



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Sergio Mendoza, Planning Director

Meeting Date: November 14, 2023

Agenda Item: PC Docket No. 23-024

Application Type: Preliminary Subdivision, 2-Lot

Hearing: Public

Summary: Attorney Scott Yahne, representing FLOYDS CONCERNS LLC, is seeking to replat 4 lots of records into a 2-Lot Subdivision for the purpose of supporting Three Floyds Taproom expansion project.

Applicant: Attorney Scott Yahne representing Three Floyds Taproom

Property Address: 9750 Indiana Parkway

Current Zoning: CD-4B - General Urban - B Character District

Adjacent Zoning: North: CD-4B - General Urban - B Character District
South: SD-4A General Urban-A Character District
East: CD-4B - General Urban - B Character District
West: CD-3.R2 - Neighborhood - 60' Lot One Family Residence District

Action Requested: Review of proposed 2-Lot Subdivision, 3 FLOYDS SECOND CONSOLIDATION

Additional Actions Required: Public Hearing, Findings of Fact Approval, Improvements Surety Review

Staff Recommendation: Approve

Exhibit A Attachments: 1. Plat of Consolidation Changes, Exhibit A (pg 7)
2. Proposed Preliminary Plat of Subdivision Application, 49 pages, Exhibit B (pg 8).

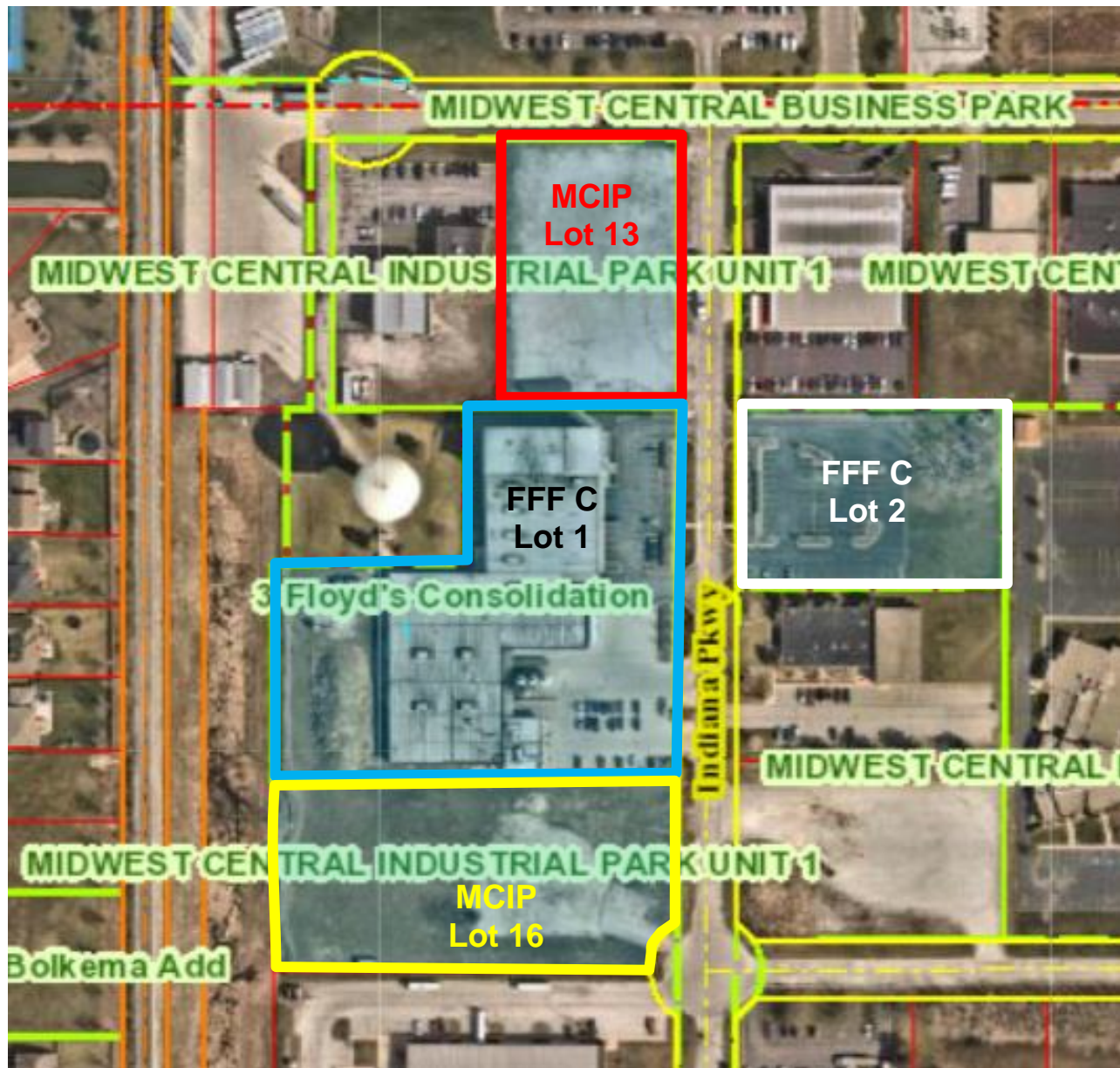


Figure 1 Subject Property.

PROJECT BRIEFING

Attorney Scott Yahne, representing Floyds Concerns LLC, properties (see figure 1) is seeking to combine four lots of records into two lots of records through a replat process to create and record: 3 FLOYDS SECOND CONSOLIDATION, Lot 1 and Lot 2 (see figure 2). The four lots of record to be replated are:

- MIDWEST CENTRAL INDUSTRIAL PARK UNIT 1 LOT 13
- MIDWEST CENTRAL INDUSTRIAL PARK UNIT 1 LOT 16
- 3 FLOYD'S CONSOLIDATION LOT 1

Midwest Central Industrial Park Unit 1, Lot 13 and Lot 16, along with 3 Floyd's Consolidation, Lot 1 are to be replated and proposed to be recorded as: LOT 1 of 3 FLOYDS SECOND CONSOLIDATION

3 Floyd's Consolidation, Lot 2 is to be replated as: **LOT 2 of 3 FLOYDS SECOND CONSOLIDATION**



The purpose of the subdivision is to create a contiguous 6.98 acre lot of record to expand an existing Taproom and construct a 2,300 sq.ft. building addition for additional bathrooms, game room, kitchen support area, entry vestibule, and outdoor bar, along with a new 3,200 sq.ft. canopy to provide cover for a Biergarten surrounded by landscaped berms.

MUNSTER SUBDIVISION REQUIREMENTS (*CHAPTER 26, ARTICLE V, SUBDIVISIONS*):**Sec. 26-280. Findings of fact by plan commission.**

The plan commission shall adopt written findings of fact setting forth its reasons for approval or denial of the preliminary plat, and provide such findings to the applicant.

Sec. 26-278. Action by plan commission.

After the public hearing provided for in section 26-277, the commission may, if it finds the preliminary plat meets all the requirements, take the following action:

- (1) Grant primary approval as to the general acceptability of the layout as submitted.
- (2) Introduce such changes or revisions as are deemed necessary to the interests and needs of the community.

Sec. 26-277. Public hearing.

- (a) The plan commission shall consider the application for a subdivision and preliminary plat not later than the second regular monthly meeting following its proper submission. If the commission is satisfied that all conditions have been satisfactorily met by the subdivider, it shall set a date for a public hearing on the proposed plat, giving a written notification to the subdivider. The commission shall then publish a notice of the hearing at least ten days prior to the date set for the hearing. The cost of publishing such notice of the hearing shall be paid by the subdivider to the publisher at the time of inserting the notice.
- (b) The applicant for subdivision approval shall provide notice of the public hearing on subdivision approval to all property owners who own property within 200 feet of the proposed subdivision at least ten days prior to the hearing. Additionally, the applicant shall cause a notice of the public hearing on the subdivision to be posted prominently on the property for at least ten days prior to the public hearing using a form and sign provided by the town for this purpose.

Sec. 26-293. Completion of improvements; guarantee of improvements.

- (a) Verification of completion of improvements. When the final plat is submitted to the plan commission for approval, it shall be accompanied by written advice from the town council stating that all improvements and installations to the subdivision for its approval have been made or completed in accordance with ordinances and specifications, in which event the commission may approve the plat.
- (b) Bond in lieu of completion of improvements. If the improvements and installations are not completed as required by the ordinances and specifications, the commission may approve the plat if the applicant provides a bond which:
 - (1) Is in an amount determined by the board and commission to be sufficient to complete the improvements and installations in compliance with the ordinances and specifications.
 - (2) Runs to the town council and town plan commission.
 - (3) Is with surety satisfactory to the town council and town plan commission, which may include:

- a. A surety company entered and licensed to do business in the state;

- b. An unqualified irrevocable standby letter of credit issued by a national bank, an Indiana state bank or other financial institution acceptable to the council and the commission; or
 - c. A deposit of money to a special account controlled by the town.
- (4) Specifies the time for completion of the improvements and installations.
- (c) Guarantee of improvements. In addition, the subdivider shall agree in writing to warrant and guarantee all of the improvements and installations to the subdivision against any defects or imperfections, at his own expense and cost, for a period of two years following acceptance thereof by the town council. The subdivider shall covenant and agree that any defects or imperfections either in workmanship, materials or equipment which may exist, develop or become apparent within the two-year period will be repaired or replaced as may be necessary to the satisfaction of the town, without any expense to the town, and shall accompany the written agreement with a bond which shall:
- (1) Run to the town council.
 - (2) Be in an amount determined by the town council to equal 15 percent of the cost of all improvements and installations to the subdivision.
 - (3) Be with surety satisfactory to the town council and plan commission, which may include:
 - a. A surety company entered and licensed to do business in the state;
 - b. An unqualified irrevocable standby letter of credit issued by a national bank, an Indiana state bank or other financial institution acceptable to the town council and the commission; or
 - c. A deposit of money to a special account controlled by the town.
 - (4) Be conditioned upon the satisfaction of the warranty and guaranty by the subdivider of all the improvements and installations to the subdivision for a period of two years following acceptance thereof by the town council in accordance with requirements of town ordinances. Acceptance shall be conditioned upon an accurate set of as-built engineering drawings being submitted and approved. The drawings shall contain the exact location of all underground utilities, including sewer and water taps, manhole and catch basin invert elevations, and the location and elevations of elevation benchmarks required as identified in subsection 26-362(d). Said as-built plans shall be submitted in paper/hard copy format and a digital format compatible with the town's software.

Sec. 26-294. Action by plan commission.

Within a reasonable time after application for secondary approval of the plat, the commission shall approve or disapprove the plat. If the commission approves the plat, it shall date it and affix the commission's seal upon the plat, together with the certifying signatures of its president and secretary. If the commission disapproves the plat, it shall set forth the reasons therefor in its records and provide the applicant with a copy of such findings. Recording of the plat with the county auditor is required prior to the town accepting the final plat as a legally executed plat.

STAFF FINDINGS and RECOMMENDATION

Staff finds that the preliminary plat meets the Town of Munster subdivision requirements and supports Preliminary Plat Approval as to the general acceptability of the layout as submitted and that written findings of fact be drafted along with any determination or Guarantee of Performance Surety for any public improvements be presented at the time of Final Plat Approval, or that Final Plat Approval be withheld until such Guarantee of Performance Surety is secured with the Town.

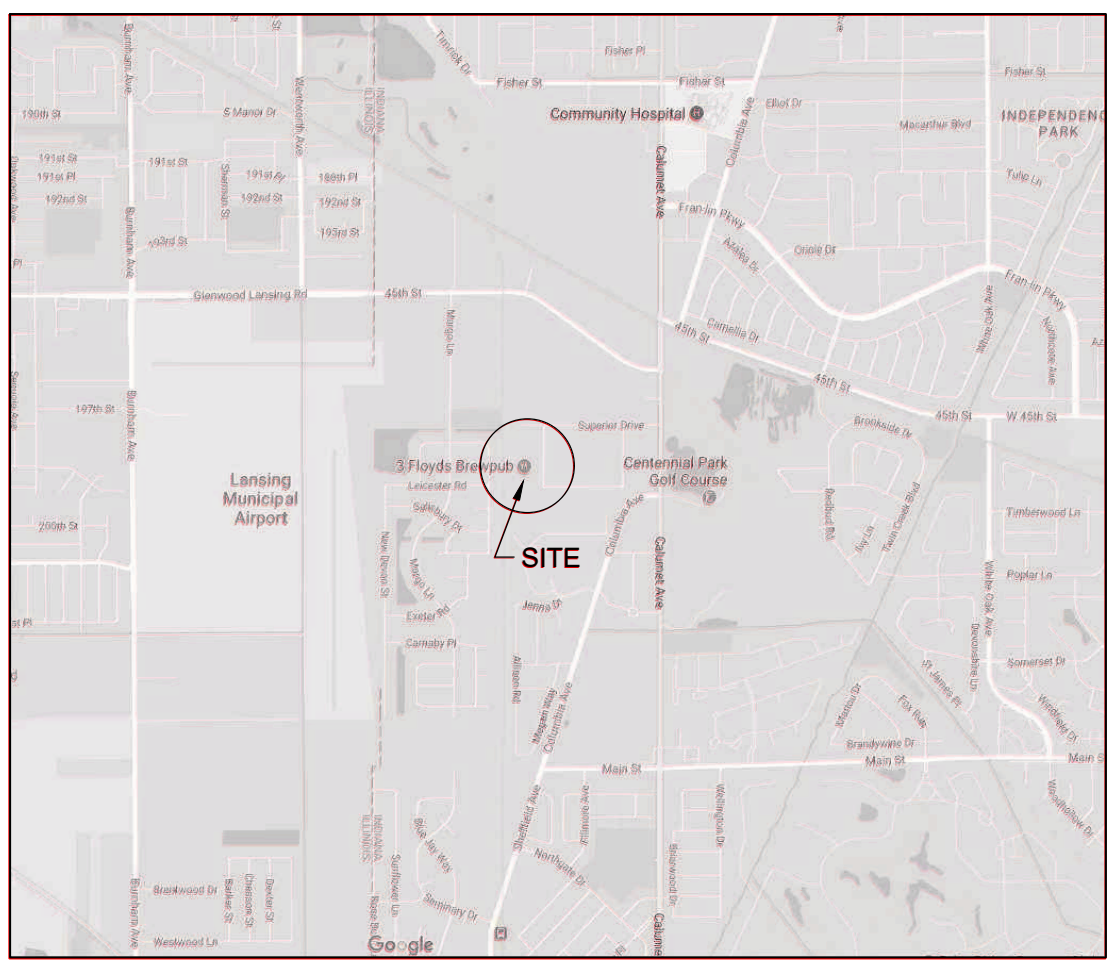
MOTION

The Plan Commission may wish to consider the following motions:

Motion to grant preliminary/primary plat approval, including all discussion and findings.

EXHIBIT A

Plat of Consolidation Changes



VICINITY MAP
NOT TO SCALE

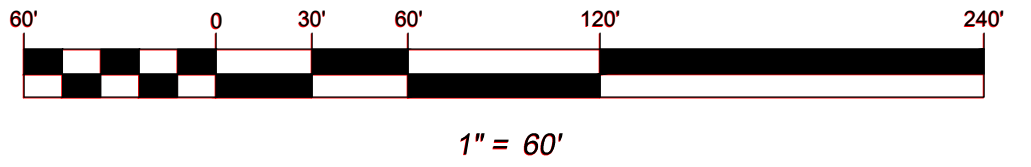
FINAL PLAT OF SUBDIVISION OF 3 FLOYDS SECOND CONSOLIDATION

PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE
10 WEST OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA.

