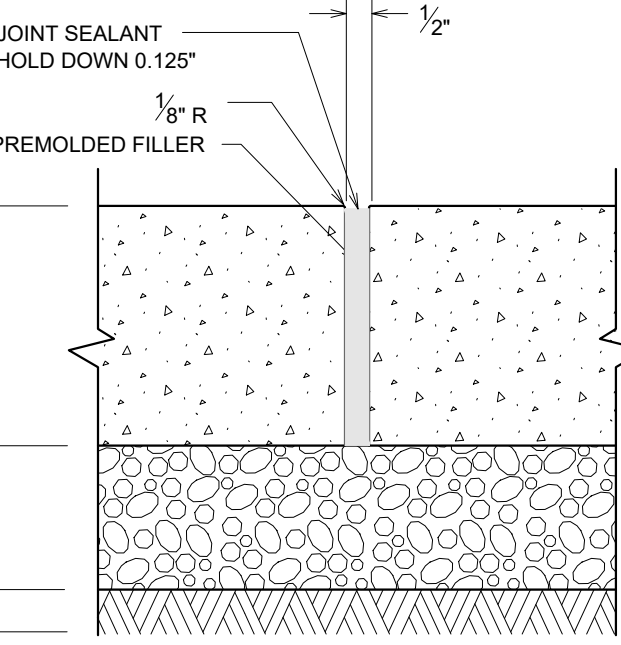
LONGITUDINAL CENTER JOINT



TRANSVERSE CONTRACTION JOINT



CONTRACTION JOINT DETAIL



EXPANSION JOINT DETAIL

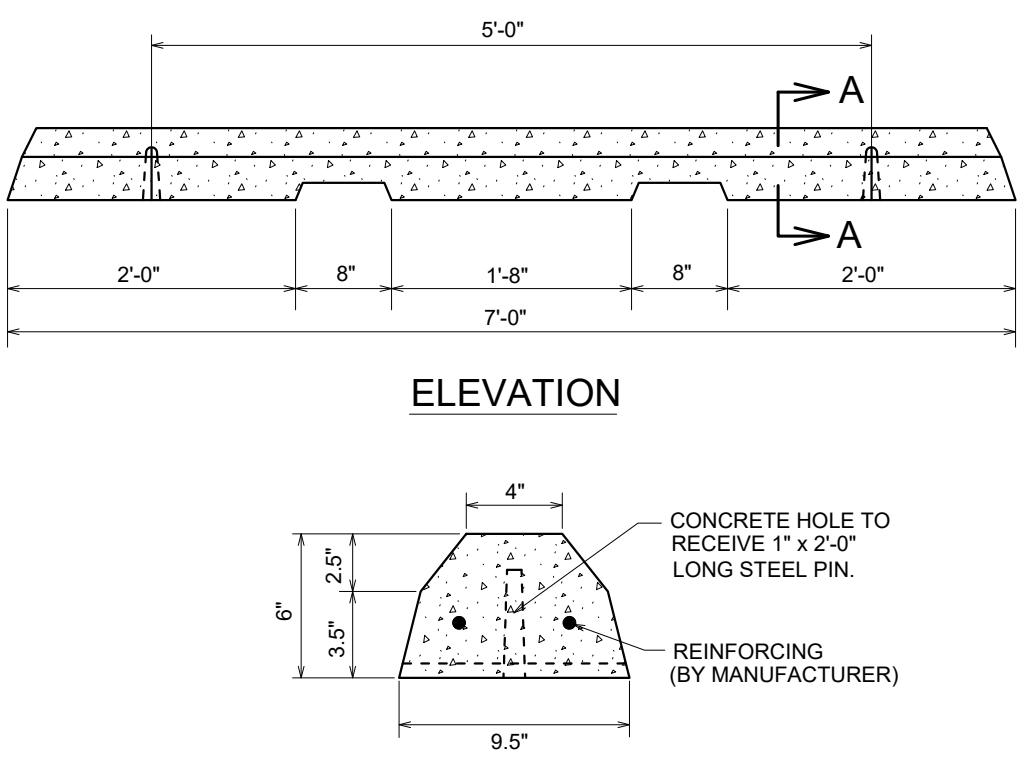


ACCESSIBLE PARKING SIGN
WITH \$250 FINE SIGN
MUTCD R7-8, 12"x18".

CONCRETE PAVEMENT JOINTS

CONCRETE SIDEWALK JOINTS

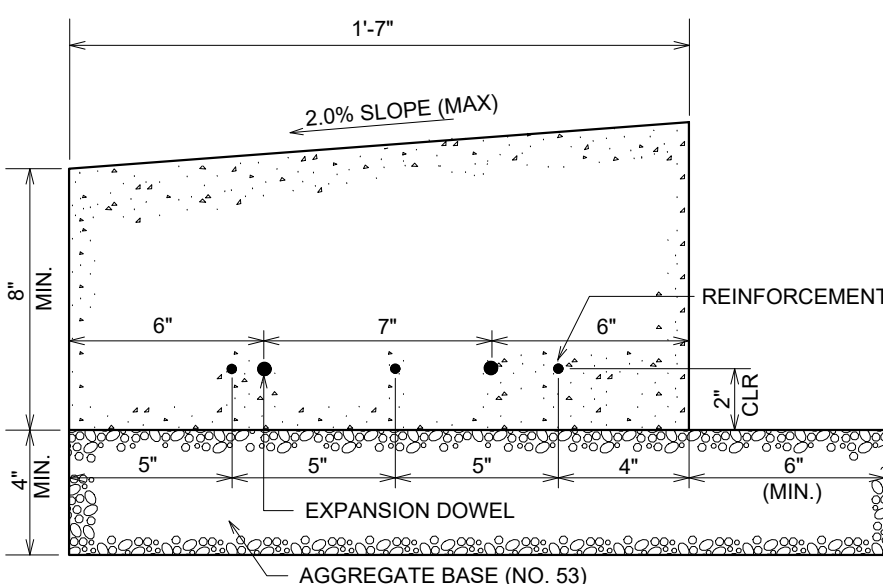
ACCESSIBLE PARKING SIGN



NOTES:

1. WHEEL STOPS TO BE CENTERED IN WIDTH OF PARKING STALLS.
2. STEEL PINS TO BE PROVIDED AS REQUIRED TO SECURE WHEEL STOPS.

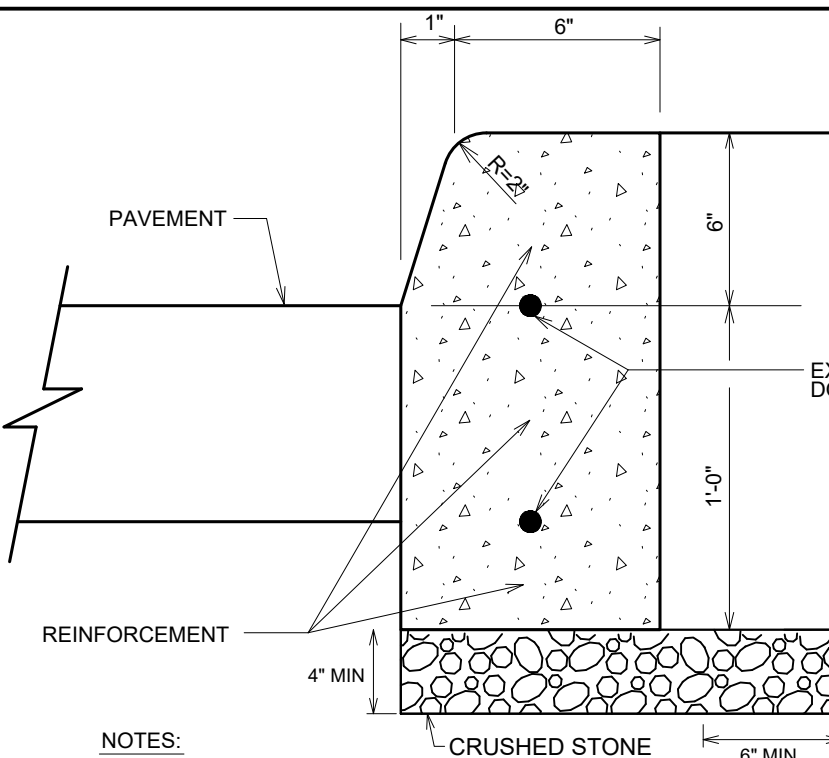
CONCRETE WHEEL STOP



NOTES:

1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT: PLACE 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL).
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4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 6 X 2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.
6. SEE PLANS FOR EXACT LOCATIONS OF SPECIAL FLUSH CURBS.