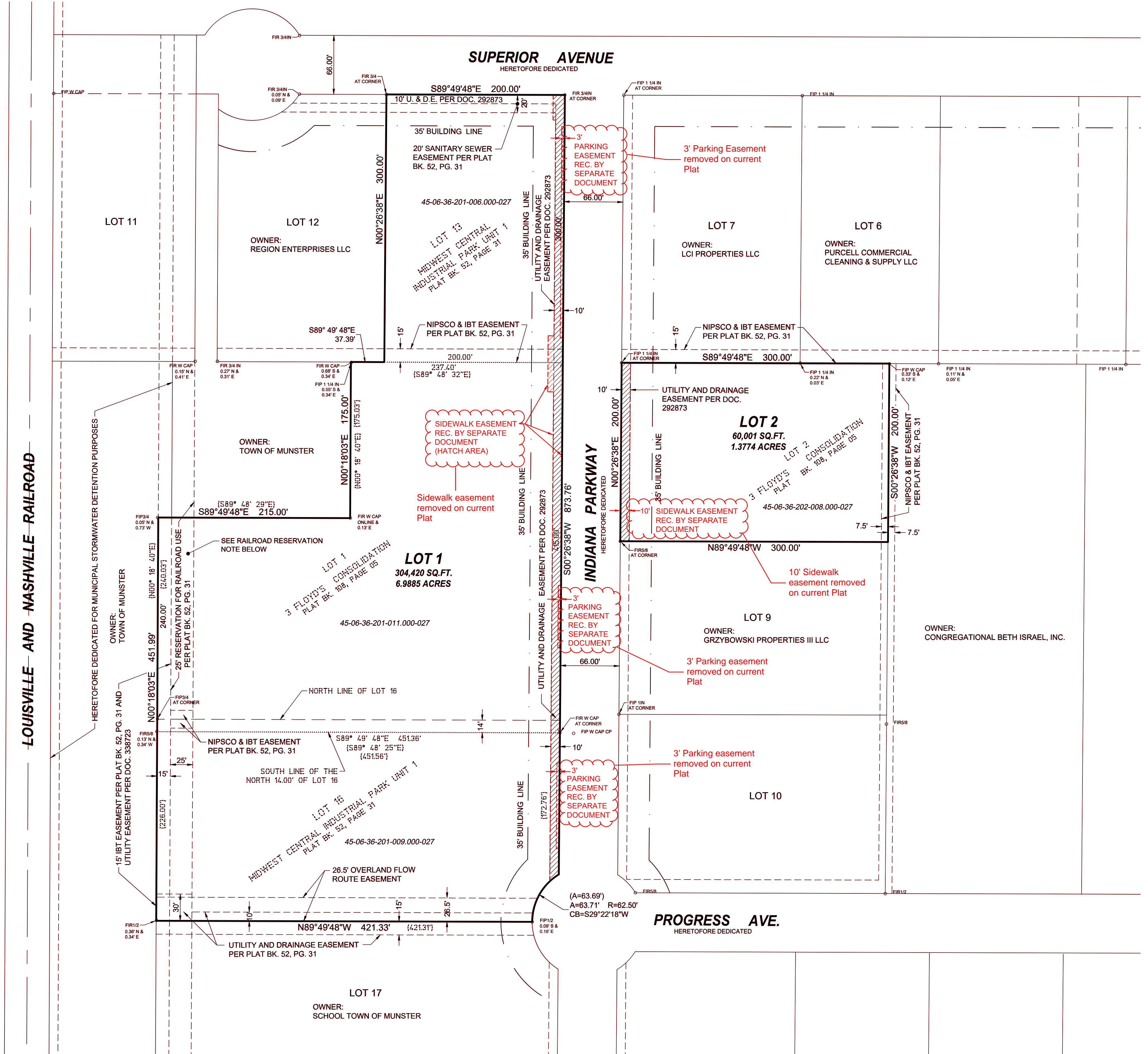
BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE
1302 (INDIANA WEST) WITH PROJECT ORIGIN AT
LATITUDE 41-32-05.86814 N
LONGITUDE 87-30-55.12359 W
ELLIPSOIDAL HEIGHT: 511.468 SFT
GROUND SCALE FACTOR 1.000417549
ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE



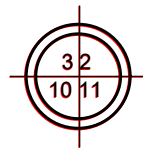
STATE PLANE MERIDIAN



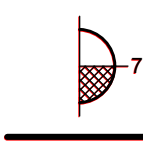
ABBREVIATIONS

N	NORTH	PC	POINT OF CURVATURE
S	SOUTH	PCC	POINT OF COMPOUND CURVATURE
E	EAST	PRC	POINT OF REVERSE CURVATURE
W	WEST	PT	POINT OF TANGENCY
CB	CHORD BEARING	(REC)	RECORD DATUM
A	ARC LENGTH	MEAS.	MEASURED DATUM
R	RADIUS	(CALC)	CALCULATED DATUM
U.E.	UTILITY EASEMENT	<DEED>	INFORMATION TAKEN FROM DEED
P.U.E.	PUBLIC UTILITY EASEMENT	ETBE	EXCEPTION TO BLANKET EASEMENT
D.E.	DRAINAGE EASEMENT	M.U.E.	MUNICIPAL UTILITY EASEMENT
EX.	EXISTING	I.E.	INGRESS & EGRESS EASEMENT
PRO.	PROPOSED		

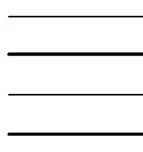
LEGEND



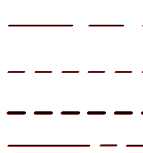
SECTION CORNER



QUARTER SECTION CORNER



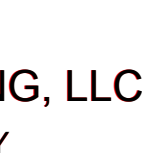
PROPERTY LINE



EXISTING RIGHT-OF-WAY LINE



PROPOSED RIGHT-OF-WAY LINE



EXISTING LOT LINE



PROPOSED LOT LINE



EX. & PRO. CENTERLINE

EXISTING EASEMENT LINE

PROPOSED EASEMENT LINE

EX. & PRO. BUILDING SETBACK LINE

SECTION LINE

⊠	FOUND DISK IN CONCRETE
⊗	FOUND BRASS DISC
⊠	FOUND ROW MARKER
○	FOUND IRON ROD
⊗	FOUND RAILROAD SPIKE
⊠	FOUND PK NAIL
⊗	FOUND MAG NAIL
+	FOUND CUT CROSS
○	FOUND IRON PIPE
⊠	FOUND IRON BAR
△	SET TRAVERSE POINT
●	SET PK NAIL
⊗	SET MAG NAIL
●	SET IRON PIPE
⊗	SET CONCRETE MONUMENT WITH BRASS DISC
●	SET CONCRETE MONUMENT WITH IRON PIPE

RAILWAY RESERVATION NOTE:

THE ORIGINAL PLAT OF SURVEY FILED WITH THE LAKE COUNTY, INDIANA RECORDER ON JULY 19, 1980 TO ESTABLISH THE MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1 (HEREINAFTER REFERRED TO AS "ORIGINAL PLAT"), CONTAINS A REFERENCE TO A "RESERVATION FOR RAILWAY USE" (HEREINAFTER REFERRED TO AS "RAILWAY RESERVATION") AFFECTING LOTS 15, 16, 17 AND OSTENSIBLY ALSO TO REAL ESTATE OWNED AT THE TIME BY THE TOWN OF MUNSTER, WHICH CONTINUES TO OWN THE PARCEL (HEREINAFTER REFERRED TO AS "SUBJECT REAL ESTATE"), WHICH IS SPECIFICALLY AND EXPRESSLY NOT INCLUDED WITHIN THE ORIGINAL PLAT. THE ORIGINAL GRANTOR OF THE SUBJECT REAL ESTATE TO SUBSEQUENT OWNERS OF INDIVIDUAL LOTS WITHIN THE SUBJECT REAL ESTATE WAS KAISER AETNA, A CALIFORNIA GENERAL PARTNERSHIP. THE DESIGNATION OF THE RAILWAY RESERVATION APPEARS TO BE WHOLLY INEFFECTIVE AS TO THE REAL ESTATE OWNED BY THE TOWN OF MUNSTER, AS KAISER AETNA HAD NO ABILITY TO RETAIN A RESERVATION IN LAND IT DID NOT OWN, WHICH WOULD NECESSARILY SEVER ANY ABILITY TO CONNECT TO THE RAILWAY RESERVATION DEPICTED ON THE ORIGINAL PLAT AS AFFECTING LOTS 15, 16, AND 17. AS TO THE RAILWAY RESERVATION ALLEGEDLY IMPACTING LOTS 15, 16, AND 17, THERE IS NO EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION WITHIN THE CONVEYANCE DOCUMENTS FOR THE SUBJECT REAL ESTATE NOR IS THERE ANY EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION WITHIN THE DECLARATION OF PROTECTIVE COVENANTS FILED BY KAISER AETNA. ACCORDINGLY, THERE IS NOT A PROPER EXPRESS DECLARATION THAT WOULD SUPPORT THE RETENTION OF THE RAILWAY RESERVATION. MOREOVER, ANY RESERVATION OF AN INTEREST TO UTILIZE THE DESIGNATED SEGMENT OF THE SUBJECT REAL ESTATE FOR RAILWAY USE WOULD INURE ONLY TO THE DIRECT BENEFIT OF KAISER AETNA (WORDS OF RESERVATION WERE NOT CONSIDERED TO BE WORDS OF "GRANT" AND SO COULD NOT CREATE AN INTEREST IN ANOTHER. OGLE V. BARKER, 224 IND. 489, 68 N.E.2D 550 (1946)), WHICH CONVEYED ALL REMAINING INTEREST IN THE MIDWEST CENTRAL INDUSTRIAL PARK TO BOTABA REALTY COMPANY NOT LATER THAN JULY 31, 1984. ACCORDINGLY, THE REFERENCED RAILWAY RESERVATION IS OF NO EFFECT AND THE REFERENCED AFFECTED PARCELS WITHIN THE SUBJECT REAL ESTATE MAY NOT BE UTILIZED BY ANY PARTY OTHER THAN THE SEIZED CURRENT OWNER OF LOTS 15, 16 AND 17.

OWNER & SUBDIVIDER

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

ENGINEER/SURVEYOR

V3 COMPANIES, LTD.
7325 JANES AVENUE, SUITE 100
WOODRIDGE, ILLINOIS 60517
630.724.9200

NOTES:

- SUBDIVIDED LOTS AND EXTERIOR BOUNDARY CORNERS SHALL BE MONUMENTED WITH 3/4" IRON PIPES WITH PLASTIC CAPS, UNLESS SHOWN OTHERWISE, IN CONFORMANCE WITH STATE STATUTES AND LOCAL SUBDIVISION CONTROL ORDINANCES WITHIN 12 MONTHS OF RECORDATION OF THE SECONDARY PLAT.
- SUBDIVISION TO BE DEVELOPED IN ACCORDANCE WITH TOWN OF MUNSTER ORDINANCE NO.1738 AN ORDINANCE AMENDING THE THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT TO BE NOW KNOWN AS FIRST AMENDED THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT AS ADOPTED BY THE MUNSTER TOWN COUNCIL ON MARCH 5, 2018 AND AS AMENDED FROM TIME TO TIME.

PREPARED FOR:

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

REVISIONS

NO.	DATE	DESCRIPTION
1.	02-19-2018	REVISED SUBDIVISION NAME
2.	02-22-2018	REVISED PER COMMENTS
3.	06-21-2018	ADDED PARKING & SIDEWALK EASEMENTS
4.	08-02-2018	REVISED PER COMMENTS
5.	09-18-2023	REMOVED PARKING & SIDEWALK EASEMENTS

FINAL PLAT OF SUBDIVISION

3 FLOYDS SECOND CONSOLIDATION

DRAFTING COMPLETED:	02-06-18	DRAWN BY:	SPK	PROJECT MANAGER:	AJS
FIELD WORK COMPLETED:	N/A	CHECKED BY:	AJS	SCALE:	1" = 60'

Project No: 17265

Group No: VP04.1

SHEET NO.
1 of 2

EXHIBIT B

49 page application and supporting documents



Petition PC _____ - _____

Date: _____

Application Fee: \$ _____

Sign Fee: \$ _____

Town of Munster Plan Commission Petition Application

OWNER INFORMATION:

Floyds Concern, LLC

Name of Owner

(219) 922-3565

Phone Number

9750 Indiana Parkway, Munster, IN 46321

Street address, City, ST, ZIP Code

alphaking@tutanota.com

Email address

APPLICANT OR PETITIONER INFORMATION (if different than above):

Floyds Concern, LLC c/o Scott E. Yahne, Yahne Law, P.C.

Name of Applicant/Petitioner

(219) 513-9892

Phone Number

9301 Calumet Avenue, Suite 2F, Munster, IN 4632

Street address, City, ST, ZIP Code

scott@yahnelaw.com

Email address

PROPERTY INFORMATION:

Three Floyds Taproom

Business or Development Name (if applicable)

CD-4.B

9750 Indiana Parkway, Munster, IN 46321

Address of Property or Legal Description

Current Zoning

APPLICATION INFORMATION:

Please select what this Application is for:

☒ **Subdivision**

If yes, select one of the following:

☒ **Preliminary Plat**

☐ **Final Plat**

☐ **Development Plan Review**

☐ **Rezoning (including Planned Unit Development) – Proposed Zoning District**

Brief Description of Project:

Petitioner seeks to consolidate a total of three (3) existing lots along the Western side of Indiana Parkway into one (1) contiguous 6.9885 acre lot. After consolidation, petitioner seeks to construct a 2,300 sq.ft. building addition, containing additional bathrooms, game room, kitchen support area, entry vestibule, and outdoor bar, along with a new 3,200 sq.ft. canopy to provide cover to the new outdoor Biergarten. The Biergarten will be nestled in a bermed landscape, planted with native grasses, trees, & flowering perennials.

Gabriel McKee, V Three Studios, LLC

Name of Registered Engineer, Architect or Land Surveyor

314-922-7212

Phone Number

2717 Sutton Blvd., Maplewood, MO 63143

Street address, City, ST, ZIP Code

gabriel.mckee@v3-studios.com

Email address



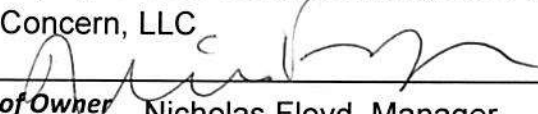
Petition PC _____ - _____

Town of Munster Plan Commission Application Signature Page

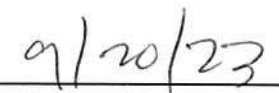
Scott E. Yahne & Gabriel McKee

I hereby authorize _____ to act on my behalf as my agent in this petition and to furnish, upon request, supplemental information in support of this petition application.

Floyds Concern, LLC



Signature of Owner Nicholas Floyd, Manager



Date

Scott E. Yahne

Digitally signed by Scott E. Yahne
Date: 2023.09.19 13:09:16 -05'00'

Signature of Applicant

Date

Scott E. Yahne, Yahne.Law, P.C.,
one of Floyd Concern, LLC's attorneys

REQUIRED ATTACHMENTS

Required Attachments for Plan Commission Applications

To ensure that adequate information is provided to the Plan Commission, please check off each of these items and provide documentation to the Community Development Department at the time of submittal of the application.

ALL APPLICATIONS	Included	N/A
Narrative statement describing project	✓	
Property owner consent (Signature page)	✓	
Proof of Ownership (e.g. copy of tax bill)	✓	
Current ALTA Survey	✓	
Vicinity Plan (A dimensioned drawing to scale of the planned building(s)/improvements in the context of the surrounding properties, including existing buildings and driveways at least one block in every direction)	✓	

The following pages list the additional attachments required for specific applications. Please refer to your type of petition request and provide the additional required attachments.

SUBDIVISION - PRELIMINARY PLAT	Included	N/A
Single-Family Residential Subdivision		
Preliminary Plat	✓	
Engineering Plans	✓	
Storm Water Report	✓	
Commercial or Multi-Family Residential Subdivision	✓	
Preliminary Plat	✓	
Engineering Plans	✓	
Storm Water Reports	✓	
Preliminary Development Plan containing:	✓	
Boundary identification	✓	
Fire hydrant locations	✓	
Accessory structures	✓	
Parking lot design	✓	
Utility location	✓	
Building footprints	✓	
Proposed curb cuts	✓	
Drainage/detention plans	✓	
Traffic circulation	✓	
Ingress/egress locations	✓	
Major topographic information	✓	
Infrastructure improvements	✓	

SUBDIVISION - FINAL PLAT	Included	N/A
Final Plat		
Engineering Plans		
Stormwater report		
Special Studies as required – see Site Plan Review Committee minutes		

REZONING (including PLANNED UNIT DEVELOPMENT amendments)	Included	N/A
Preliminary Development Plan containing at a minimum:		
Boundary Identification		
Fire hydrant locations		
Accessory structures		
Parking lot design		
Utility location		
Building footprints		
Proposed curb cuts		
Drainage/detention plans		
Traffic circulation		
Ingress/egress locations		
Major topographic information		
Proposed Use table		
Stormwater report		
Special Studies as Required– see Site Plan Review Committee minutes		

DEVELOPMENT PLAN	Included	N/A
Detailed Site plan including:		
Boundary identification		
Fire hydrant locations		
Accessory structures		
Parking lot design		
Utility location		
Building footprints		
Proposed curb cuts		
Drainage/detention plans		
Traffic circulation		
Ingress/egress locations		
Major topographic information		
Infrastructure improvements		
Square footage of:		
Lot or parcel		
Existing impervious surface		
Proposed total impervious (existing plus current proposal)		
Existing building		
Proposed total building (existing plus current proposal)		

Existing parking and pavement		
Proposed total parking and pavement (existing plus current proposal)		
Relevant dimensions including:		
Buildings		
Parking stalls		
Driveway widths		
Setbacks to buildings and other improvements		
Parking lot aisles, turnarounds, turning radii, etc.		
Distance from driveway to street corner if less than 200'		
Sidewalk, walkway and handicap ramp widths and locations		
Widths of abutting R.O.W.'s, roadways, and terraces.		
Full color architectural renderings of all building elevations with materials identified		
Proposed lighting for site, including:		
Photometric Plan		
Location of all light fixtures		
Pole height		
Luminaire type and manufacturer's specifications for all exterior light fixtures		
Landscaping plan drawn to scale including:		
Common and Latin plant names		
Planting specifications		
Total number of trees provided		
Total square footage of landscaped area on site and internal to the parking lot		
Identification of area used to calculate internal parking lot landscaping		
Fence detail drawing		
Dumpster enclosure detail drawing		
Sign detail drawing		
Special studies as required— see Site Plan Review Committee minutes		

NOTE: If you checked any exhibits "N/A", please explain:

EXHIBIT A
LEGAL DESCRIPTION OF PROPERTY

LOT 1 AND LOT 2 IN 3 FLOYD'S CONSOLIDATION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 10 WEST OF THE SECOND PRINCIPAL MERIDIAN, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

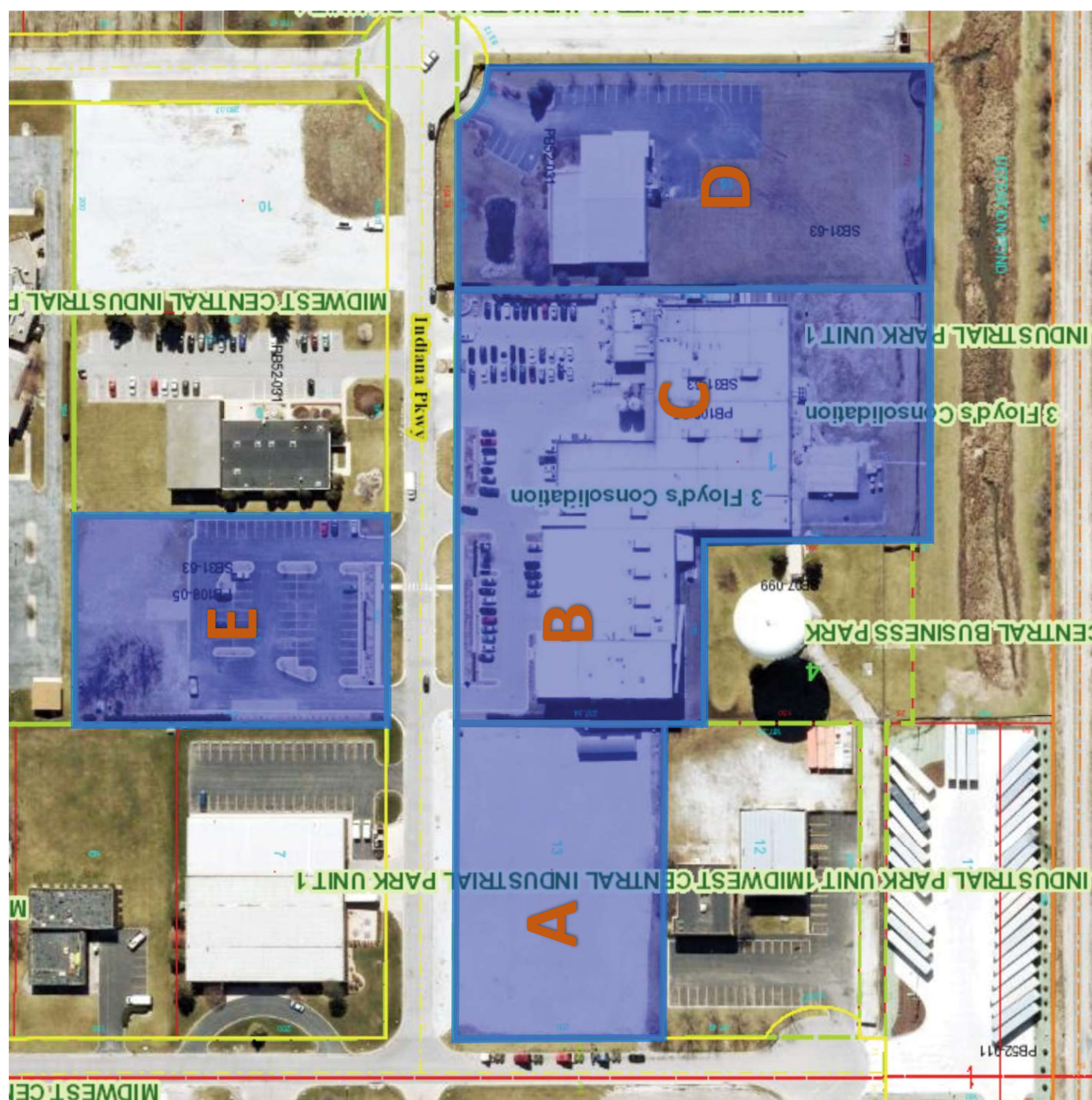
LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

ALSO,

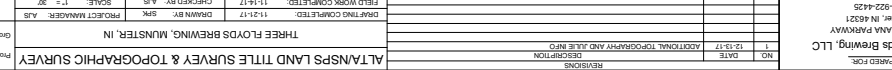
LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

COMMONLY KNOWN AS: 9812, 9750 and 9731 Indiana Parkway and 448 Superior Avenue,
Munster, IN 46321


Parcel Identification Nos.: 45-06-36-201-011.000-027
45-06-36-201-006.000-027
45-06-36-202-008.000-027
45-06-36-201-009.000-027



☆ Parcel: 45-06-36-201-009.000-027	> ...
Owner: Floyds Concern LLC	
Mailing Address: 9750 Indiana Parkway Munster IN 46321	
Site Address: 9812 INDIANA PKWY MUNSTER IN 46321	
☆ Parcel: 45-06-36-201-006.000-027	> ...
Owner: Floyds Concern LLC	
Mailing Address: 9750 Indiana PARK Munster IN 46321	
Site Address: 448 SUPERIOR AVE MUNSTER IN 46321	
☆ Parcel: 45-06-36-201-011.000-027	> ...
Owner: Floyds Concern LLC	
Mailing Address: 9748 Indiana PKWY Munster IN 46321	
Site Address: 9750 Indiana PKWY Munster IN 46321	
☆ Parcel: 45-06-36-202-008.000-027	> ...
Owner: Floyds Concern LLC	
Mailing Address: 9748 Indiana PKWY Munster IN 46321	
Site Address: 9731 Indiana PKWY Munster IN 46321	



Three Fl 9750 II Ma	Suite 100
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Engineers
Scientists
Surveyors

7325 James Avenue
Woodridge, IL 6051
630.724.9200
630.724.0844 fax
V3co.com

9051
Voice
XE

038
920
ge,
nes

325
Wood
30.7
30.7
30.7

1

st
st
st

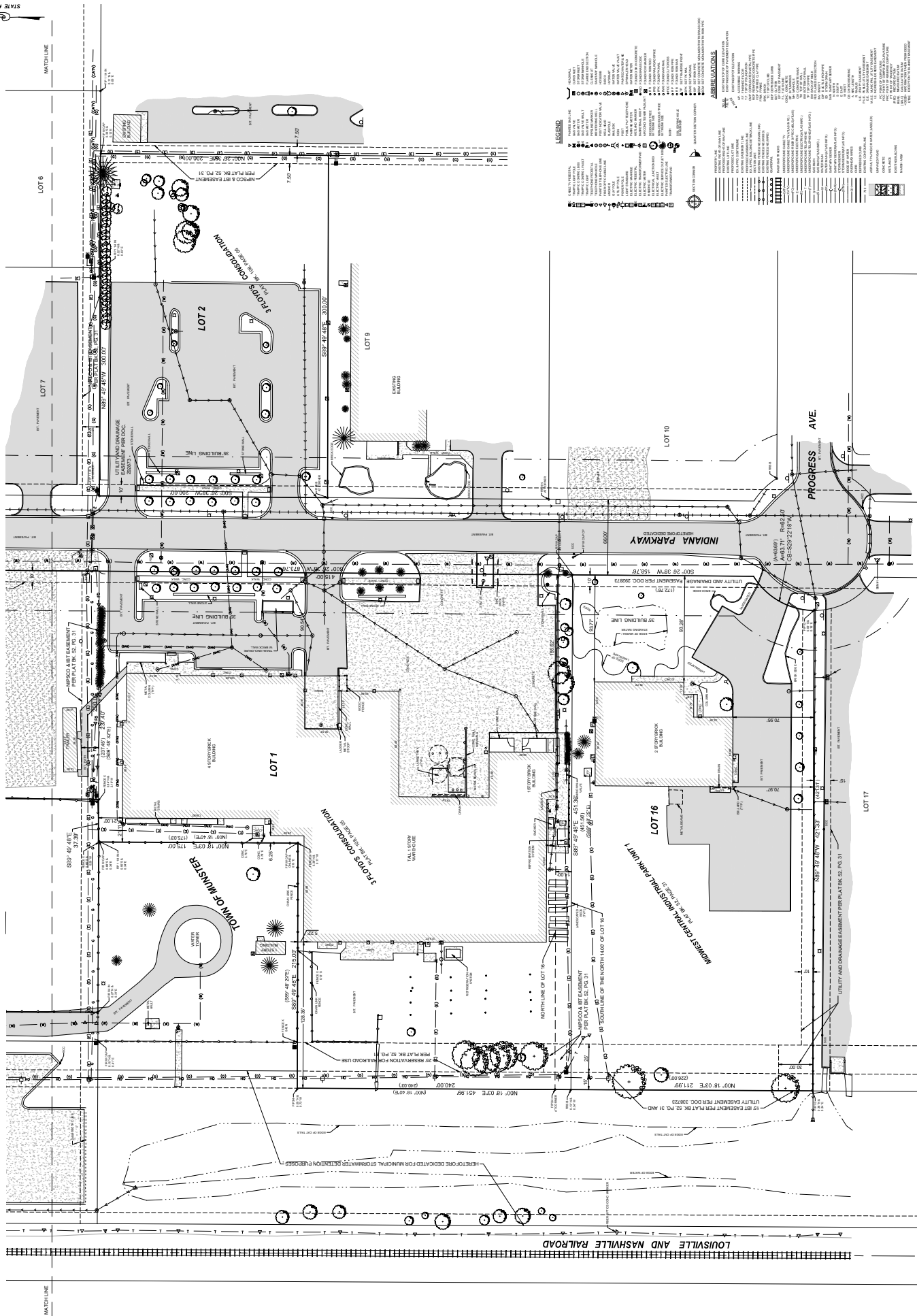
English

0

○

1

ALTA/SPS LAND TITLE SURVEY & TOPOGRAPHIC SURVEY
OF
THREE FLOYDS BREWING
MUNSTER, IN



LOUISVILLE AND NASHVILLE RAILROAD

MINISTERS GENERAL INDUSTRIAL PARK UNIT 1

LOT 16

LOT 17

PROGRESS AVE.

INDIANA PARKWAY

LOT 1

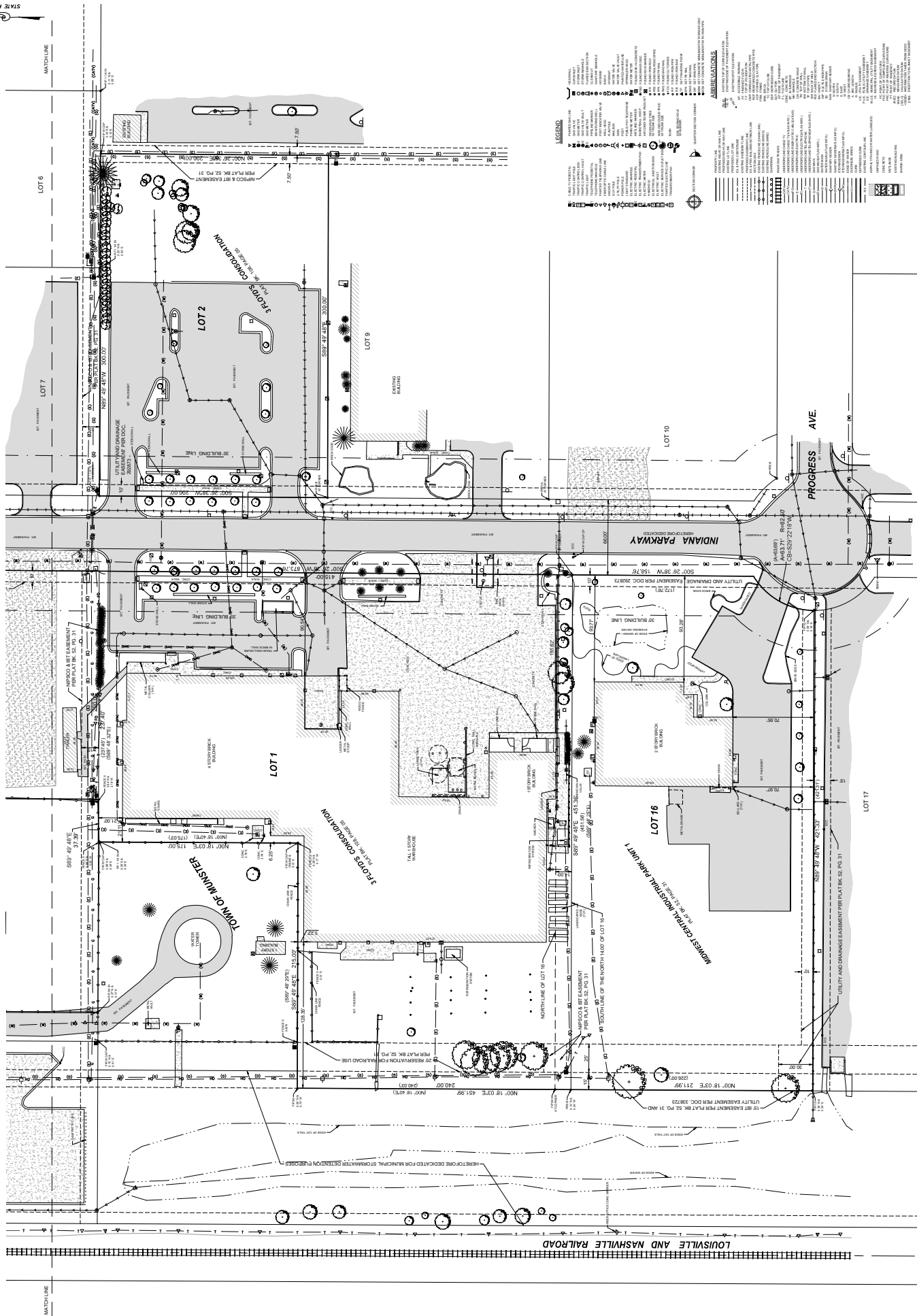
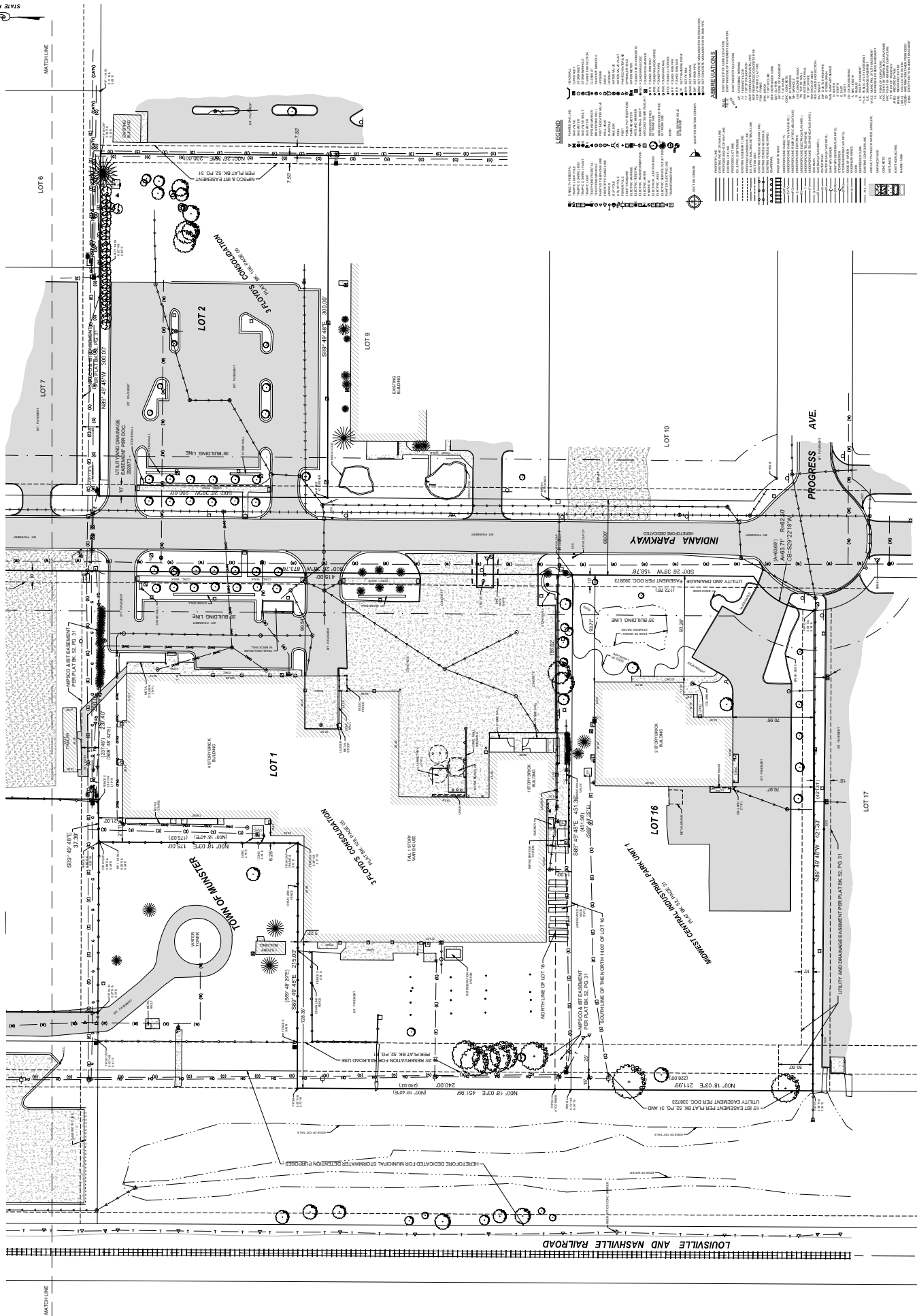
LOT 2