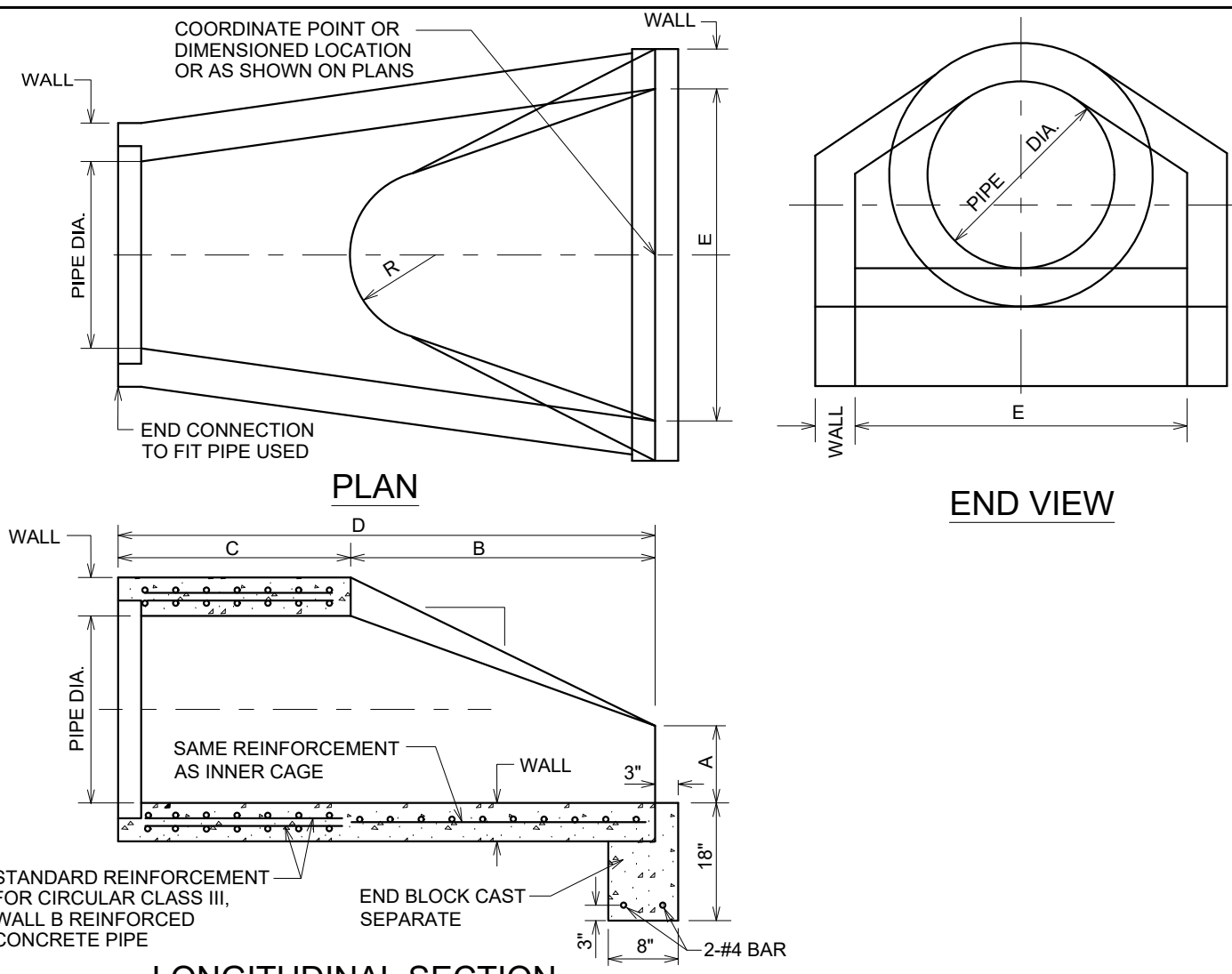
SPECIAL DEPRESSED CURB



NOTES:

1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADII, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL).
3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 6 X 2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.

B6 BARRIER CURB



PIPE DIA.	WALL	A	B	C	D	E	R	SLOPE
12"	2"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1"	2'-6"	9"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	13"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	14"	3:1
27"	3 1/4"	10 1/2"	4'-0"	25 1/2"	6'-1 1/2"	4'-6"	14 1/2"	3:1
30"	3 1/2"	12"	4'-6"	19 3/4"	6'-1 3/4"	5'-0"	15"	3:1
33"	3 3/4"	13 1/2"	4'-10 1/2"	39 3/4"	8'-1 3/4"	5'-6"	17 1/2"	3:1
36"	4"	15"	5'-3"	34 3/4"	8'-1 3/4"	6'-0"	20"	3:1
42"	4 1/2"	21"	5'-3"	35"	8'-2"	6'-6"	22"	3:1
48"	5"	24"	6'-0"	26"	8'-2"	7'-0"	22"	3:1
54"	5 1/2"	27"	5'-5"	35"	8'-4"	7'-6"	24"	2.4:1
60"	6"	35"	5'-0"	39"	8'-3"	8'-0"	*	2:1
66"	6 1/2"	30"	6'-0"	27"	8'-3"	8'-6"	*	2:1
72"	7"	36"	6'-6"	21"	8'-3"	9'-0"	*	2.26:1
78"	7 1/2"	36"	7'-6"	21"	9'-3"	9'-6"	*	2.12:1
84"	8"	36"	7'-6 1/2"	21"	9'-3 1/2"	10'-0"	*	1.94:1

* RADIUS AS FURNISHED BY MANUFACTURER

NOTES:

1. PRECAST CONCRETE FLARED END SECTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS III, WALL B REINFORCED CONCRETE PIPE.
2. LENGTHS OF PIPE WHICH TERMINATE WITH A FLARED END SECTION INCLUDE THE LENGTH OF THE FLARED END SECTION.

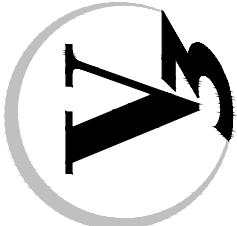
REVISIONS		DESCRIPTION	NO.	DATE
ORIGINAL ISSUE DATE: 10-24-2023				
PROJECT NO.: 17265.3F2 S04				
PROJECT MANAGER: RS				
DESIGNED BY: MR				
DRAWN BY: NRS				

CONSTRUCTION DETAILS

THREE FLOYDS TAPROOM

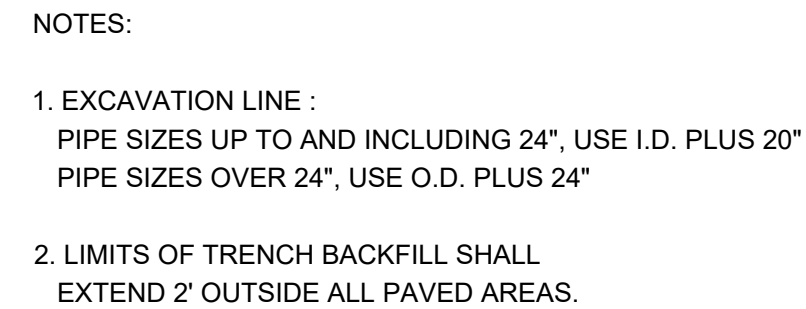
MUNSTER 9750 INDIANA PARKWAY INDIANA

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



DRAWING NO.

C6.0



TRENCH BACKFILL SECTIONS FOR STORM SEWER

DECORATIVE GRAVEL. SEE ARCHITECTURAL PLANS FOR DETAILS

UNDISTURBED GROUND

VARIABLE

AGGREGATE BACKFILL (NO. 8)

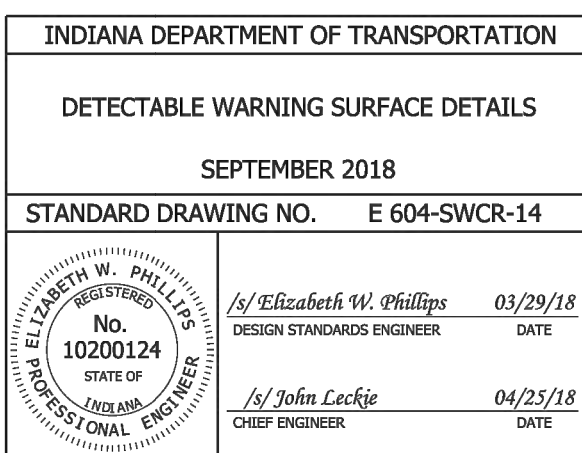
EXCAVATED TRENCH TO BE LINED WITH WOVEN GEOTEXTILE FABRIC (WEAVETEX 403 BY ERO-TEX OR SIMILAR) PRIOR TO BACKFILL

6" PERFORATED HDPE SLOPED TO DRAIN (SEE PLAN FOR ROUTE AND INVERT ELEVATION)

12"

CROSS SECTION
N.T.S.

UNDERDRAIN



**FINAL
STORMWATER
MANAGEMENT
REPORT**



PROJECT SITE:

**THREE FLOYDS TAPROOM EXPANSION
MUNSTER, LAKE COUNTY, INDIANA**

PREPARED FOR:

Three Floyds Brewing, LLC.
9750 Indiana Parkway
Munster, Indiana 46321

PREPARED BY:

V3 COMPANIES, LTD.
7325 JANES AVENUE
WOODRIDGE, ILLINOIS 60517
630.724.9200

OCTOBER 24, 2023



THREE FLOYDS TAPROOM EXPANSION

THREE FLOYDS TAPROOM
MUNSTER, LAKE COUNTY, INDIANA

Final Stormwater Report TABLE OF CONTENTS

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- Project Exhibits
 - Project Location Map
 - Aerial Map
 - USGS Topographic Map
 - FEMA FIRM MAP
 - Lake County Flood Zones Map
 - National Wetlands Inventory Map
 - Lake County Advanced Identification of Wetlands Map
 - Lake County Soils Map

SECTION 2:

Stormwater Submittal

- Midwest Central Industrial Park Stormwater Plan
- NAVD 29 to NAVD 88 Conversion Calculation
- Midwest Central Industrial Park Runoff Coefficient
- Aerial Overlay Exhibit of Midwest Central Industrial Park (Exhibit 1)
- Existing Pervious/Impervious Area Exhibit –South of Superior (Exhibit 2)
- Existing Runoff Coefficient Calculation – Properties South of Superior
- Proposed Pervious/Impervious Area Exhibit – Three Floyds (Exhibit 3)
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SECTION 1



THREE FLOYDS TAPROOM EXPANSION

MUNSTER, LAKE COUNTY, INDIANA

PROJECT OVERVIEW

The proposed Three Floyds Taproom Expansion is located along Indiana Parkway, within the Town of Munster in Lake County, Indiana. See Exhibit 1, Project Location Map. The subject property is on two parcels, separated by Indiana Parkway, totaling 8.37± acres of land (6.99 acres on the west and 1.38 acres on the east). Currently the properties are being utilized as the Three Floyds Brewery, associate parking lots, and vacant land. The proposed improvements are located on the southern third of the property on the west side of Indiana Parkway. The proposed improvements include building expansion to the existing taproom, outdoor patio/bar area, and outdoor lawn area enclosed by landscape berms. The proposed improvements will also involve reworking the existing parking area on the east side of the taproom.