LOT 6

LOT 7

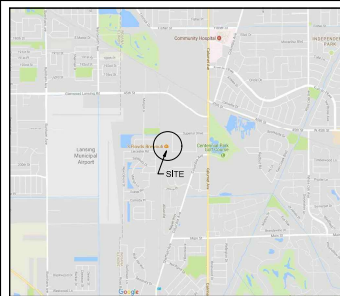
LOT 9

LOT 10





VICINITY PLAN
SCALE = 200 ft



VICINITY MAP
NOT TO SCALE

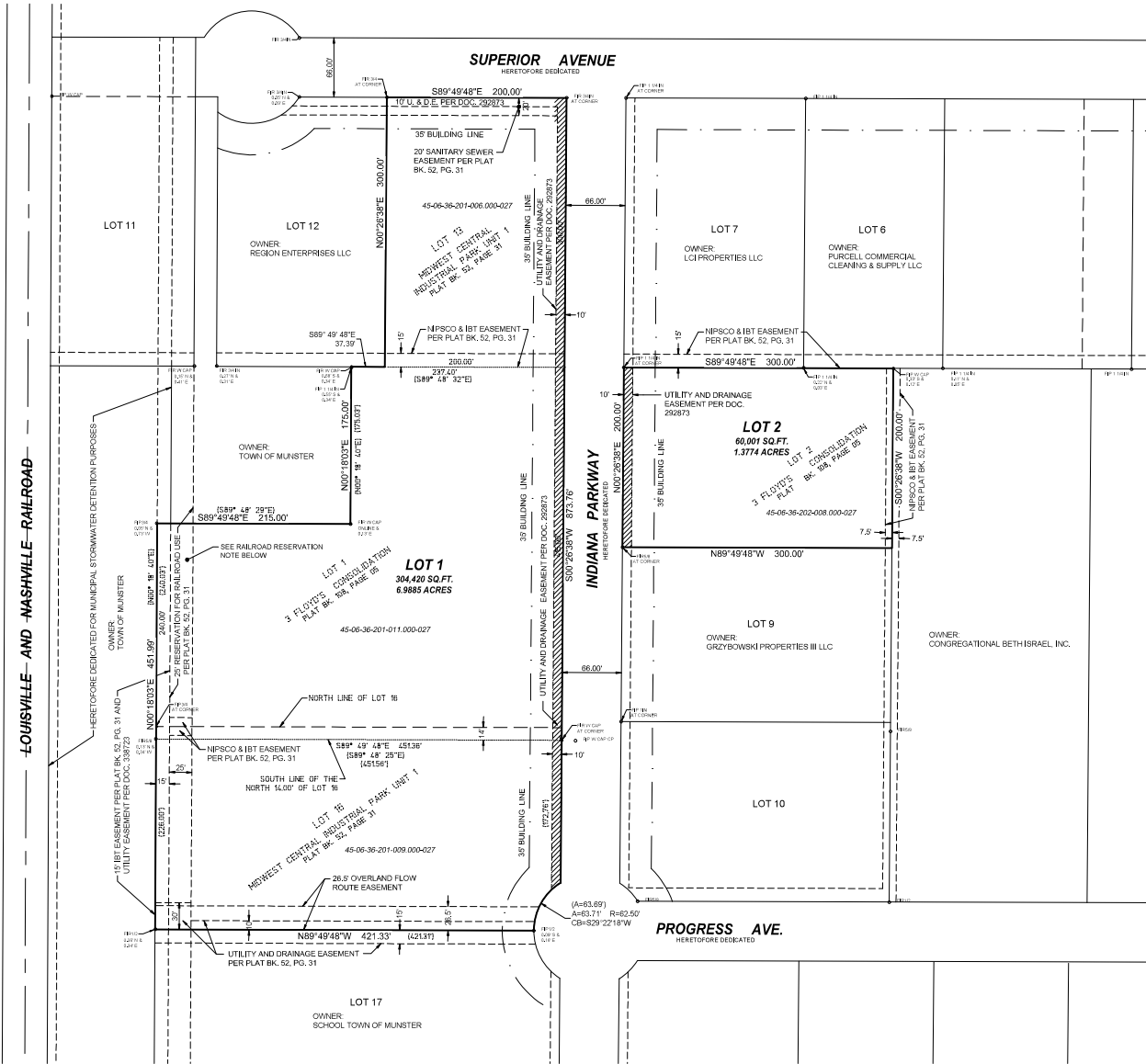
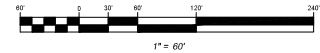
FINAL PLAT OF SUBDIVISION OF 3 FLOYDS SECOND CONSOLIDATION

PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE
10 WEST OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE
1302 (INDIANA - WEST) WITH PROJECT ORIGIN AT
LATITUDE 41-32-05.86614 N
LONGITUDE 87-35-55.12359 W
ELLIPSOIDAL HEIGHT 511.4688 FT
GROUND SCALE FACTOR 1.000417549
ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE



ABBREVIATIONS

OWNER & SUBDIVIDER

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

ENGINEER/SURVEYOR

V3 COMPANIES, LTD.
7325 JAMES AVENUE, SUITE 100
WOODRIDGE, ILLINOIS 60517
630.724.9200

NOTES:

- SUBDIVIDED LOTS AND EXTERIOR BOUNDARY CORNERS SHALL BE MONUMENTED WITH 3/4" IRON PIPES WITH PLASTIC CAPS, UNLESS SHOWN OTHERWISE IN CONFORMANCE WITH STATE STATUTES AND LOCAL SUBDIVISION CONTROL ORDINANCES WITHIN 12 MONTHS OF RECORDATION OF THE SECONDARY PLAT.
- SUBDIVISION TO BE DEVELOPED IN ACCORDANCE WITH TOWN OF MUNSTER ORDINANCE NO. 17. AN ORDINANCE AMENDING THE THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT TO BE NOW KNOWN AS FIRST AMENDED THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT AS ADOPTED BY THE MUNSTER TOWN COUNCIL ON MARCH 5, 2016 AND AS AMENDED FROM TIME TO TIME.

N NORTH
S SOUTH
E EAST
W WEST
CB CHORD BEARING
A AC LENGTH
R RADIUS
U.S. UTILITY EASEMENT
P.U.E. PUBLIC UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
E.E. EIGHTING
PRO. PROPOSED

PC POINT OF CURVATURE
PCC POINT OF COMPOUND CURVATURE
PRC POINT OF REVERSE CURVATURE
PT POINT OF TANGENCY
(REC) RECORDED DATUM
MEAS. MEASURED DATUM
[CALC.] CALCULATED DATUM
(DEED) INFORMATION TAKEN FROM DEED
ETBE EXCEPTION TO BLANKET EASEMENT
M.E. MINORITY EASEMENT
I.E. INGRESS & EGRESS EASEMENT

LEGEND



SECTION CORNER

QUARTER SECTION CORNER

PROPERTY LINE

PROPOSED RIGHT-OF-WAY LINE

EXISTING LOT LINE

PROPOSED LOT LINE

EX. A.P.D. CENTERLINE

EXISTING GAS MAIN LINE

PROPOSED EASEMENT LINE

EX. A.P.D. BUILDING SETBACK LINE

SECTION LINE

- FOUND DEK IN CONCRETE
- FOUND BRASS DISC
- FOUND IRON MARKER
- FOUND IRON ROD
- FOUND RAILROAD SPIKE
- FOUND IRON PIPE
- FOUND PK NAIL
- FOUND MAG NAIL
- FOUND OUT CROSSES
- FOUND IRON PIPE
- FOUND IRON PIPE
- FOUND IRON PIPE
- SET TRAVERSE POINT
- SET PK NAIL
- SET MAG NAIL
- SET IRON PIPE
- SET CONCRETE MONUMENT WITH BRASS DISC
- SET CONCRETE MONUMENT WITH IRON PIPE

RAILWAY RESERVATION NOTE:

THE ORIGINAL PLAT OF SURVEY FILED WITH THE LAKE COUNTY, INDIANA RECORDER ON JULY 19, 1980 TO ESTABLISH THE MINDESTER CENTRAL INDUSTRIAL PARK UNIT 1 (HEREINAFTER REFERRED TO AS "ORIGINAL PLAT") CONTAINS A REFERENCE TO A "RESERVATION FOR RAILWAY USE" (HEREINAFTER REFERRED TO AS "RAILWAY RESERVATION") AFFECTING LOTS 15, 16, 17 AND 18 AND OBTAINING ALSO TO REAL ESTATE OWNED AT THE TIME BY THE TOWN OF MUNSTER, WHICH CONTINUES TO OWN THE PARCEL (HEREINAFTER REFERRED TO AS "SUBJECT REAL ESTATE"), WHICH IS SPECIFICALLY AND EXPRESSLY NOT INCLUDED WITHIN THE ORIGINAL PLAT. THE ORIGINAL GRANTOR OF THE SUBJECT REAL ESTATE TO SUBSEQUENT OWNERS OF INDIVIDUAL LOTS WITHIN THE SUBJECT REAL ESTATE WAS KAISER AETNA, A CALIFORNIA GENERAL PARTNERSHIP. THE DESIGNATION OF THE RAILWAY RESERVATION APPEARS TO BE WHOLLY INEFFECTIVE AS TO THE REAL ESTATE OWNED BY THE TOWN OF MUNSTER, AS KAISER AETNA HAD NO ABILITY TO RETAIN A RESERVATION IN LAND IT DID NOT OWN, WHICH WOULD NECESSARILY SEVER ANY ABILITY TO CONNECT TO THE RAILWAY RESERVATION DEPICTED ON THE ORIGINAL PLAT AS AFFECTING LOTS 15, 16, AND 17, AS TO THE RAILWAY RESERVATION ALLEGEDLY IMPACTING LOTS 15, 16, AND 17, THERE IS NO EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION. WITHIN THE CONVEYANCE DOCUMENTS FOR THE SUBJECT REAL ESTATE NOR IS THERE ANY EXPRESS DESCRIPTION OF THE RAILWAY RESERVATION WITHIN THE DECLARATION OF PROTECTIVE COVENANTS FILED BY KAISER AETNA. ACCORDINGLY, THERE IS NOT A PROPER EXPRESS DECLARATION THAT WOULD SUPPORT THE RETENTION OF THE RAILWAY RESERVATION. MOREOVER, ANY RESERVATION OF AN INTEREST TO UTILIZE THE DESIGNATED SEGMENT OF THE SUBJECT REAL ESTATE FOR RAILWAY USE WOULD INURE ONLY TO THE DIRECT BENEFIT OF KAISER AETNA (WORDS OF RESERVATION WERE NOT CONSIDERED TO BE WORDS OF "GRANT" AND SO COULD NOT CREATE AN INTEREST IN ANOTHER. OGLE V. BARKER, 224 IND. 488, 68 N.E.2D 550 (1948), WHICH CONVEYED ALL REMAINING INTEREST IN THE MINDESTER CENTRAL INDUSTRIAL PARK TO SOTABA REALTY COMPANY NOT LATER THAN JULY 31, 1984. ACCORDINGLY, THE REFERENCED RAILWAY RESERVATION IS OF NO EFFECT AND THE REFERENCED AFFECTED PARCELS WITHIN THE SUBJECT REAL ESTATE MAY NOT BE UTILIZED BY ANY PARTY OTHER THAN THE SEIZED CURRENT OWNER OF LOTS 15, 16 AND 17.

PREPARED FOR:

THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-922-4425

REVISIONS

NO.	DATE	DESCRIPTION
1.	02-10-2018	REMOVED SUBDIVISION NAME
2.	02-20-2018	REMOVED PER COMMENTS
3.	06-21-2018	ADDED PARKING & SIDEWALK EASEMENTS
4.	08-02-2018	REMOVED PER COMMENTS
5.	09-18-2023	REMOVED PARKING & SIDEWALK EASEMENTS

FINAL PLAT OF SUBDIVISION

3 FLOYDS SECOND CONSOLIDATION

DRAFTING COMPLETED: 02-05-18	DRAWN BY: SPK	PROJECT MANAGER: AJS
FIELD WORK COMPLETED: NA	CHECKED BY: AJS	SCALE: 1" = 60'

Project No: 17265

Group No: VP04.1

SHEET NO. 1 of 2

FINAL PLAT OF SUBDIVISION
OF
3 FLOYDS SECOND CONSOLIDATION

PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE
10 WEST OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA.

OWNER'S CERTIFICATE

STATE OF INDIANA }
COUNTY OF LAKE } S.S.

THE UNDERSIGNED, FLOYDS BREWING, LLC, DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED HEREON, AND THAT IT HAS CAUSED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON.

DATED THIS _____ DAY OF _____, 20____.

BY: _____ ATTEST: _____
TITLE: _____ TITLE: _____

NOTARY CERTIFICATE

STATE OF INDIANA }
COUNTY OF LAKE } S.S.

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE OF INDIANA, APPEARED _____ AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: A RESIDENT OF _____ COUNTY

PRINTED SIGNATURE

MORTGAGEE CERTIFICATE

STATE OF INDIANA }
COUNTY OF LAKE } S.S.

THE UNDERSIGNED, AS MORTGAGOR, UNDER THE PROVISIONS OF A CERTAIN MORTGAGE DATED _____ A.D., 20____, AND RECORDED IN THE RECORDER'S OF DEEDS OFFICE OF _____ COUNTY, ILLINOIS ON THE _____ DATE _____ DAY OF _____ MONTH _____, A.D., _____ YEAR _____.

AS DOCUMENT NO. _____ HEREBY CONSENTS TO AND APPROVES THE SUBMISSION OF THE LAND AND THE GRANTING OF THE EASEMENT(S) DEPICTED HEREON.

DATED THIS _____ DAY OF _____, A.D., 20____.

MORTGAGOR NAME: _____

BY: _____ ATTEST: _____
ITS: _____ ITS: _____

NOTARY CERTIFICATE

STATE OF INDIANA }
COUNTY OF LAKE } S.S.