EXISTING SITE CONDITION

The subject property is located within the Midwest Central Industrial Park (MCIP), and is bounded on the north by Superior Avenue, the east by Indiana Parkway, the west by a Town of Munster detention pond, and on the south by a School District bus facility. The site currently consists of the existing Three Floyds facilities, a gravel parking lot to the north, asphalt parking lot to the east, and vacant land to the south that was previously a woodworking facility. An expansion of the Three Floyds facility was completed in 2015 consisted of the distillery addition and parking lot on the east side of Indiana Parkway

The site generally drains through storm sewers and surface runoff that discharge into the detention pond on the west side of the Three Floyds property. The detention basin is interconnected with another basin to the north. And both are controlled and drained by and existing stormwater pump station north of Superior Avenue that is owned and operated by Hammond Sanitary District. The water is pumped west under the railroad, and continues draining west, ultimately tributary to The Little Calumet River. The existing stormwater management was designed for the full buildout of the overall MCIP. See Exhibits in Section 2 of this report.

Based on review of the FEMA Flood Insurance Rate Map, the entire site is located within the 500-year floodplain. An exhibit has been included at the end of this section showing the floodplain limits.

Location, Wetland, Hydrologic, and Soil Survey Exhibits are attached for reference.

PROPOSED SITE CONDITION

The proposed improvements will include a building expansion, outdoor patio/bar area, lawn area enclosed by landscaped berms, and reworking the existing parking east of the taproom. The site is located on Indiana parkway within Lake County, Indiana. The Town of Munster will manage the stormwater review and approval process.

In the proposed condition the site will continue to be tributary to the existing detention basin to the west. Existing drainage patterns will be maintained and the proposed site will be routed through storm sewer which will directly discharge into the basin.

Site Runoff Requirement

The proposed site storm sewer is designed to convey runoff up to and including the 10-year storm event. The proposed storm sewer will maintain the existing drainage patterns and will discharge to the existing detention pond on the west side of Three Floyds. Runoff from the 10-year through 100-year storm event are routed overland to the existing pond on the west side of Three Floyds. Existing emergency overland overflow routes to the existing detention pond will not be disturbed in the proposed condition.

Proposed storm sewer design calculations are included in Section 2.

Site Detention Requirement

The Town of Munster has provided historical documents that show the original stormwater plan and design for the Midwest Central Industrial Park prepared by Mackie Consultants Inc. (See Exhibit in Section 2). This document indicated that the MCIP has an overall drainage area of 191 acres. Two detention basins were designed, one northwest of Three Floyds that has a volume of 30.0 ac-ft, and one directly west of Three Floyds that has a volume of 19.7 ac-ft. Both basins have a high-water level of 612.0. The original MCIP stormwater plan was based on NAVD29 elevations. Current topographic surveys are based on NAVD88 elevations. Therefore, the HWL of the detention basins have been converted to an elevation of 611.68 to be consistent with the current survey. See NAVD29 to NAVD88 conversion calculation provided in Section 2.

The original stormwater management design for the MCIP was based on a runoff coefficient of 0.80 for the entire property in a fully developed condition. See MCIP stormwater Plan in Section 2. In our opinion, the 0.80 runoff coefficient is based on 75% impervious coverage and 25% pervious coverage, site runoff coefficients of 0.95 and 0.35 respectively, resulting in a composite C factor of 0.80. See MCIP Runoff Coefficient calculation provided in Section 2. An Aerial Overlay Exhibit of the MCIP Stormwater Routing Plan is provide in Section 2 and shows the extents of the land area that was included in the original design, and the land coverage (pervious and impervious area). In our opinion, there is much less impervious area than originally planned for the Industrial Park. This results in less stormwater runoff to the detention basins, and thereby an excess of detention in the basins.

The portion of the Industrial Park south of Superior Avenue was analyzed in greater detail to determine the amount of pervious/impervious area that exists today in this portion of the park. It was determined that this area of the Industrial Park is approximately 74.46 acres. Using aerial imagery, the pervious/impervious cover for this area was calculated. It was determined that approximately 48.7% of this area is impervious and 51.3% is pervious. In existing conditions, this area of the Industrial Park has a composite runoff coefficient of approximately 0.64. These calculations show that the detention basin has excess capacity based on existing land coverage, and that approximately 19.6 acres of impervious area could be added based on the original stormwater design. See exhibits and calculations included in Section 2.

The proposed Three Floyds site will have approximately 3.89 acres of pervious area (46%) and approximately 4.48 acres of impervious area (54%); resulting in a composite runoff coefficient of 0.67. An exhibit showing pervious/impervious areas for the Three Floyds site and the resulting runoff coefficient is included in Section 2.

The proposed impervious coverage (54%) and runoff coefficient (0.67) are within the allowable parameters of the original stormwater management design (75% and 0.80). Therefore, stormwater management for the proposed improvements are adequately provided for in the MCIP stormwater management system.

Erosion Control

Erosion and sediment will be controlled during construction using silt fence, stabilized construction entrances, erosion control blanket, and other methods that is indicated in detail on the final engineering plans and in the Stormwater Pollution Prevention Plan (SWPPP). Measures will remain in place and shall be maintained until the site has been stabilized. Within thirty days of disturbed areas being permanently stabilized, temporary erosion control measures shall be removed from the site.

Best Management Practices (BMPs)


All of the stormwater runoff from the site is tributary to the existing MCIP stormwater management system., which was designed for the entire Industrial Park in a fully developed condition. The existing detention basin generally have flat bottoms with native vegetation that is below the outlet elevation of the basin. This condition promotes infiltration, removes suspended solids and other pollutants from stormwater, and thereby provides the required water quality BMPs.

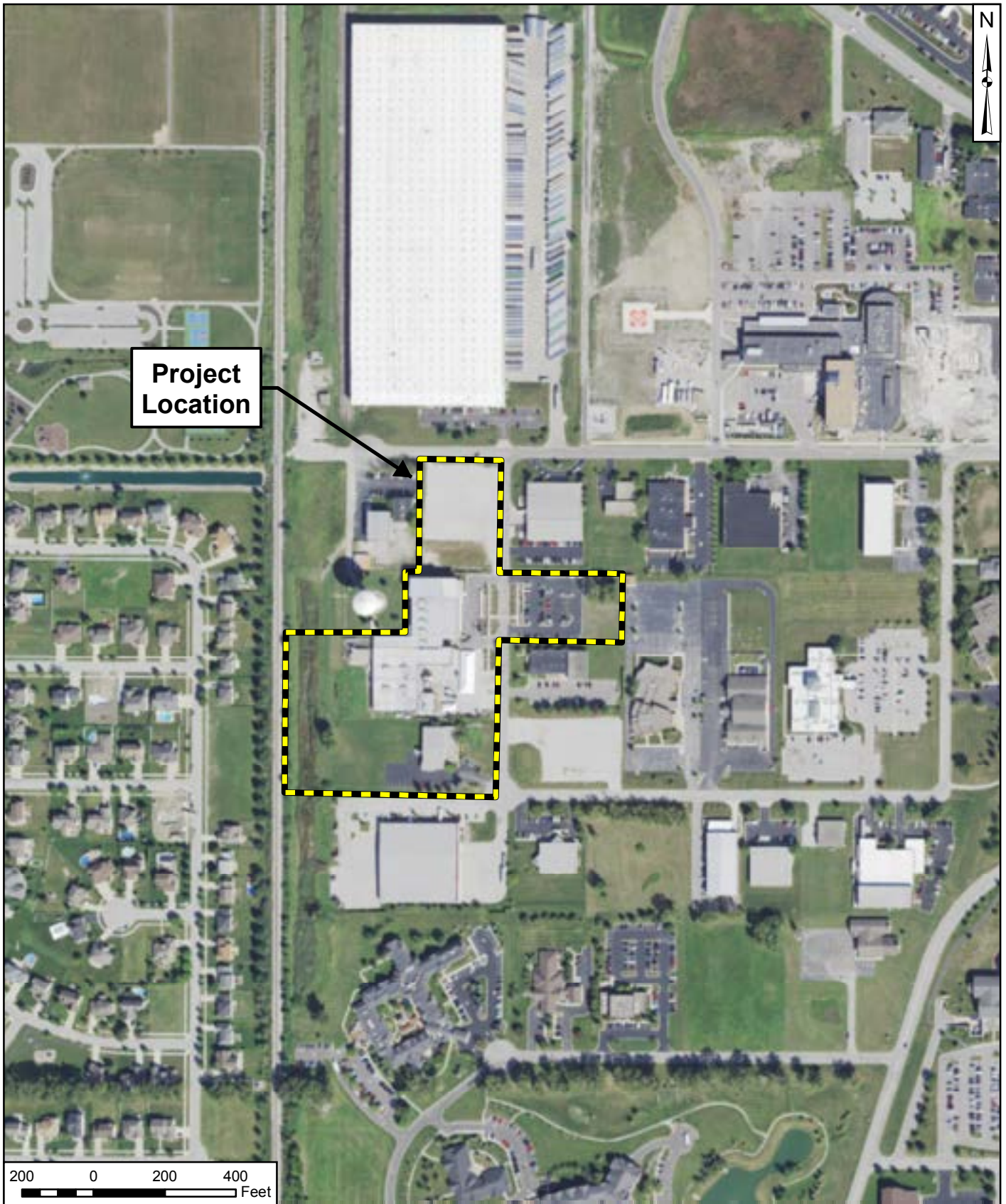
Conclusion

In our opinion, all stormwater detention and water quality requirements have been met in the existing MCIP detention basins and stormwater management system, which was originally designed for the full buildout of the 191.0-acre Industrial Park.




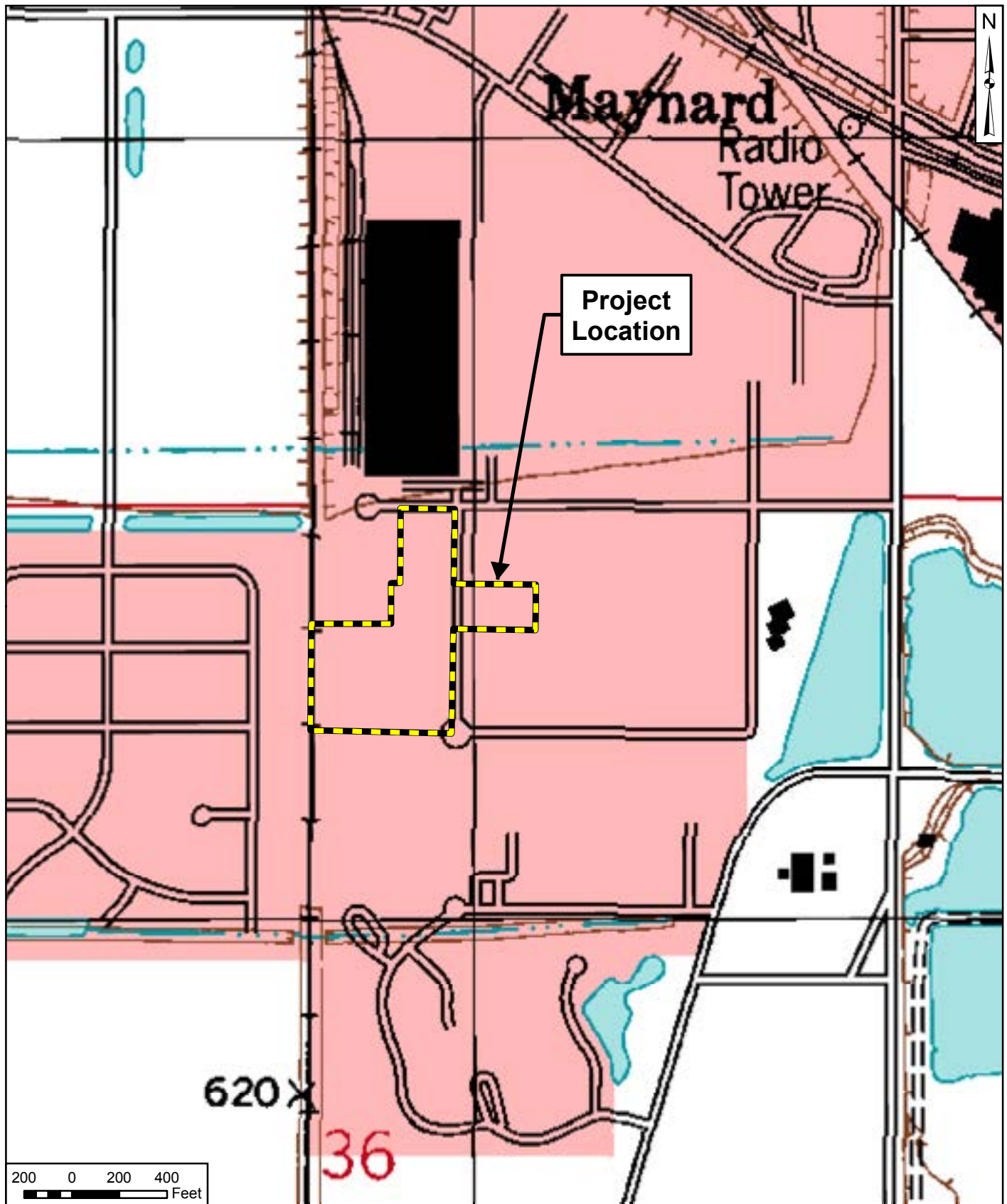
200 0 200400
 Feet

 <p>V3 Companies 7325 Janes Avenue Woodridge, Illinois 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	PROJECT NO.: 17265	CLIENT: Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321	TITLE: PROJECT LOCATION MAP	
	CREATED BY: RMS			
	DATE: 11/29/2017	BASE LAYER: ESRI World Street Map	SITE: Three Floyds Expansion Munster, Indiana	EXHIBIT 1
Visio, Vertere, Virtute... "The Vision To Transform with Excellence"		SCALE: See Scale Bar		



200 0 200 400
Feet

 <p>V3 Companies 7325 Janes Avenue Woodridge, Illinois 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	PROJECT NO.: 17265	CLIENT: Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321	TITLE: AERIAL MAP	
	CREATED BY: RMS			
	DATE: 11/29/2017	BASE LAYER: DigitalGlobe Aerial Imagery (2016)	SITE: Three Floyds Expansion Munster, Indiana	
	SCALE: See Scale Bar			
Visio, Vertere, Virtute... <i>"The Vision To Transform with Excellence"</i>				EXHIBIT 2



200 0 200 400
Feet



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Woodridge, Illinois 60517
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630.724.9202 fax
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PROJECT NO.:
17265

CREATED BY:
RMS

DATE:
11/29/2017

SCALE:
See Scale Bar

CLIENT:
Three Floyds
9750 Indiana Pkwy
Munster, Indiana 46321

BASE LAYER:
USGS Topographic Map
Calumet Quadrangle
(1998)

TITLE:

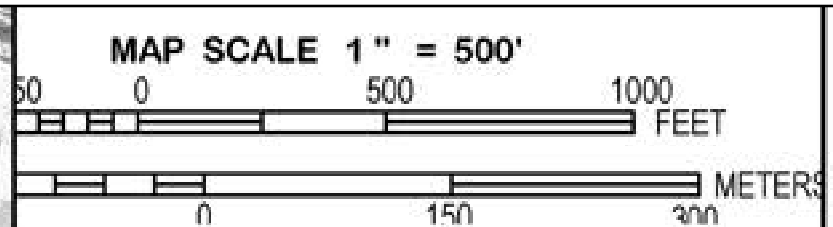
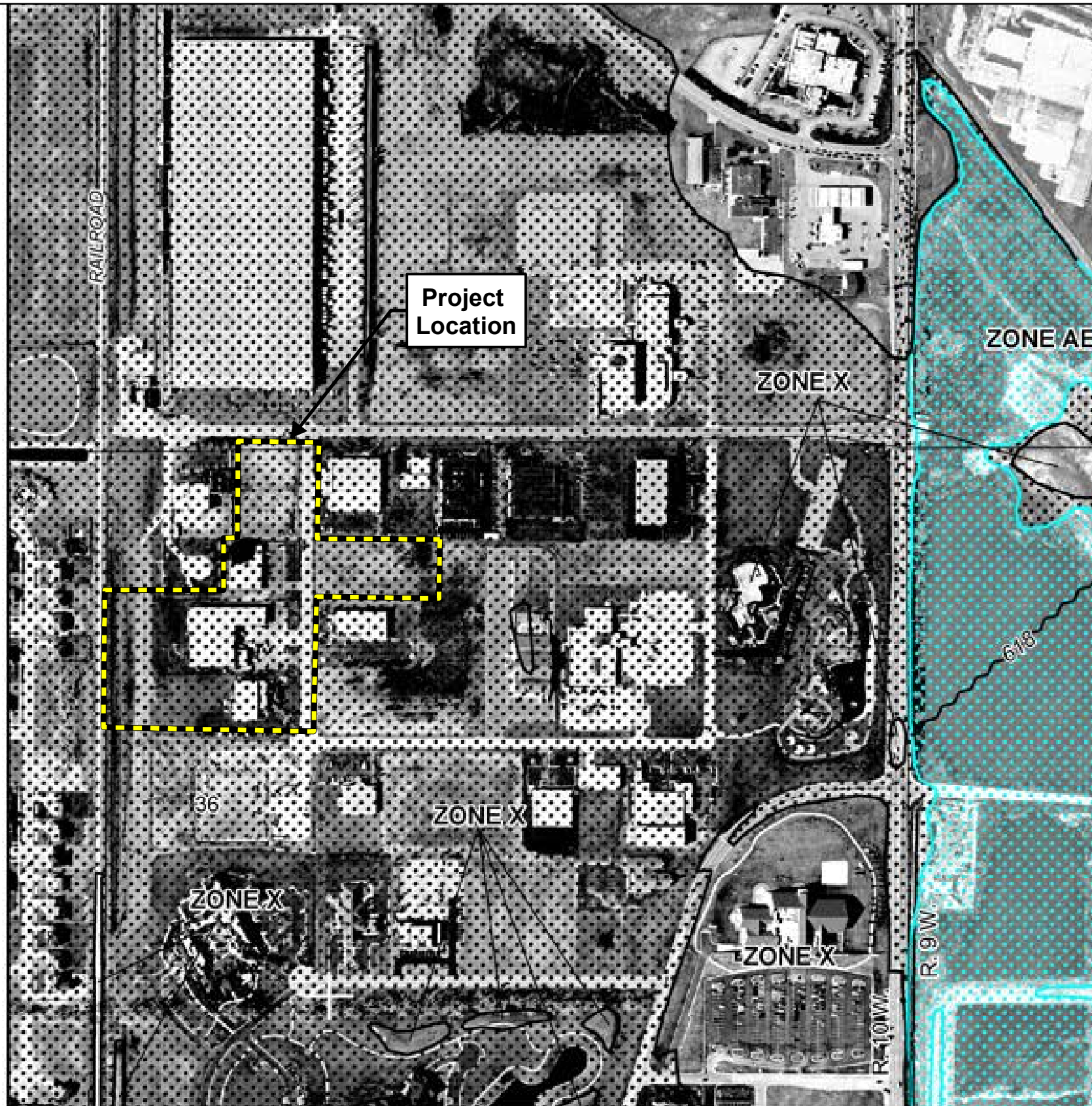
**USGS TOPOGRAPHIC
MAP**