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE OF INDIANA, APPEARED _____ AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: A RESIDENT OF _____ COUNTY

PRINTED SIGNATURE

PLAN COMMISSION CERTIFICATE

UNDER THE AUTHORITY PROVIDED IN INDIANA CODE 36-7-4-700 (SEC.700-700), AS AMENDED FROM TIME TO TIME BY THE TOWN COUNCIL OF THE TOWN OF MUNSTER, LAKE COUNTY, INDIANA, THIS PLAT OF SUBDIVISION WAS GIVEN APPROVAL BY THE TOWN OF MUNSTER AS FOLLOWS:

APPROVED BY THE TOWN OF MUNSTER PLAN COMMISSION AT A MEETING HELD ON THE _____ DAY OF _____, 20____.

PRESIDENT

SECRETARY

NOTARY CERTIFICATE

STATE OF INDIANA }
COUNTY OF LAKE } S.S.

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF LAKE, STATE OF INDIANA, APPEARED _____ AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSE THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: A RESIDENT OF _____ COUNTY

PRINTED SIGNATURE

TOWN ENGINEER'S CERTIFICATE

MY SIGNATURE, AS TOWN ENGINEER FOR THE TOWN OF MUNSTER, CERTIFIES THAT THIS PLAT MEETS ALL THE REQUIREMENTS OF TOWN ORDINANCES, APPROVED THIS _____ DAY OF _____, 20____.

TOWN ENGINEER

OVERLAND FLOOD ROUTE EASEMENT PROVISIONS

THERE ARE STRIPS OF GROUND DESIGNATED ON THIS PLAT AS "OVERLAND FLOOD ROUTE" WHICH ARE AREAS DESIGNED TO DIRECT THE SURFACE FLOW OF STORM WATER TO PASS THROUGH THE DEVELOPMENT WITHOUT DAMAGE TO PROPERTY. NO BUILDINGS OR STRUCTURES MAY BE PLACED WITHIN SAID STRIPS THAT WOULD ADVERSELY AFFECT THE FREE FLOW OF STORM WATER. EACH OWNER OR SUBSEQUENT PURCHASER SHALL BE EQUALLY RESPONSIBLE FOR MAINTAINING THE OVERLAND FLOOD ROUTE EASEMENT AREAS AND SHALL NOT DESTROY OR MODIFY GRADES OR SLOPES IN ACCORDANCE WITH THE TOWN APPROVED INFRASTRUCTURE ENGINEERING PLANS WITHOUT FIRST HAVING RECEIVED PRIOR WRITTEN APPROVAL OF THE TOWN OF MUNSTER.

PLANNED UNIT DEVELOPMENT PLAN

THERE IS A DEVELOPMENT PLAN ASSOCIATED WITH THIS FINAL PLAT OF SUBDIVISION, WHICH IS AUTHORIZED THROUGH TOWN OF MUNSTER ORDINANCE 1738, AN ORDINANCE AMENDING THE THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT TO BE NOW KNOWN AS FIRST AMENDED THREE FLOYDS BREWING, LLC PLANNED UNIT DEVELOPMENT, COPIES OF WHICH ARE ON FILE WITH THE TOWN OF MUNSTER.

REFERENCE SURVEY

ALTANSPS LAND TITLE SURVEY TITLED THREE FLOYDS BREWING, LAST REVISED 12-13-2017, RECORDED ON FEBRUARY 28, 2018, AS DOCUMENT NUMBER 2018-010591, THERE ARE NO SUBSTANTIAL DIFFERENCES BETWEEN SAID SURVEY AND THIS PLAT.

FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF LAKE COUNTY, INDIANA AND INCORPORATED AREAS (COMMUNITY PANEL NO. 190803117E) MAP REVISED JANUARY 18, 2012.

LEGAL DESCRIPTION

LOT 1 AND LOT 2 IN 3 FLOYDS CONSOLIDATION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 10 WEST OF THE SECOND PRINCIPAL MERIDIAN, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK UNIT 1, IN THE TOWN OF MUNSTER, AS SHOWN IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

ALSO,

LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

SURVEYOR'S CERTIFICATE

STATE OF INDIANA }
COUNTY OF LAKE } SS

I, ANTHONY J. STRICKLAND, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, THAT THE PROPERTY DESCRIBED HEREON HAS BEEN SURVEYED AND SUBDIVIDED BY MYSELF OR UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A REPRESENTATION OF SAID SURVEY AND SUBDIVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT SAID SURVEY CONFORMS TO THE REQUIREMENTS AS SET FORTH UNDER TITLE 865 IAC, RULE 12.

DATED THIS _____ DAY OF _____, A.D., 20____.

ANTHONY J. STRICKLAND
INDIANA PROFESSIONAL LAND SURVEYOR NO. LS20800143
MY LICENSE EXPIRES ON JULY 31, 2024



7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.8000 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
THREE FLOYDS BREWING, LLC
9750 INDIANA PARKWAY
MUNSTER, IN 46321
219-422-4425

REVISIONS		
NO.	DATE	DESCRIPTION
1.	02-19-2018	REVISED SUBDIVISION NAME
2.	02-20-2018	REVISED PER COMMENTS
3.	06-21-2018	ADDED PARKING & SIDEWALK EASEMENTS
4.	08-02-2018	REVISED PER COMMENTS
5.	09-18-2023	REMOVED PARKING & SIDEWALK EASEMENTS

FINAL PLAT OF SUBDIVISION

3 FLOYDS SECOND CONSOLIDATION

DRAFTING COMPLETED: 02-05-18 DRAWN BY: SPK PROJECT MANAGER: AJS
CHECKED BY: AJS SCALE: 1" = 1/4" FIELD WORK COMPLETED: NA

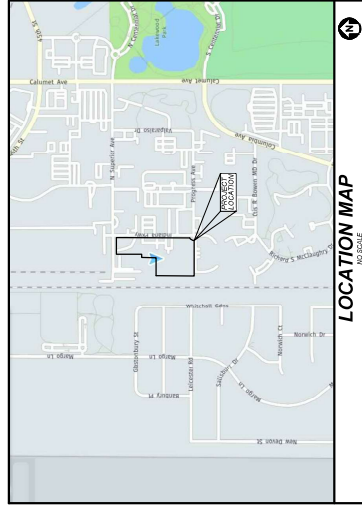
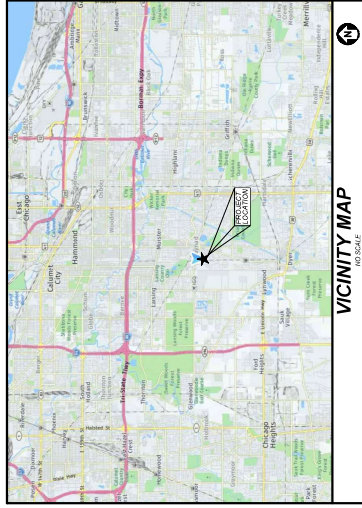
Project No: 17265

Group No: VP04.1

SHEET NO.
2 of 2

THREE FLOYDS TAPROOM

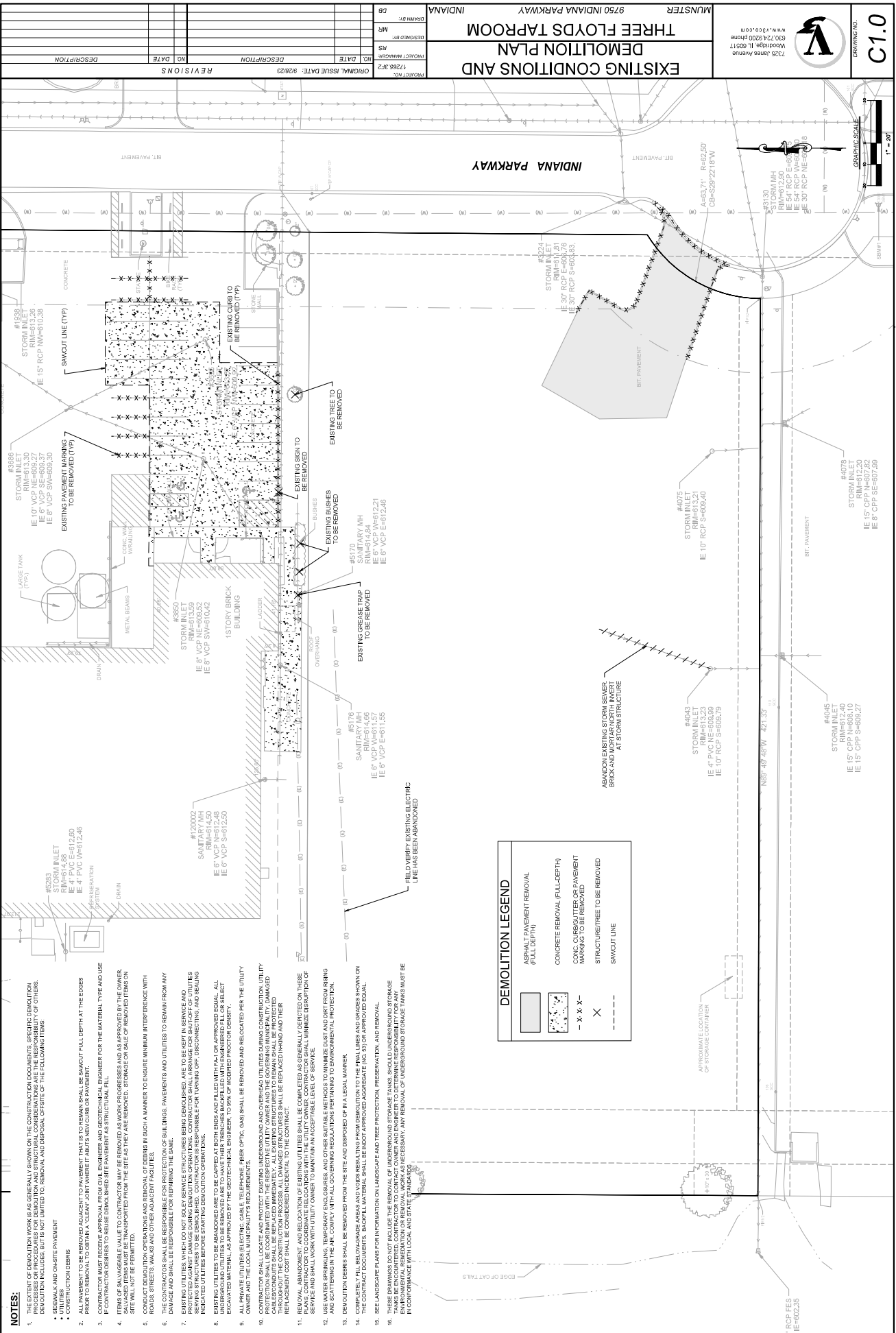
<p>PROJECT TEAM</p>	<p>OWNER/DEVELOPER</p> <p>Three Floyds Brewing, LLC 9750 Indiana Parkway Munster, Indiana 46321 630 930 7228 Contact: Gary Modrow</p>
<p>ENGINEER</p> <p>V3 Companies, Ltd 7325 Janes Avenue Woodridge, Illinois 60517 630 724 9200 Project Manager: Ryan Smykowski, P.E. rsmykowski@v3co.com Design Engineer: Mary Rokicki mrokicki@v3co.com</p>	<p>ARCHITECT</p> <p>V Three Studios, LLC 2717 Sutton Blvd. St Louis, Missouri 63143 314 922 7212 Contact: Gabe McKee</p>



INDEX	
CIVIL ENGINEERING PLANS	
C0.0	TITLE SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	PRELIMINARY LAYOUT AND PAVING PLAN
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
SUPPORTING DOCUMENTS	
1 of 2	TOPOGRAPHIC SURVEY

SOURCE	BENCHMARKS ESTABLISHED AT HELD VIA TROMBLE VHS HARV
	PROJECT ORIGIN AT:
BENCHMARKS	LATITUDE: 41-32-05.88814 N
	LONGITUDE: 81-50-05.88814 W
	ELEVATIONAL HEIGHT: 511.4685 SFT
	GROUND SCALE FACTOR 1.000047549
VERTICAL DATUM IS WAD 86.	
SITE	
SIZE	STATION DESIGNATION: SEM #1
	ESTABLISHED BY: VIO COMPANIES DATE 10-20-17
DESCRIPTION	DESCRIPTION: NORTH BOLT OF FIRE HYDRANT WITH CUT CROSS
	ON BOLT, IN DESIGNATION OF INDIANA AND PROGRESS AVENUE.
	ESTABLISHED BY: VIO COMPANIES DATE 10-20-17
	DESCRIPTION: 4.6483 INCH DIAMETER HYDRANT AT SOUTHEAST
CORNER OF INDIANA AND SUPERIOR AVENUE.	





NOTES:

- THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL, OFFSITE OF THE FOLLOWING UTILITIES:
 - UTILITIES
 - CONSTRUCTION DEBRIS
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT MEETS NEW CURB OR PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH THE ADJACENT STREETS, SIDEWALKS, AND OTHER AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
- EXISTING UTILITIES, WHICH DO NOT MEET SERVICE STANDARDS, SHALL BE DEMOLISHED. ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES PRIOR TO DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
- EXISTING UTILITIES TO BE REMOVED ARE TO BE CAPED AT BOTH ENDS AND FILLED WITH 14-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEO-TECHNICAL ENGINEER, TO 99% OF ADOPTED PROCTOR DENSITY.
- OWNER AND THE LOCAL MUNICIPALITY REQUIREMENT FOR REMOVAL OF ALL UTILITIES SHALL BE REMOVED AND RELOCATED PER THE UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED UTILITIES SHALL BE RELOCATED OR REPLACED. ALL DAMAGED UTILITIES SHALL BE REPLACED IN AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- REMOVAL ABANDONMENT AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
- DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DEPOSED OF IN A LEGAL MANNER.
- COMPLETELY FILL BLOW-OUT AREAS AND Voids RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE NOT APPROVED AGGREGATE (NO. 53) OR APPROVED EQUAL.
- SEE LANDSCAPE PLAN FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
- THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE IDENTIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DEMOLITION LEGEND

	ASPHALT PAVEMENT REMOVAL (FULL DEPTH)
	CONCRETE REMOVAL (FULL DEPTH)
	CONC. CURB/GUTTER OR PAVEMENT MARKING TO BE REMOVED
	STRUCTURE/TREE TO BE REMOVED
	SAWCUT LINE

C1.0

DRAWING NO.