SITE:

Three Floyds Expansion
Munster, Indiana

EXHIBIT

3



NFIP
NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0117E

FIRM
FLOOD INSURANCE RATE MAP
**LAKE COUNTY,
INDIANA**
AND INCORPORATED AREAS

PANEL 117 OF 480
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY
MUNSTER, TOWN OF

NUMBER PANEL SUFFIX
180139 0117 E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER
18089C0117E**
**EFFECTIVE DATE
JANUARY 18, 2012**

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It



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PROJECT NO.:	17265
CREATED BY:	RMS
DATE:	11/29/2017
SCALE:	See Scale Bar

CLIENT:	Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321
BASE LAYER:	FEMA FIRM Panel 18089C0117E

SITE:
**Three Floyds Expansion
Munster, Indiana**

TITLE:
**FEMA FLOOD INSURANCE
RATE MAP (FIRM)**








EXHIBIT

4

Legend

Flood Zones of Lake County (2015)

FLD_ZONE, ZONE_SUBTY

-  Zone A
-  Zone AE
-  Zone AE, Floodway
-  Zone AH
-  0.2% Annual Chance Flood Hazard
-  Zone X Protected By Levee
-  Zone X



Project Location

300 0 300 600
Feet



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PROJECT NO.:
17265

CREATED BY:
RMS

DATE:
11/29/2017

SCALE:
See Scale Bar

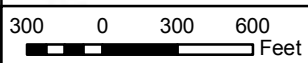
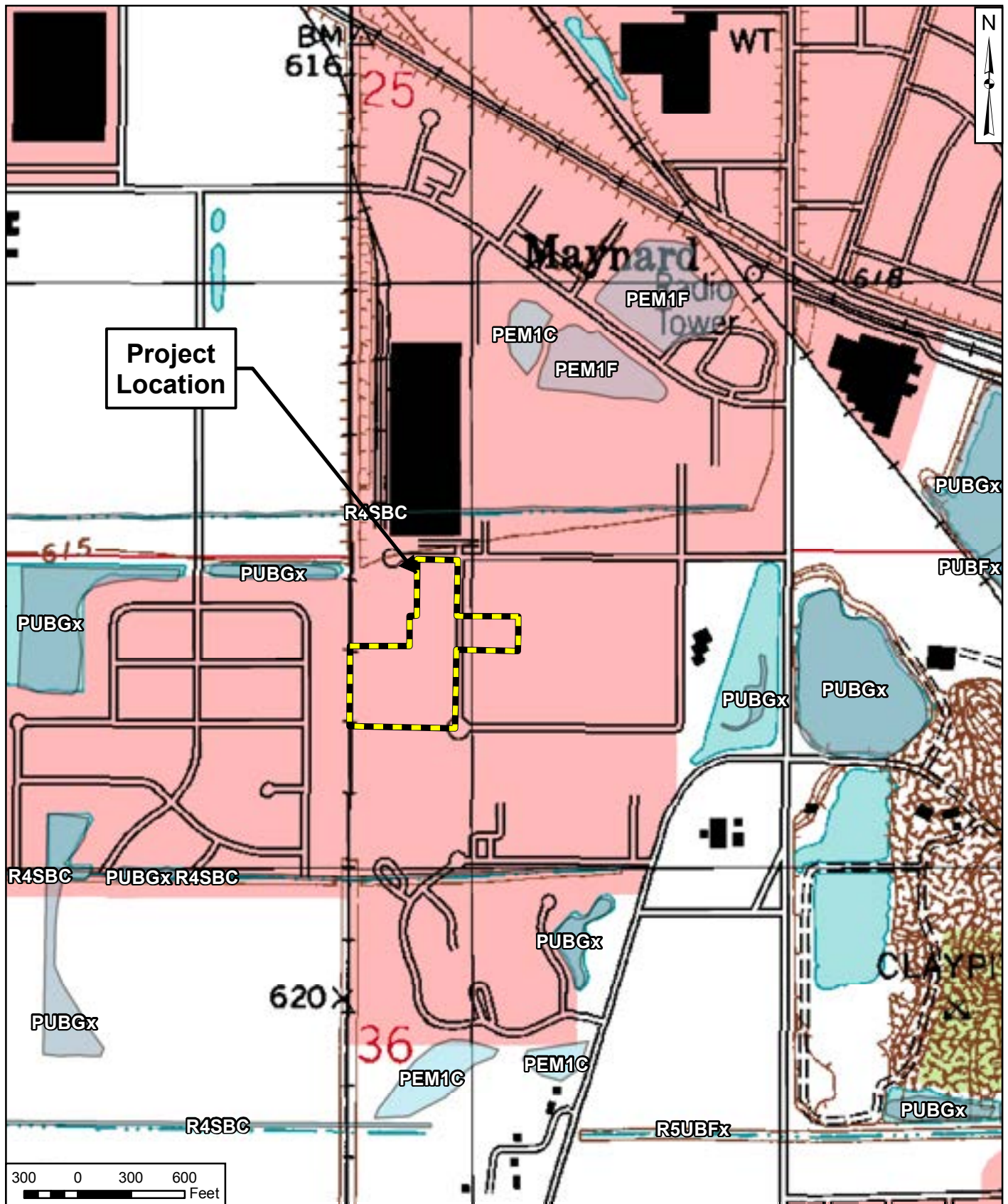
CLIENT:
Three Floyds
9750 Indiana Pkwy
Munster, Indiana 46321


BASE LAYER:
DigitalGlobe Aerial
(2016)