7255 James Avenue
Mundtville, IL 62451
630.724.0200 Phone
www.vyc.com

EXISTING CONDITIONS AND DEMOLITION PLAN

THREE FLOYS TAPROOM

MUNSTER

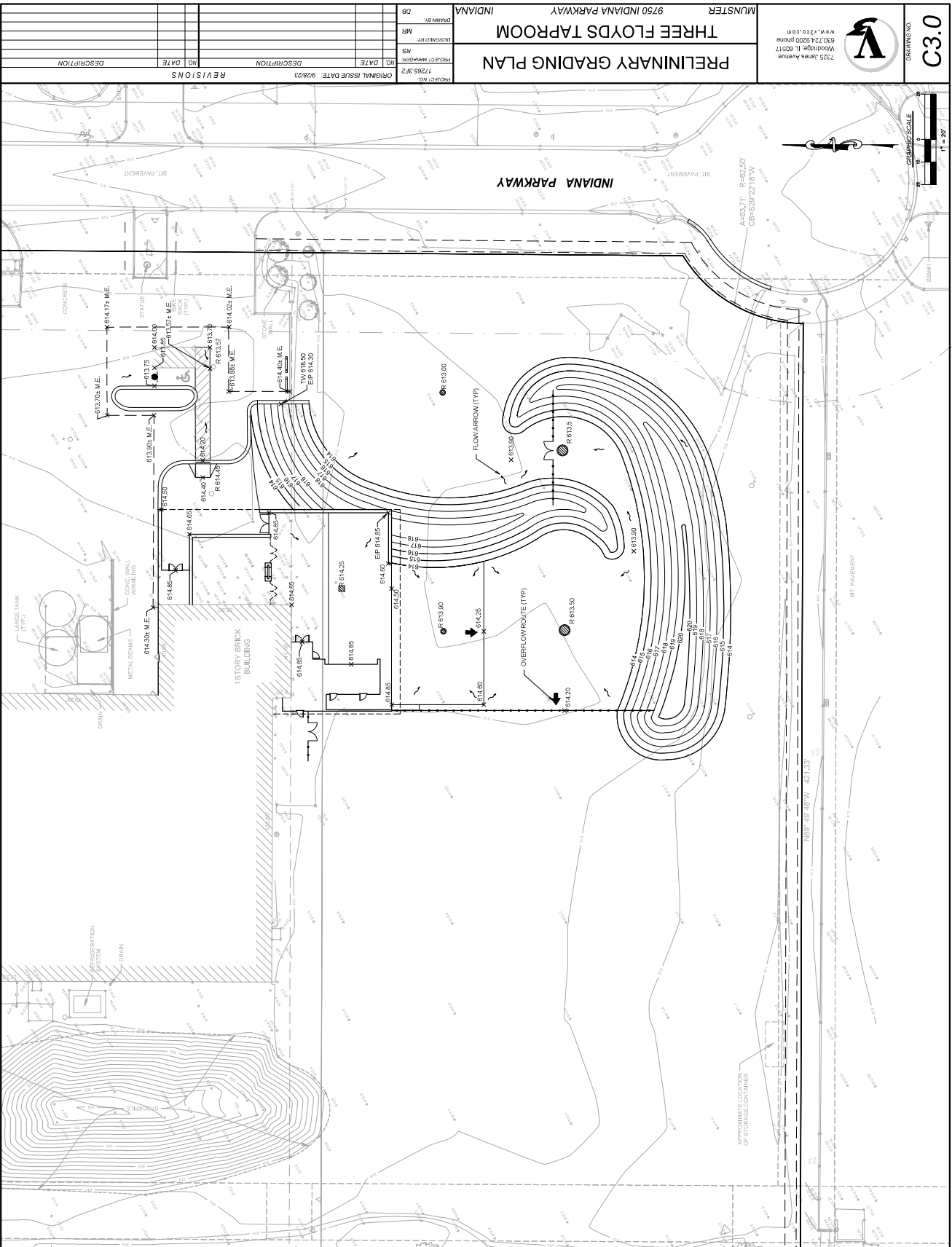
9750 INDIANA PARKWAY

NO.	DATE	DESCRIPTION
1	12/28/23	ORIGINAL ISSUE DATE: 9/28/23
2		REVISIONS
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N:\2017\17265\17265_3E2\Drawings\4 CAD\DWG\Sheet Drawings\42 0 dwg 9/28/2023

- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND SUBGRADE ELEVATIONS SHALL BE SHOWN TO THE CENTERLINE OF THE PAVEMENT AND GUTTER REFER TO ELEVATION OF FINISHED GRADE UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GRADE UNLESS OTHERWISE NOTED. SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 1.5% CROSS SLOPE AND 4.0% MAXIMUM LONGITUDINAL SLOPE ON ALL PAVEMENT SECTIONS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT A MAXIMUM LONGITUDINAL SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 3.00%.



PROJECT NO. 17265.3P2		DATE 02/28/23	ORIGINAL ISSUE DATE: 02/28/23
DESIGNED BY: MRS	PROJECT MANAGER: RS	NO. DATE	DESCRIPTION
DR. BY: MRS	NO. DATE	DESCRIPTION	REVISIONS
INDIANA 9750 INDIANA PARKWAY			
THREE FLOYDS TAPROOM			
PRELIMINARY GRADING PLAN			

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

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7265.3P2

02/28/23

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THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

7265.3P2

02/28/23

02/28/23

INDIANA 9750 INDIANA PARKWAY

THREE FLOYDS TAPROOM

PRELIMINARY GRADING PLAN

N 007117265.3P2 Drawing CAD User Sheet Drawing C3.0.dwg 7265.3P2.dwg 02/28/23

**PRELIMINARY
STORMWATER
MANAGEMENT
REPORT**



PROJECT SITE:

**THREE FLOYDS TAPROOM EXPANSION
MUNSTER, LAKE COUNTY, INDIANA**

PREPARED FOR:

Three Floyds Brewing, LLC.
9750 Indiana Parkway
Munster, Indiana 46321

PREPARED BY:

V3 COMPANIES, LTD.
7325 JANES AVENUE
WOODRIDGE, ILLINOIS 60517
630.724.9200

SEPTEMBER 28, 2023



THREE FLOYDS TAPROOM EXPANSION

THREE FLOYDS TAPROOM
MUNSTER, LAKE COUNTY, INDIANA

Preliminary Stormwater Report TABLE OF CONTENTS

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 - FEMA FIRM MAP
 - Lake County Flood Zones Map
 - National Wetlands Inventory Map
 - Lake County Advanced Identification of Wetlands Map
 - Lake County Soils Map

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- NAVD 29 to NAVD 88 Conversion Calculation
- Midwest Central Industrial Park Runoff Coefficient
- Aerial Overlay Exhibit of Midwest Central Industrial Park (Exhibit 1)
- Existing Pervious/Impervious Area Exhibit –South of Superior (Exhibit 2)
- Existing Runoff Coefficient Calculation – Properties South of Superior
- Proposed Pervious/Impervious Area Exhibit – Three Floyds (Exhibit 3)
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SECTION 1



THREE FLOYDS TAPROOM EXPANSION

MUNSTER, LAKE COUNTY, INDIANA

PROJECT OVERVIEW

The proposed Three Floyds Taproom Expansion is located along Indiana Parkway, within the Town of Munster in Lake County, Indiana. See Exhibit 1, Project Location Map. The subject property is on two parcels, separated by Indiana Parkway, totaling 8.37± acres of land (6.99 acres on the west and 1.38 acres on the east). Currently the properties are being utilized as the Three Floyds Brewery, associate parking lots, and vacant land. The proposed improvements are located on the southern third of the property on the west side of Indiana Parkway. The proposed improvements include building expansion to the existing taproom, outdoor patio/bar area, and outdoor lawn area enclosed by landscape berms. The proposed improvements will also involve reworking the existing parking area on the east side of the taproom.

EXISTING SITE CONDITION

The subject property is located within the Midwest Central Industrial Park (MCIP), and is bounded on the north by Superior Avenue, the east by Indiana Parkway, the west by a Town of Munster detention pond, and on the south by a School District bus facility. The site currently consists of the existing Three Floyds facilities, a gravel parking lot to the north, asphalt parking lot to the east, and vacant land to the south that was previously a woodworking facility. An expansion of the Three Floyds facility was completed in 2015 consisted of the distillery addition and parking lot on the east side of Indiana Parkway

The site generally drains through storm sewers and surface runoff that discharge into the detention pond on the west side of the Three Floyds property. The detention basin is interconnected with another basin to the north. And both are controlled and drained by and existing stormwater pump station north of Superior Avenue that is owned and operated by Hammond Sanitary District. The water is pumped west under the railroad, and continues draining west, ultimately tributary to The Little Calumet River. The existing stormwater management was designed for the full buildout of the overall MCIP. See Exhibits in Section 2 of this report.

Based on review of the FEMA Flood Insurance Rate Map, the entire site is located within the 500-year floodplain. An exhibit has been included at the end of this section showing the floodplain limits.

Location, Wetland, Hydrologic, and Soil Survey Exhibits are attached for reference.

PROPOSED SITE CONDITION

The proposed improvements will include a building expansion, outdoor patio/bar area, lawn area enclosed by landscaped berms, and reworking the existing parking east of the taproom. The site is located on Indiana parkway within Lake County, Indiana. The Town of Munster will manage the stormwater review and approval process.

In the proposed condition the site will continue to be tributary to the existing detention basin to the west. Existing drainage patterns will be maintained and the proposed site will be routed through storm sewer which will directly discharge into the basin.

Site Runoff Requirement

The site storm sewer will be designed to convey runoff up to and including the 10-year storm event. Existing emergency overland overflow routes to the existing detention will be maintained in the proposed condition.

Site Detention Requirement

The Town of Munster has provided historical documents that show the original stormwater plan and design for the Midwest Central Industrial Park prepared by Mackie Consultants Inc. (See Exhibit in Section 2). This document indicated that the MCIP has an overall drainage area of 191 acres. Two detention basins were designed, one northwest of Three Floyds that has a volume of 30.0 ac-ft, and one directly west of Three Floyds that has a volume of 19.7 ac-ft. Both basins have a high-water level of 612.0. The original MCIP stormwater plan was based on NAVD29 elevations. Current topographic surveys are based on NAVD88 elevations. Therefore, the HWL of the detention basins have been converted to an elevation of 611.68 to be consistent with the current survey. See NAVD29 to NAVD88 conversion calculation provided in Section 2.

The original stormwater management design for the MCIP was based on a runoff coefficient of 0.80 for the entire property in a fully developed condition. See MCIP stormwater Plan in Section 2. In our opinion, the 0.80 runoff coefficient is based on 75% impervious coverage and 25% pervious coverage, site runoff coefficients of 0.95 and 0.35 respectively, resulting in a composite C factor of 0.80. See MCIP Runoff Coefficient calculation provided in Section 2. An Aerial Overlay Exhibit of the MCIP Stormwater Routing Plan is provide in Section 2 and shows the extents of the land area that was included in the original design, and the land coverage (pervious and impervious area). In our opinion, there is much less impervious area than originally planned for the Industrial Park. This results in less stormwater runoff to the detention basins, and thereby an excess of detention in the basins.

The portion of the Industrial Park south of Superior Avenue was analyzed in greater detail to determine the amount of pervious/impervious area that exists today in this portion of the park. It was determined that this area of the Industrial Park is approximately 74.46 acres. Using aerial imagery, the pervious/impervious cover for this area was calculated. It was determined that approximately 48.7% of this area is impervious and 51.3% is pervious. In existing conditions, this area of the Industrial Park has a composite runoff coefficient of approximately 0.64. These calculations show that the detention basin has excess capacity based on existing land coverage, and that approximately 19.6 acres of impervious area could be added based on the original stormwater design. See exhibits and calculations included in Section 2.

The proposed Three Floyds site will have approximately 3.88 acres of pervious area (46%) and approximately 4.49 acres of impervious area (54%); resulting in a composite runoff coefficient of 0.67. An exhibit showing pervious/impervious areas for the Three Floyds site and the resulting runoff coefficient is included in Section 2.

The proposed impervious coverage (54%) and runoff coefficient (0.67) are within the allowable parameters of the original stormwater management design (75% and 0.80). Therefore, stormwater management for the proposed improvements are adequately provided for in the MCIP stormwater management system.

Erosion Control

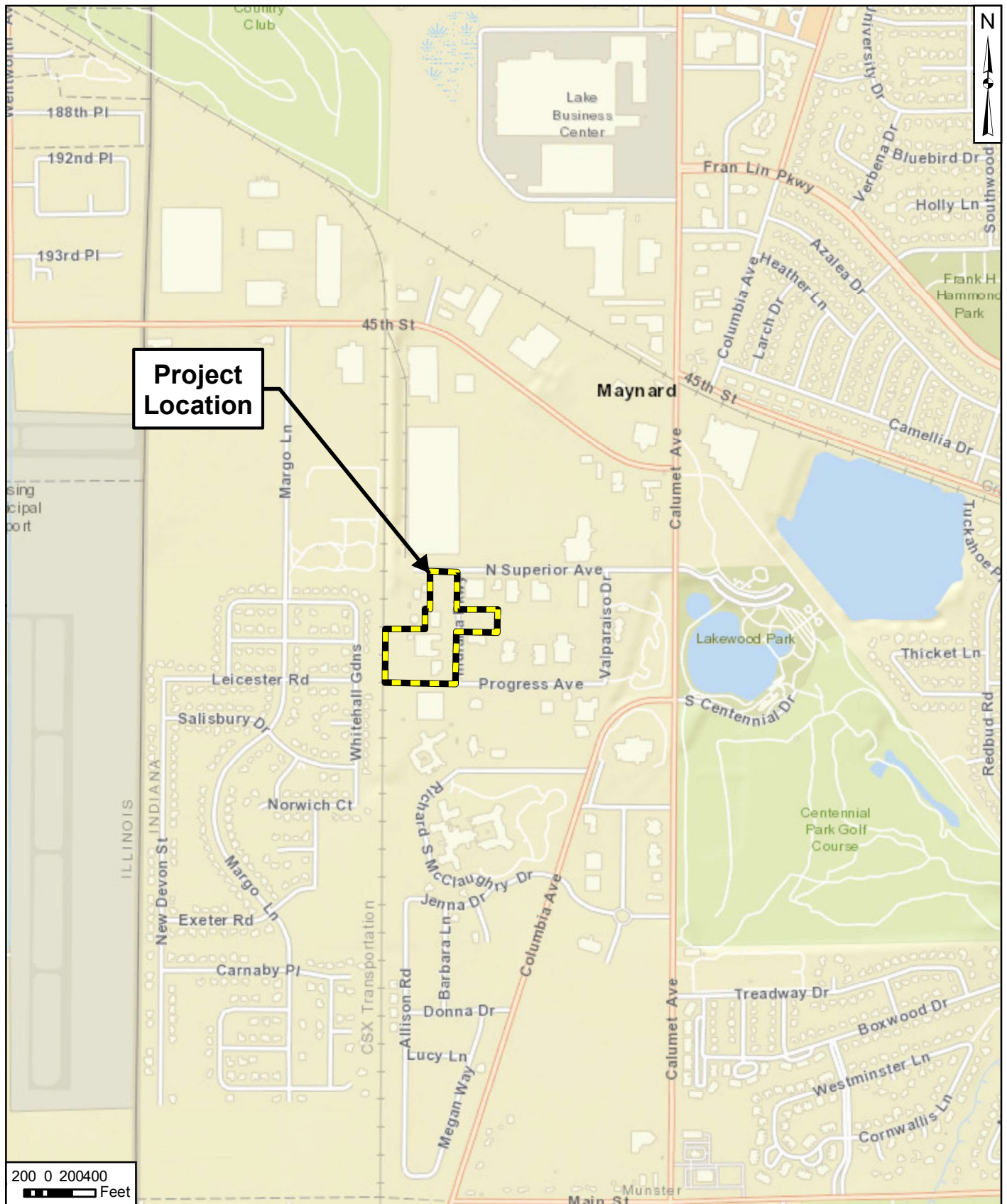
Erosion and sediment will be controlled during construction using silt fence, stabilized construction entrances, erosion control blanket, and other methods that will be indicated in detail on the final engineering plans and in the Stormwater Pollution Prevention Plan (SWPPP). Measures will remain in place and shall be maintained until the site has been stabilized. Within thirty days of disturbed areas being permanently stabilized, temporary erosion control measures shall be removed from the site.

Best Management Practices (BMPs)

All of the stormwater runoff from the site is tributary to the existing MCIP stormwater management system., which was designed for the entire Industrial Park in a fully developed condition. The existing detention basin generally have flat bottoms with native vegetation that is below the outlet elevation of the basin. This condition promotes infiltration, removes suspended solids and other pollutants from stormwater, and thereby provides the required water quality BMPs.

Conclusion

In our opinion, all stormwater detention and water quality requirements have been met in the existing MCIP detention basins and stormwater management system, which was originally designed for the full buildout of the 191.0-acre Industrial Park.