TITLE:
**FLOOD ZONES OF LAKE
COUNTY, INDIANA (2015) MAP**

SITE:
Three Floyds Expansion
Munster, Indiana

EXHIBIT
5



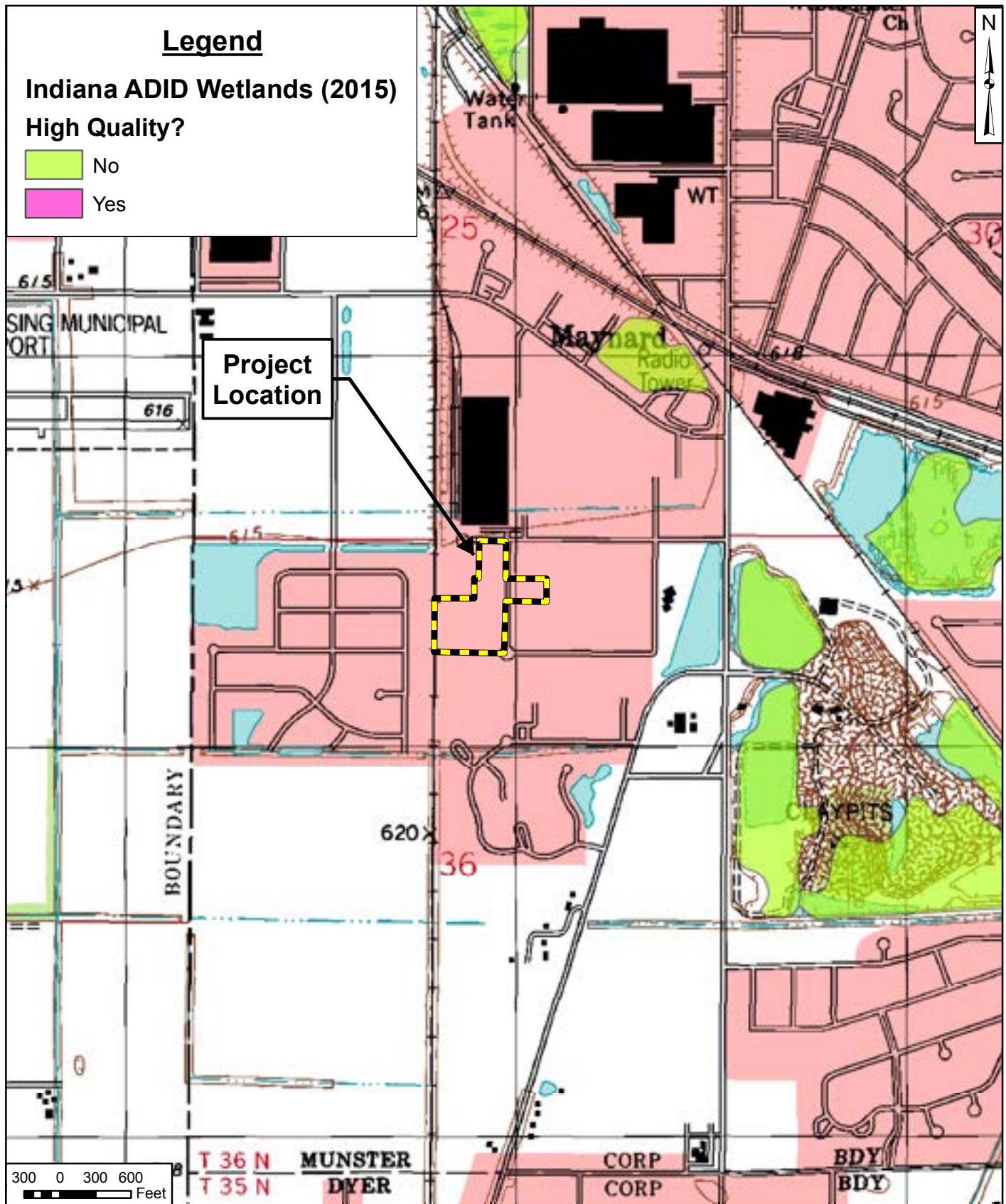
 <p>V3 Companies 7325 Janes Avenue Woodridge, Illinois 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	PROJECT NO.: 17265	CLIENT: Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321	NATIONAL WETLANDS INVENTORY (NWI) MAP	
	CREATED BY: RMS			
	DATE: 11/29/2017	BASE LAYER: USGS Topographic Map Calumet Quadrangle (1998)	SITE: Three Floyds Expansion Munster, Indiana	EXHIBIT 6
	SCALE: See Scale Bar			

Legend

Indiana ADID Wetlands (2015)

High Quality?

- No
- Yes



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630.724.9202 fax
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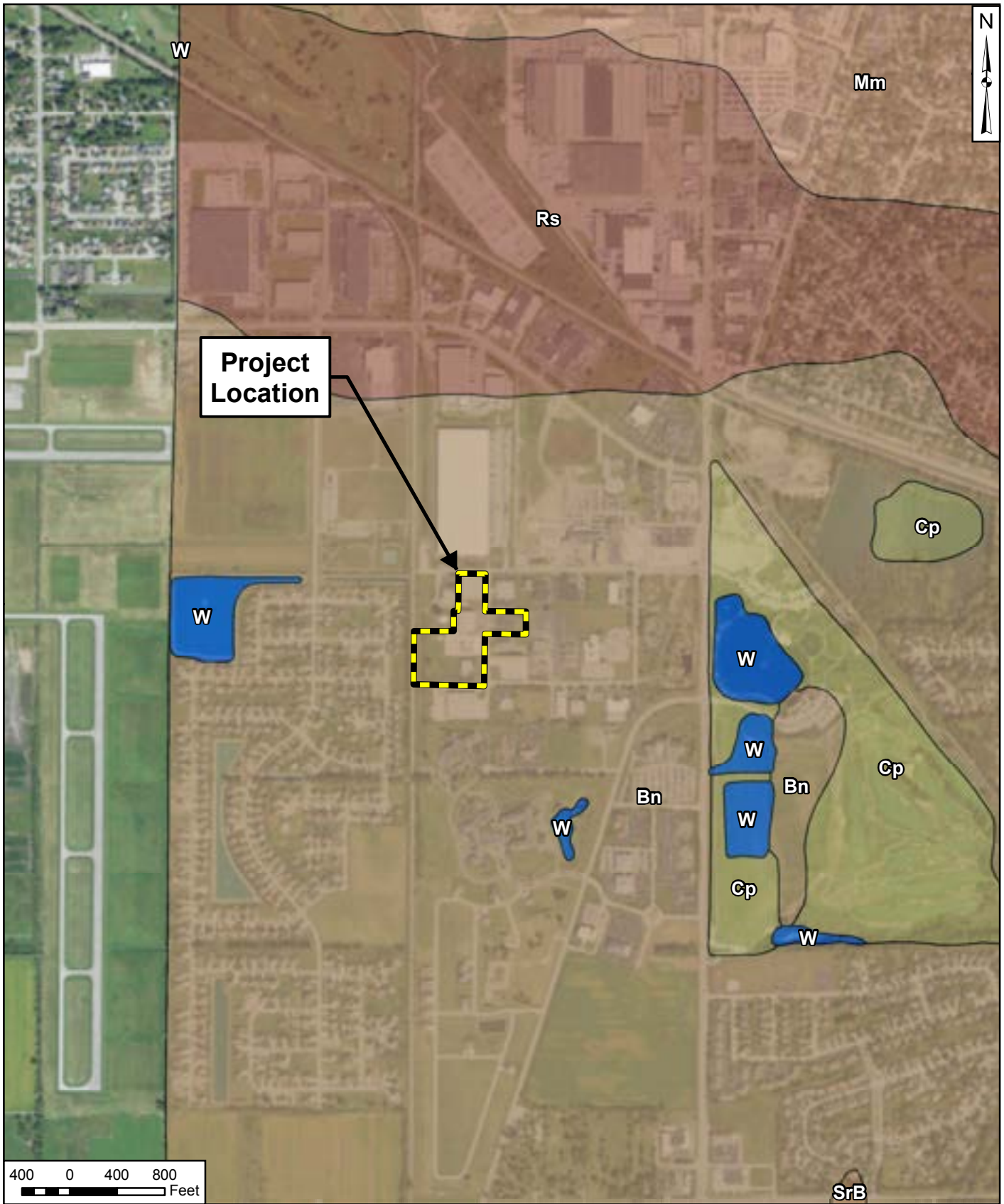
PROJECT NO.: 17265
CREATED BY: RMS
DATE: 11/29/2017
SCALE: See Scale Bar


CLIENT: Three Floyds
9750 Indiana Pkwy
Munster, Indiana 46321
BASE LAYER: USGS Topographic Map
Calumet Quadrangle
(1998)

TITLE: LAKE COUNTY ADVANCED
IDENTIFICATION OF
WETLAND (ADID) MAP

SITE: Three Floyds Expansion
Munster, Indiana

EXHIBIT
7



 <div>V3 Companies 7325 Janes Avenue Woodridge, Illinois 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</div>	PROJECT NO.: 17265	CLIENT: Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321	TITLE: SOIL SURVEY OF LAKE COUNTY, ILLINOIS MAP	
	CREATED BY: RMS			
	DATE: 11/29/2017	BASE LAYER: DigitalGlobe Aerial Imagery (2016)	SITE: Three Floyds Expansion Munster, Indiana	EXHIBIT 8
Visio, Vertere, Virtute... "The Vision To Transform with Excellence"	SCALE: See Scale Bar			

SECTION 2

STORMWATER DETENTION CALCULATIONS

RETENTION TIME (HRS)	INTENSITY FOR 100-YR. STORM (IN/HR)	INFLOW RATE (CFS)	STORAGE RATE (CFS)	STORAGE REQUIRED (AC-FT)
0.17	7.60	1161.20	1145.08	19.994
0.33	4.40	644.40	629.28	10.798
0.50	3.20	464.00	456.12	7.863
0.67	2.70	396.00	387.76	6.641
0.83	2.30	344.00	336.32	5.705
1.00	2.00	304.00	294.08	5.002
1.25	1.70	256.00	252.00	4.170
1.50	1.50	224.00	220.00	3.640
1.75	1.30	192.00	188.00	3.160
2.00	1.20	176.00	167.16	2.790
2.50	1.00	144.00	136.00	2.272
3.00	0.84	120.00	115.15	1.936
3.50	0.75	104.00	99.54	1.670
4.00	0.68	92.00	88.00	1.456
4.50	0.62	82.00	79.12	1.280
5.00	0.58	75.20	72.48	1.136
5.50	0.54	69.60	66.72	1.016
6.00	0.50	64.00	61.44	0.912
6.50	0.47	59.20	56.64	0.824
7.00	0.44	54.40	52.16	0.752
7.50	0.42	50.40	48.00	0.696
8.00	0.40	46.40	44.16	0.656
8.50	0.38	42.40	40.64	0.624
9.00	0.36	38.40	37.44	0.596
9.50	0.34	34.40	34.56	0.572
10.00	0.32	30.40	31.04	0.552
10.50	0.31	28.00	28.16	0.536
11.00	0.30	25.60	25.60	0.520
11.50	0.29	23.20	23.20	0.504
12.00	0.28	20.80	20.80	0.488
12.50	0.27	18.40	18.40	0.472
13.00	0.26	16.00	16.00	0.456
13.50	0.25	13.60	13.60	0.440
14.00	0.24	11.20	11.20	0.424
14.50	0.23	8.80	8.80	0.408
15.00	0.22	6.40	6.40	0.392
15.50	0.21	4.00	4.00	0.376
16.00	0.20	1.60	1.60	0.360
16.50	0.19	0.00	0.00	0.344
17.00	0.18	0.00	0.00	0.328
17.50	0.17	0.00	0.00	0.312
18.00	0.16	0.00	0.00	0.296
18.50	0.15	0.00	0.00	0.280
19.00	0.14	0.00	0.00	0.264
19.50	0.13	0.00	0.00	0.248
20.00	0.12	0.00	0.00	0.232
20.50	0.11	0.00	0.00	0.216
21.00	0.10	0.00	0.00	0.200
21.50	0.09	0.00	0.00	0.184
22.00	0.08	0.00	0.00	0.168
22.50	0.07	0.00	0.00	0.152
23.00	0.06	0.00	0.00	0.136
23.50	0.05	0.00	0.00	0.120
24.00	0.04	0.00	0.00	0.104