200 0 200400
Feet



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630.724.9202 fax
www.v3co.com

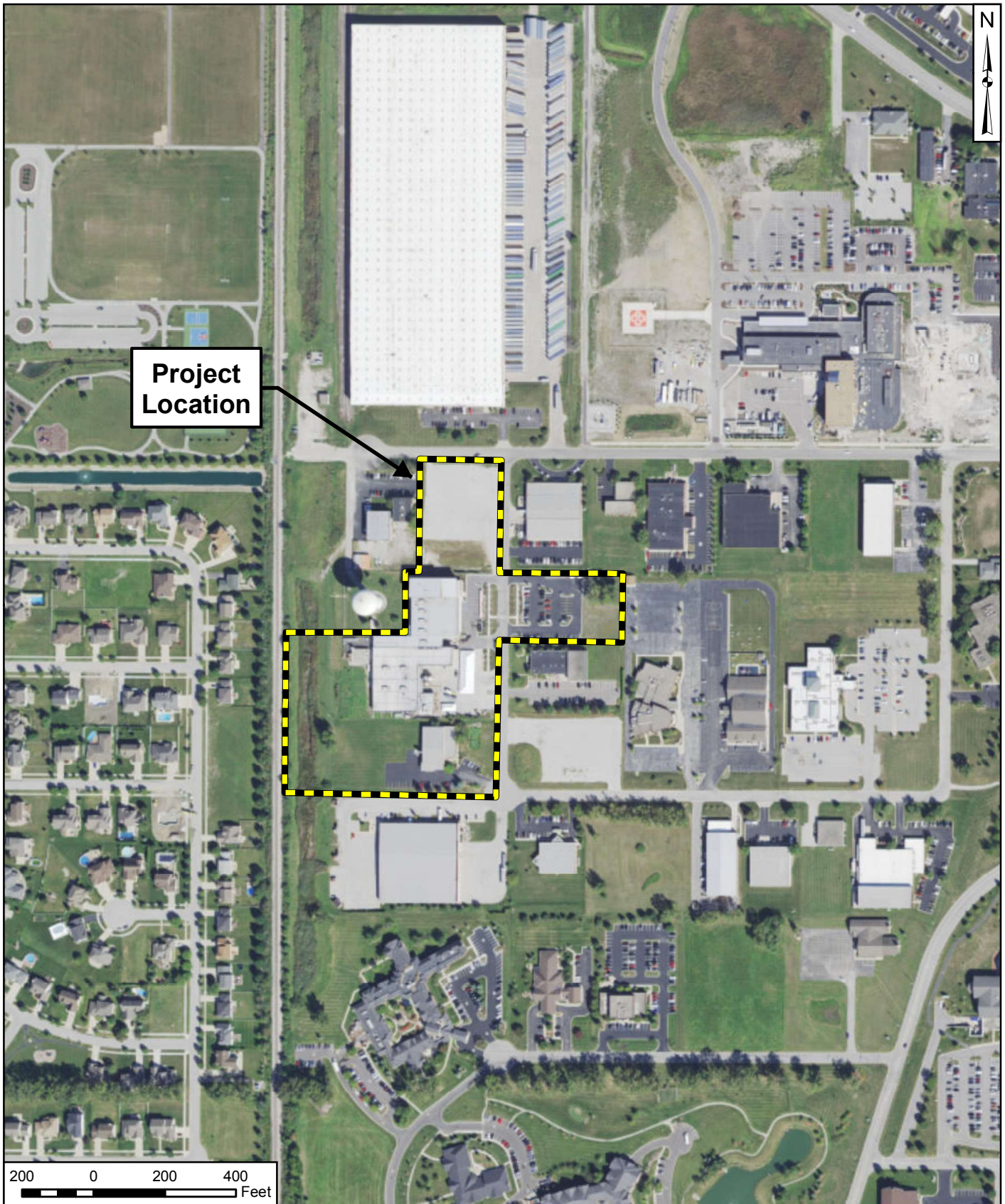
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PROJECT NO.:	17265
CREATED BY:	RMS
DATE:	11/29/2017
SCALE:	See Scale Bar

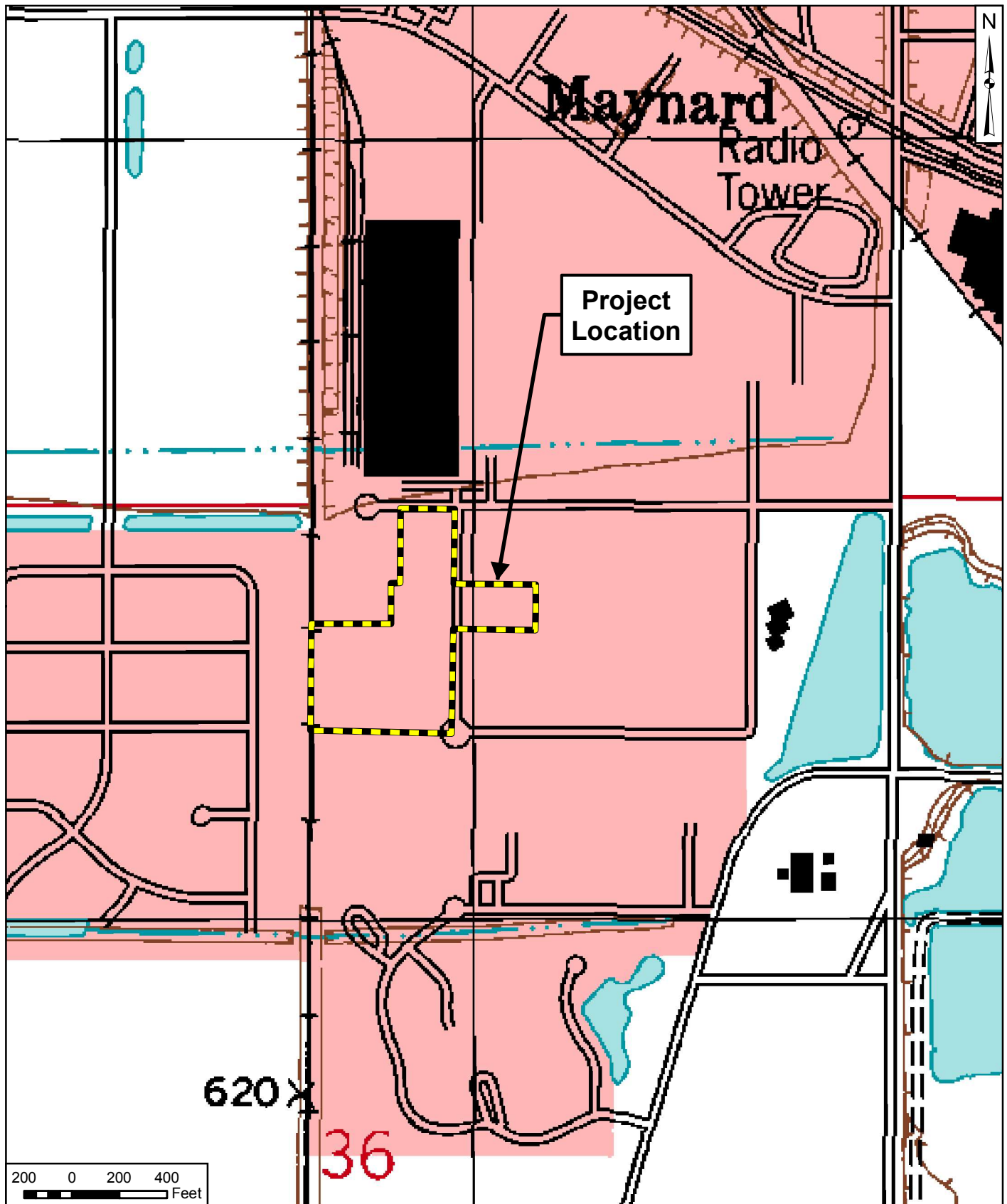
CLIENT:	Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321
BASE LAYER:	ESRI World Street Map

TITLE:	PROJECT LOCATION MAP
SITE:	Three Floyds Expansion Munster, Indiana

EXHIBIT	1
---------	----------



 <p>V3 Companies 7325 Janes Avenue Woodridge, Illinois 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p> <p>Visio, Vertere, Virtute... "The Vision To Transform with Excellence"</p>	PROJECT NO.: 17265	CLIENT: Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321	AERIAL MAP	
	CREATED BY: RMS			
	DATE: 11/29/2017	BASE LAYER: DigitalGlobe Aerial Imagery (2016)	Three Floyds Expansion Munster, Indiana	
	SCALE: See Scale Bar			
			EXHIBIT 2	



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PROJECT NO.: 17265
CREATED BY: RMS
DATE: 11/29/2017
SCALE: See Scale Bar

CLIENT: Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321
BASE LAYER: USGS Topographic Map Calumet Quadrangle (1998)








TITLE: USGS TOPOGRAPHIC MAP
SITE: Three Floyds Expansion Munster, Indiana

EXHIBIT 3

Legend

Flood Zones of Lake County (2015)

FLD_ZONE, ZONE_SUBTY

-  Zone A
-  Zone AE
-  Zone AE, Floodway
-  Zone AH
-  0.2% Annual Chance Flood Hazard
-  Zone X Protected By Levee
-  Zone X



**Project
Location**

300 0 300 600
Feet



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PROJECT NO.:

17265

CREATED BY:

RMS

DATE:

11/29/2017

SCALE:

See Scale Bar

CLIENT:

Three Floyds
9750 Indiana Pkwy
Munster, Indiana 46321

BASE LAYER:

DigitalGlobe Aerial
(2016)

TITLE:

**FLOOD ZONES OF LAKE
COUNTY, INDIANA (2015) MAP**

SITE:

Three Floyds Expansion
Munster, Indiana

EXHIBIT

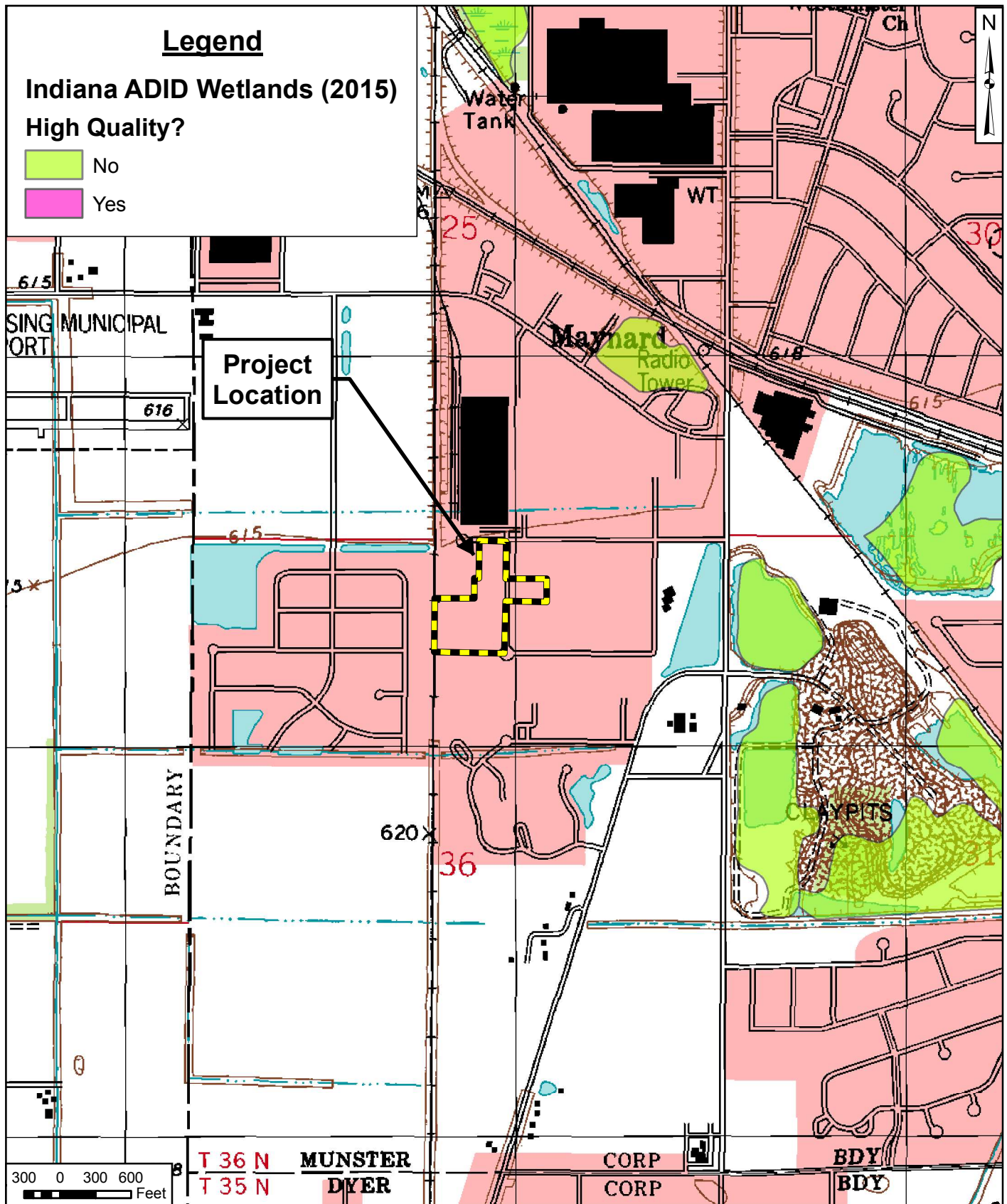
5

Legend

Indiana ADID Wetlands (2015)

High Quality?

- No
- Yes



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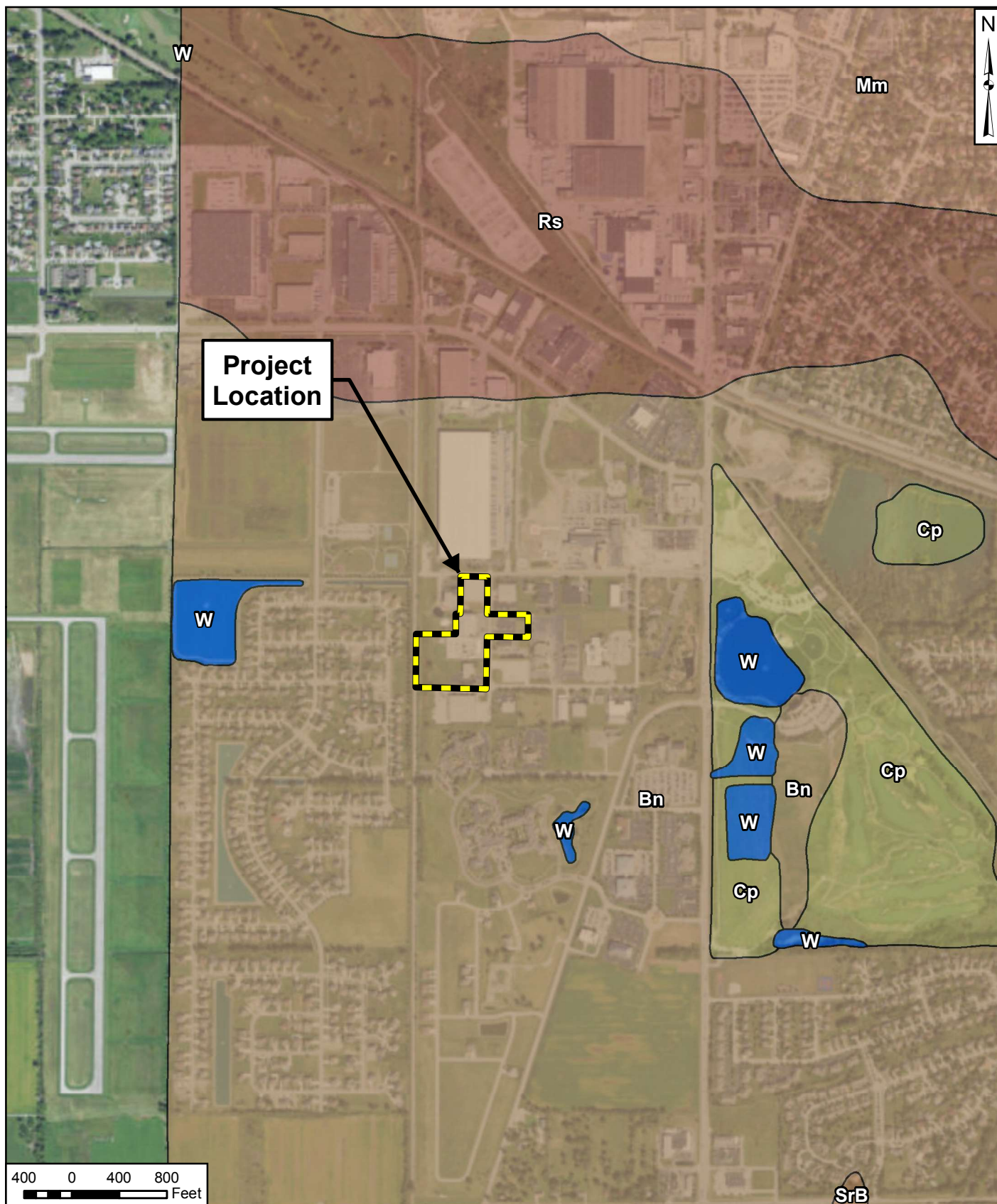
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PROJECT NO.: 17265
CREATED BY: RMS
DATE: 11/29/2017
SCALE: See Scale Bar

CLIENT: Three Floyds
9750 Indiana Pkwy
Munster, Indiana 46321
BASE LAYER: USGS Topographic Map
Calumet Quadrangle
(1998)

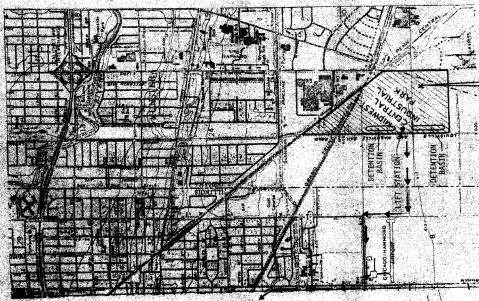
TITLE: LAKE COUNTY ADVANCED
IDENTIFICATION OF
WETLAND (ADID) MAP
SITE: Three Floyds Expansion
Munster, Indiana