ENTER PUMP
FACTOR C
ENTER DRAINAGE
AREA A (AC)
ENTER RELEASE
RATE (CFS) (CFS)
NATURAL TIME
(IN HOURS)

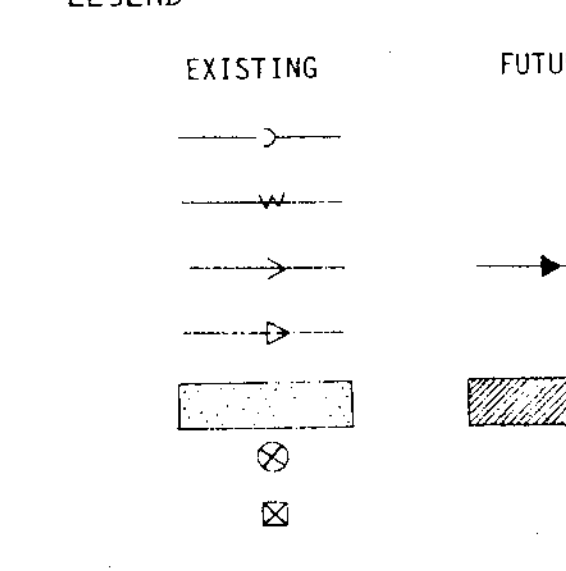
LOUISVILLE AND NASHVILLE R.R.

DETENTION BASIN (VOL. = 19.7 AC FT) HM = 612.0
WATER TOWER 1,000,000 GAL
STORM LIFT STATION 7200 GPM CAPACITY
DETENTION BASIN (VOL. = 30.0 AC FT) HM = 612.0

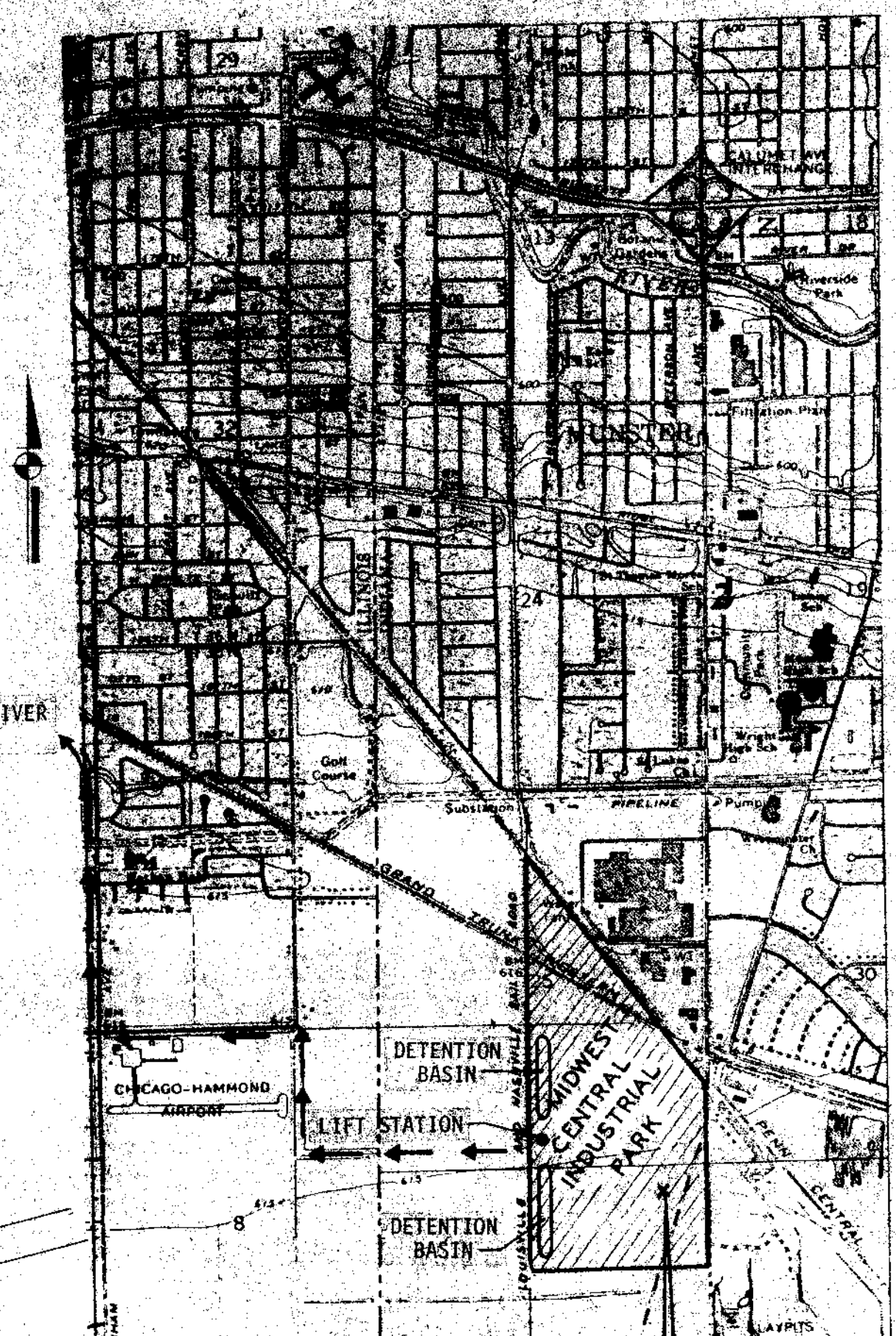
MIDWEST

CENTRAL INDUSTRIAL PARK

- LEGEND
- SANITARY SEWER
 - WATER MAIN
 - STORM SEWER
 - FORCE MAIN
 - PAVEMENT
 - VALVE/VAULT
 - VALVE/BOX
 - HYDRANT



PROPOSED 4-LANE ROAD TO BE CONSTRUCTED BY 1984.



STORMWATER ROUTING PLAN AND LOCATION MAP
SCALE 1"=2000'

MIDWEST CENTRAL INDUSTRIAL PARK		
DETENTION VOLUME	49.4 AC FT (DRY BASIN)	
RELEASE	16.2 CFS	
HIGH WATER EL.	612.0	
DRAINAGE AREA	191 AC.	OFFSITE
C	0.80	-



RUNOFF COEFFICIENT CALCULATION

Midwest Central Industrial Park

PROJECT: Three Floyds
V3 FILE NO.: 17265.3F2
DATE: 09/25/23
PREPARED BY: MR
REVIEWED DATE: 09/25/23
REVIEWED BY: RMS

Impervious Area (ACRE)	142.63
Impervious c-factor	0.95
Pervious Area (ACRE)	48.37
Pervious c-factor	0.35
TOTAL AREA (ACRE)	191.00

$$C = \frac{0.95 * (\text{Impervious Area}) + 0.35 * (\text{Pervious Area})}{\text{Total Area}}$$

$$C = \frac{0.95 * (143.25 \text{ acre}) + 0.3 * (47.75 \text{ acre})}{191.00}$$

C	=	0.80
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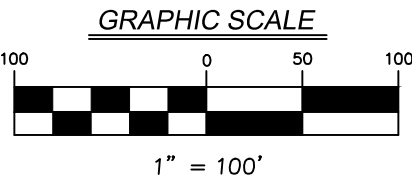



SUMMARY

TOTAL AREA = 74.46 ACRES
IMPERVIOUS = 48.67%
PERVIOUS = 51.33%

MIDWEST CENTRAL INDUSTRIAL PARK
PERMITTED RUNOFF COEFFICIENT, C = 0.80
(ASSUMED 75% IMPERVIOUS @ 0.95,
25% PERVIOUS @ 0.35)

PROPERTIES SOUTH OF SUPERIOR AVE.
RUNOFF COEFFICIENT, C = 0.64
(48.67% IMPERVIOUS @ 0.95, 51.33% PERVIOUS @ 0.35)



 <p>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p> <p>Visio, Vertere, Virtute... "The Vision to Transform with Excellence"</p>	REVISIONS						PROJECT NO.: 17265.3F2	DESIGNED BY: RMS	THREE FLOYDS EXPANSION MUNSTER INDIANA		EXISTING PERVIOUS/IMPERVIOUS AREA - SOUTH OF SUPERIOR	EX 2
	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	FILE NAME: EX1 PERVIOUS IMPERVIOUS EXHIBIT	DRAWN BY: NRS				
							ORIGINAL ISSUE DATE: 09-25-2023	CHECKED BY: JRB				
							SCALE: 1" = 100'	PROJECT MANAGER: JRB				