EXHIBIT
7



 <p>V3 Companies 7325 Janes Avenue Woodridge, Illinois 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	PROJECT NO.: 17265		CLIENT: Three Floyds 9750 Indiana Pkwy Munster, Indiana 46321	TITLE: SOIL SURVEY OF LAKE COUNTY, ILLINOIS MAP	
	CREATED BY: RMS				
	DATE: 11/29/2017		BASE LAYER: DigitalGlove Aerial Imagery (2016)	SITE: Three Floyds Expansion Munster, Indiana	EXHIBIT 8
Visio, Vertere, Virtute... "The Vision To Transform with Excellence"		SCALE: See Scale Bar			

SECTION 2

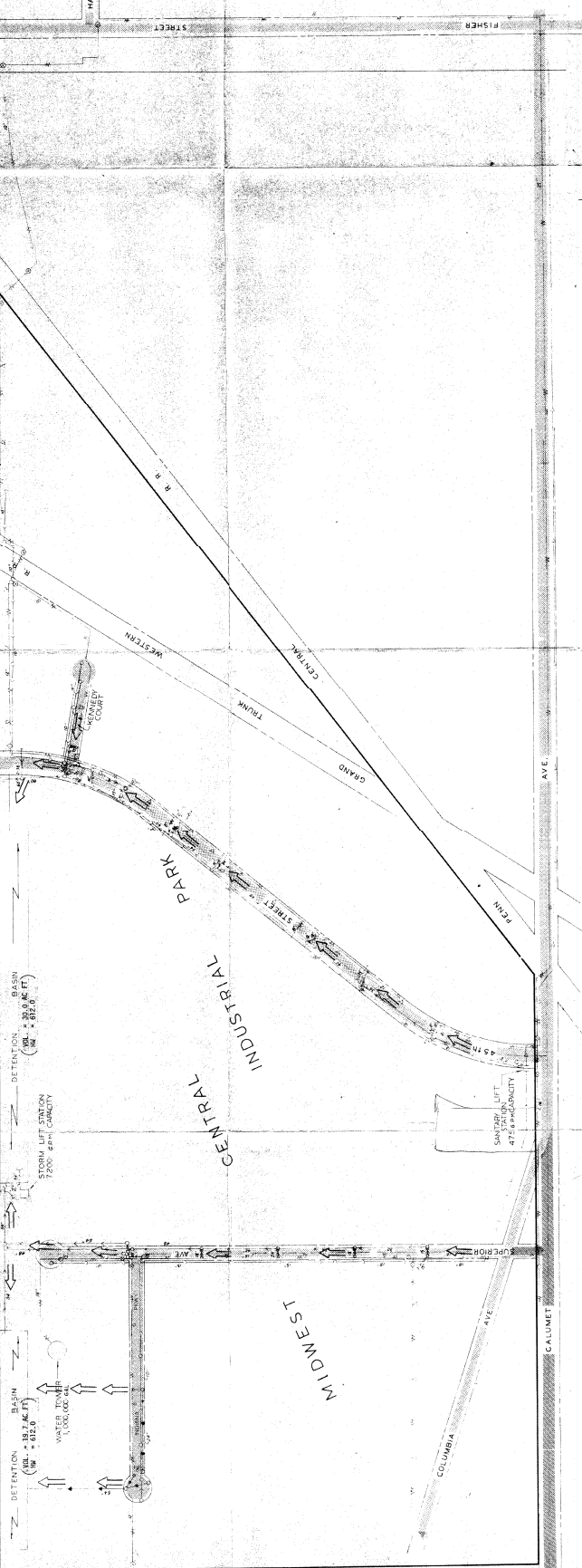


STORMWATER DETENTION BASIN

STATION: 10+00.00
 DETENTION VOLUME: 40.0 AC-FT (10.0 MGAL)
 DETENTION AREA: 10.0 AC
 DETENTION DEPTH: 4.0 FT
 DETENTION RATE: 1.0 CFS/AC
 DETENTION TIME: 1.0 HRS
 DETENTION LOSS: 0.0 CFS
 DETENTION EFFICIENCY: 100%

STORMWATER DETENTION CALCULATIONS

STATION	INLET	OUTLET	DETENTION VOLUME (MGAL)	DETENTION AREA (AC)	DETENTION DEPTH (FT)	DETENTION RATE (CFS/AC)	DETENTION TIME (HRS)	DETENTION LOSS (CFS)	DETENTION EFFICIENCY (%)
10+00.00	10.0	10.0	40.0	10.0	4.0	1.0	1.0	0.0	100%



LEGEND

EXISTING	FUTURE
SANITARY SEWER	SANITARY SEWER
WATER MAIN	WATER MAIN
STORM SEWER	STORM SEWER
FORCE MAIN	FORCE MAIN
PAVEMENT	PAVEMENT
VALVE/MAINT	VALVE/MAINT
VALVE/BOX	VALVE/BOX
HYDRAULIC	HYDRAULIC

PROPOSED 4-LANE ROAD TO BE CONSTRUCTED IN 1984.

Questions concerning the VERTCON process may be mailed to [NGS](#)

Latitude: 41.536

Longitude: 087.516

NGVD 29 height: 612.0 FT

Datum shift(NAVD 88 minus NGVD 29): -0.322 feet

Converted to NAVD 88 height: 611.678 feet



RUNOFF COEFFICIENT CALCULATION

Midwest Central Industrial Park

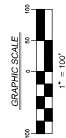
PROJECT: Three Floyds
V3 FILE NO.: 17265.3F2
DATE: 09/25/23
PREPARED BY: MR
REVIEWED DATE: 09/25/23
REVIEWED BY: RMS

Impervious Area (ACRE)	142.63
Impervious c-factor	0.95
Pervious Area (ACRE)	48.37
Pervious c-factor	0.35
TOTAL AREA (ACRE)	191.00

$$C = \frac{0.95 * (\text{Impervious Area}) + 0.35 * (\text{Pervious Area})}{\text{Total Area}}$$

$$C = \frac{0.95 * (143.25 \text{ acre}) + 0.3 * (47.75 \text{ acre})}{191.00}$$

C	=	0.80
----------	----------	-------------



DRAWING NO.

EXISTING PERVIOUS/IMPERVIOUS
AREA - SOUTH OF SUPERIOR

EX 2

THREE FLOYDS EXPANSION

INDIANA

REVISIONS			PROJECT NO.	17263.3F2	DESIGNED BY	NMS
NO.	DATE	DESCRIPTION	FILE NAME	217EVALU_17263.3F2.DWG	DRAWN BY	NMS
			ORIGINAL ISSUE DATE	CHECKED BY		RB
			08-25-2023			
			SCALE:		PROJECT MANAGER	RB
					1" = 100'	

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RUNOFF COEFFICIENT CALCULATION

Properties South of Superior Ave. in Midwest Central Industrial Park

PROJECT: Three Floyds

V3 FILE NO.: 17265.3F2

DATE: 09/25/23

PREPARED BY: MR

REVIEWED DATE: 09/25/23

REVIEWED BY: RMS

Impervious Area (ACRE)	36.24
Impervious c-factor	0.95

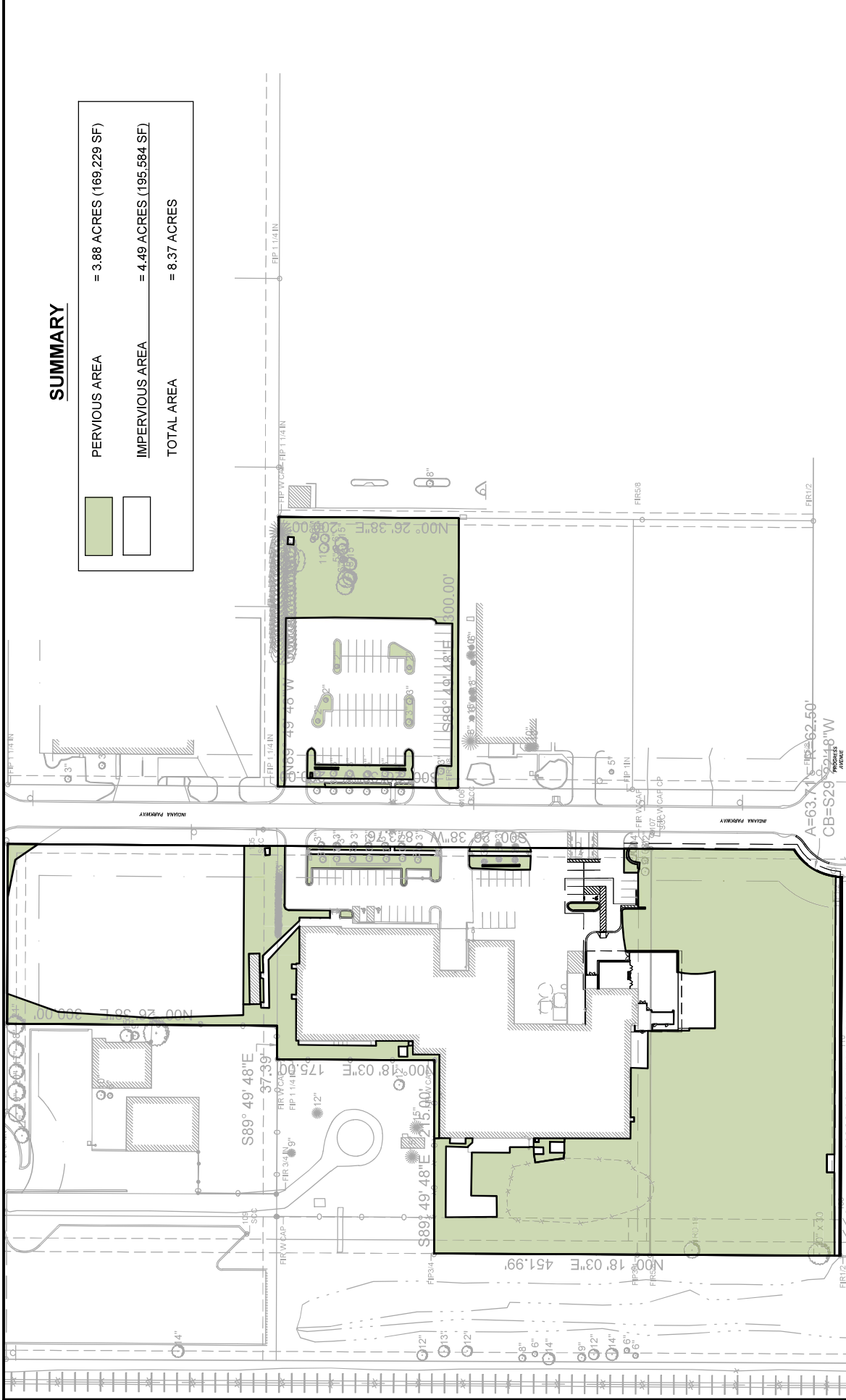
Pervious Area (ACRE)	38.22
Pervious c-factor	0.35

TOTAL AREA (ACRE)	74.46
--------------------------	-------



$$C = \frac{0.95 * (\text{Impervious Area}) + 0.35 * (\text{Pervious Area})}{\text{Total Area}}$$

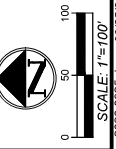
$$C = \frac{0.95 * (36.86 \text{ acre}) + 0.3 * (37.60 \text{ acre})}{74.46}$$

C	=	0.64
----------	----------	-------------



SUMMARY

	PERVIOUS AREA	= 3.88 ACRES (169,229 SF)
	IMPERVIOUS AREA	= 4.49 ACRES (195,584 SF)
	TOTAL AREA	= 8.37 ACRES



**EXHIBIT 3 - PROPOSED
PERVIOUS/IMPERVIOUS AREA**

DATE: 09-25-23

THREE FLOYDS BREWERY
MUNSTER

INDIANA



7325 Jones Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



RUNOFF COEFFICIENT CALCULATION

PROJECT: Three Floyds Brewery
V3 FILE NO.: 17265.3F2
DATE: 09/25/23
PREPARED BY: MR
REVIEWED DATE: 09/25/23
REVIEWED BY: RMS

Impervious Area (ACRE)	4.49
Impervious c-factor	0.95
Pervious Area (ACRE)	3.88
Pervious c-factor	0.35
TOTAL AREA (ACRE)	8.37

$$C = \frac{0.95 * (\text{Impervious Area}) + 0.35 * (\text{Pervious Area})}{\text{Total Area}}$$

$$C = \frac{0.95 * (6.61 \text{ acre}) + 0.3 * (1.76 \text{ acre})}{8.37}$$

C = 0.67

SITE VIEW





VIEW 01



VIEW 02



VIEW 03



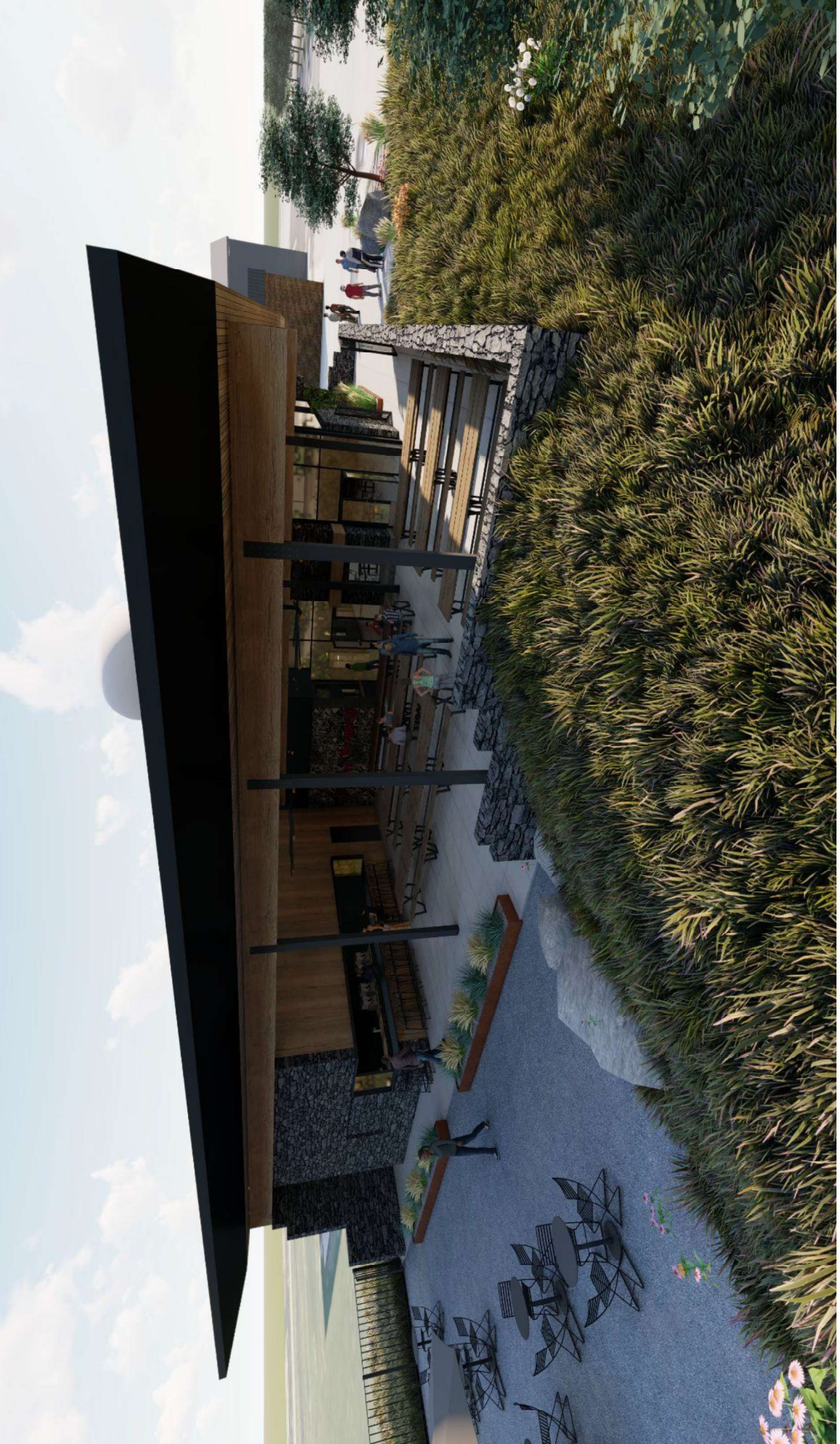
VIEW 04



VIEW 05



VIEW 06



VIEW 07