RUNOFF COEFFICIENT CALCULATION

Properties South of Superior Ave. in Midwest Central Industrial Park

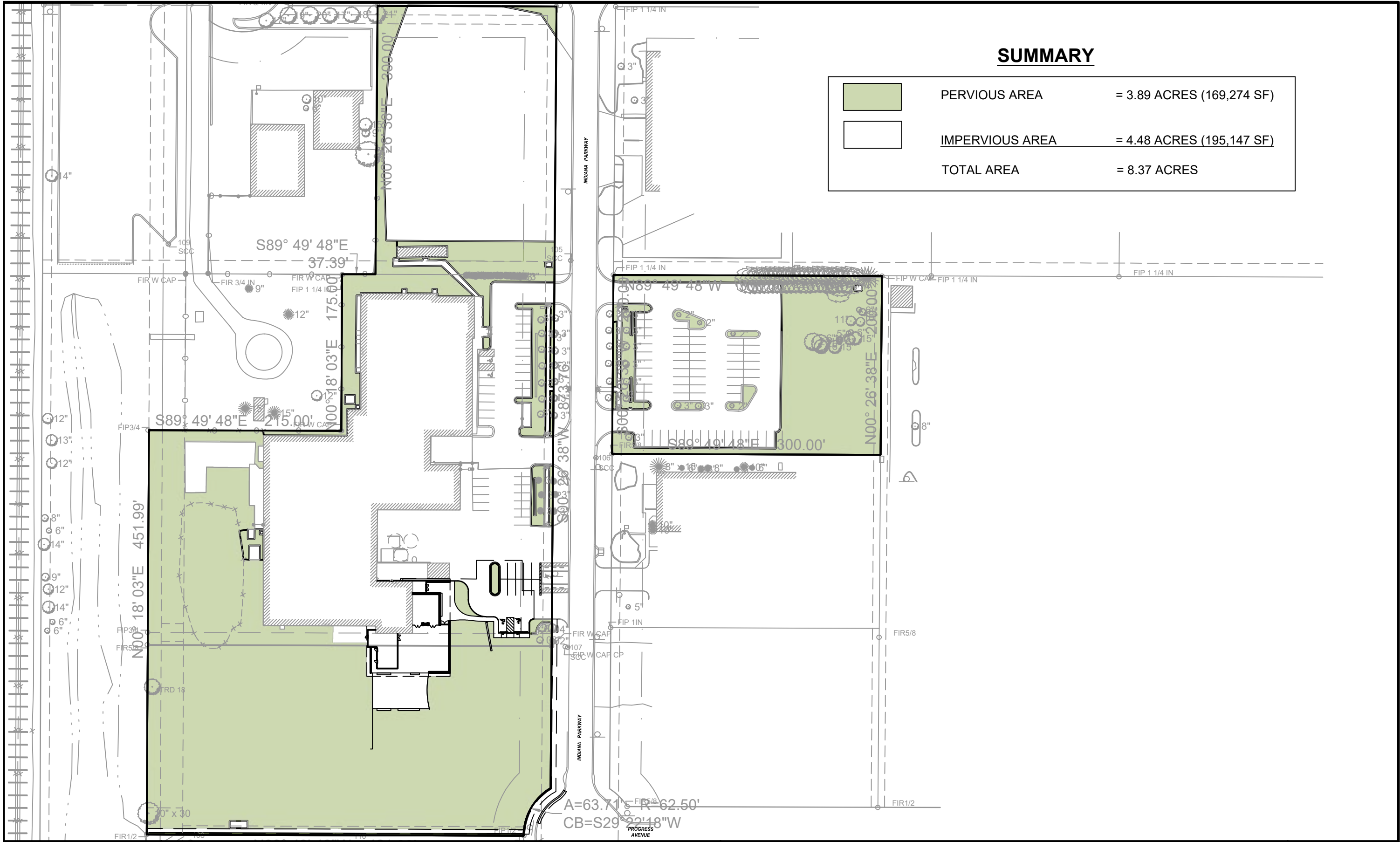
PROJECT: Three Floyds
V3 FILE NO.: 17265.3F2
DATE: 09/25/23
PREPARED BY: MR
REVIEWED DATE: 09/25/23
REVIEWED BY: RMS

Impervious Area (ACRE)	36.24
Impervious c-factor	0.95
Pervious Area (ACRE)	38.22
Pervious c-factor	0.35
TOTAL AREA (ACRE)	74.46

$$C = \frac{0.95 * (\text{Impervious Area}) + 0.35 * (\text{Pervious Area})}{\text{Total Area}}$$

$$C = \frac{0.95 * (36.86 \text{ acre}) + 0.3 * (37.60 \text{ acre})}{74.46}$$

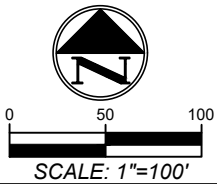
C = 0.64



 7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

THREE FLOYDS BREWERY
MUNSTER INDIANA

**EXHIBIT 3 - PROPOSED
PERVIOUS/IMPERVIOUS AREA**



DATE: 10-16-23



RUNOFF COEFFICIENT CALCULATION

PROJECT: Three Floyds Brewery
V3 FILE NO.: 17265.3F2
DATE: 09/25/23
PREPARED BY: MR
REVIEWED DATE: 09/25/23
REVIEWED BY: RMS

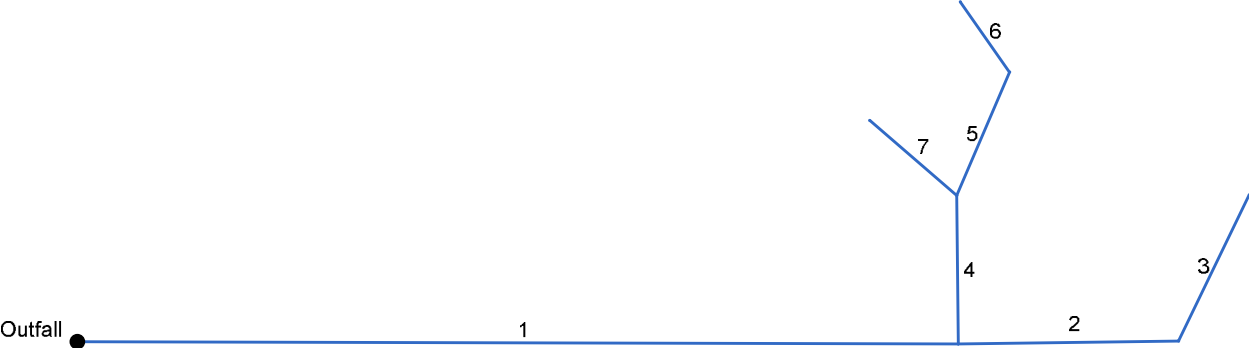
Impervious Area (ACRE)	4.48
Impervious c-factor	0.95
Pervious Area (ACRE)	3.89
Pervious c-factor	0.35
TOTAL AREA (ACRE)	8.37

$$C = \frac{0.95 * (\text{Impervious Area}) + 0.35 * (\text{Pervious Area})}{\text{Total Area}}$$

$$C = \frac{0.95 * (6.61 \text{ acre}) + 0.3 * (1.76 \text{ acre})}{8.37}$$

C = 0.67

Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan



Storm Sewer Tabulation

Station		Len	Drng Area		Rnoff coeff	Area x C		Tc		Rain (l)	Total flow	Cap full	Vel	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr	Total		Incr	Total	Inlet	Syst					Size	Slope	Dn	Up	Dn	Up	Dn	Up	
		(ft)	(ac)	(ac)	(C)			(min)	(min)	(in/hr)	(cfs)	(cfs)	(ft/s)	(in)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	
1	End	317.638	0.16	0.73	0.67	0.11	0.54	15.0	17.4	4.2	2.29	4.48	4.36	12	1.58	603.50	608.52	604.12	609.17	603.50	613.50	ST1-1--FES1-1
2	1	79.444	0.09	0.30	0.67	0.06	0.20	15.0	16.2	4.4	0.88	3.29	2.54	12	0.86	608.62	609.30	609.17	609.69	613.50	613.50	ST1-2--ST1-1
3	2	58.853	0.21	0.21	0.67	0.14	0.14	15.0	15.0	4.6	0.64	2.94	2.89	12	0.68	609.40	609.80	609.72	610.13	613.50	613.00	ST1-3--ST1-2
4	1	53.556	0.07	0.27	0.67	0.05	0.23	10.0	13.7	4.7	1.10	1.16	3.73	8	0.92	608.62	609.11	609.17	609.62	613.50	613.90	ST1-4--ST1-1
5	4	48.766	0.01	0.19	0.67	0.01	0.18	10.0	10.1	5.4	0.96	1.01	5.34	6	3.22	609.21	610.78	609.62	611.25	613.90	614.25	ST1-5--ST1-4
6	5	30.865	0.18	0.18	0.95	0.17	0.17	10.0	10.0	5.4	0.93	0.99	5.32	6	3.14	610.88	611.85	611.26	612.31	614.25	614.85	ST1-6--ST1-5
7	4	41.592	0.01	0.01	0.67	0.01	0.01	10.0	10.0	5.4	0.04	0.75	1.71	6	1.80	611.20	611.95	611.28	612.04	613.90	614.65	ST1-7--ST-4
Project File: Run 1.stm																Number of lines: 7				Run Date: 10/20/2023		
NOTES:Intensity = 59.23 / (Inlet time + 10.00) ^ 0.80; Return period =Yrs. 10 ; c = cir e = ellip b = box																						