



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Tom Vander Woude, Planning Director

Meeting Date: August 9, 2022

Agenda Item: PC Docket No. 22-013

Application: **Zoning Amendment – Planned Unit Development Amendment**

Hearing: **PUBLIC HEARING**

Summary: Maple Leaf Crossing LLC requesting approval of an amendment to the Maple Leaf Crossing Planned Unit Development to permit a restaurant and cigar lounge on Lot 7 in the Maple Leaf Crossing PUD at 9410-9470 Calumet Avenue

Applicant: Maple Leaf Crossing LLC

Property Address: 9410-9470 Calumet Avenue

Current Zoning: Planned Unit Development

Adjacent Zoning: North: SD-M
South: SD-M/PUD
East: CD-4.A
West: SD-M

Action Requested: Favorable Recommendation

Additional Actions Required: Findings of Fact
Town Council Approval

Staff Recommendation: **Favorable Recommendation**

Attachments:

1. Proposed revisions to Maple Leaf Crossing Development Standards, undated
2. Lot 7 Maple Leaf Crossing Master Site Plan prepared by Torrenga Engineering dated 06.29.2022
3. Lot 7 Maple Leaf Crossing Site Plan prepared by Torrenga Engineering dated 06.29.2022
4. Karma Bistro & Cigar Bar plans prepared by Studio Silver dated 2022.08.04

5. Karma Piano/Cigar Bar Restaurant renderings undated
6. Maple Leaf Crossing Traffic and Parking Study prepared by Ciorba Group dated 2022.07.06
7. Maple Leaf Crossing PUD Ordinance 1803
 - a. Exhibit A: Development Plan (engineering plans prepared by Torrenga Engineering dated 06.26.2020
 - b. Exhibit B: Development Requirements (DEVELOPMENTAL STANDARDS FOR THE MAPLE LEAF CROSSING DEVELOPMENT AT THE MUNSTER BUSINESS COMPLEX PLANNED UNIT DEVELOPMENT
 - c. Exhibit C: Landscape Plan prepared by Planned Environment Associates, dated 06.29.2020
8. Maple Leaf Crossing Partial Site Plan prepared by Borderline Design LLC dated 03/09/2020

BACKGROUND



Figure 1: Maple Leaf Crossing PUD outlined in red. Subject property highlighted in blue.

Maple Leaf Crossing LLC has applied for an amendment to the Maple Leaf Crossing Planned Unit Development to modify the adopted development standards and site plans as they relate to Lot 7 to replace the previously approved 2,710 square foot pub and shipping containers with a 6400 square foot cigar bar and restaurant.

A preliminary hearing was held on July 12, 2022. Revised plans showing additional screening of the mechanicals on the building and the elimination of a second-floor water feature were submitted after the preliminary hearing. The Plan Commission approved the development plan with conditions on July 12, 2022.

The PUD is currently governed by Ordinance 1803 which established the Maple Leaf Crossing Planned Unit Development at 9352-9482 Calumet Avenue, an approximately 6-acre parcel located at the northeast quadrant of the intersection of Calumet Avenue and the CN Railroad tracks. The ordinance was adopted in July 2020 by the Munster Town Council, on the recommendation of the Plan Commission. The approved PUD includes site engineering plans, a set of development standards, and a site-wide landscaping plan, which are attached to this memo.



Figure 2: Currently approved plans for Lot 7 of the Maple Leaf Crossing PUD outlined in red

The approved site plan includes the following:

- Lot 1: A four-story, approximately 60,000 square foot professional office building;
- Lot 2: A four story, approximately 71,000 square foot Hyatt Place hotel

1005 Ridge Road • Munster, IN 46321 • (219) 836-8810 • Police/Fire Emergencies 911

Police Non-Emergency (219) 836-6600 • Fire Non-Emergency (219) 836-6960

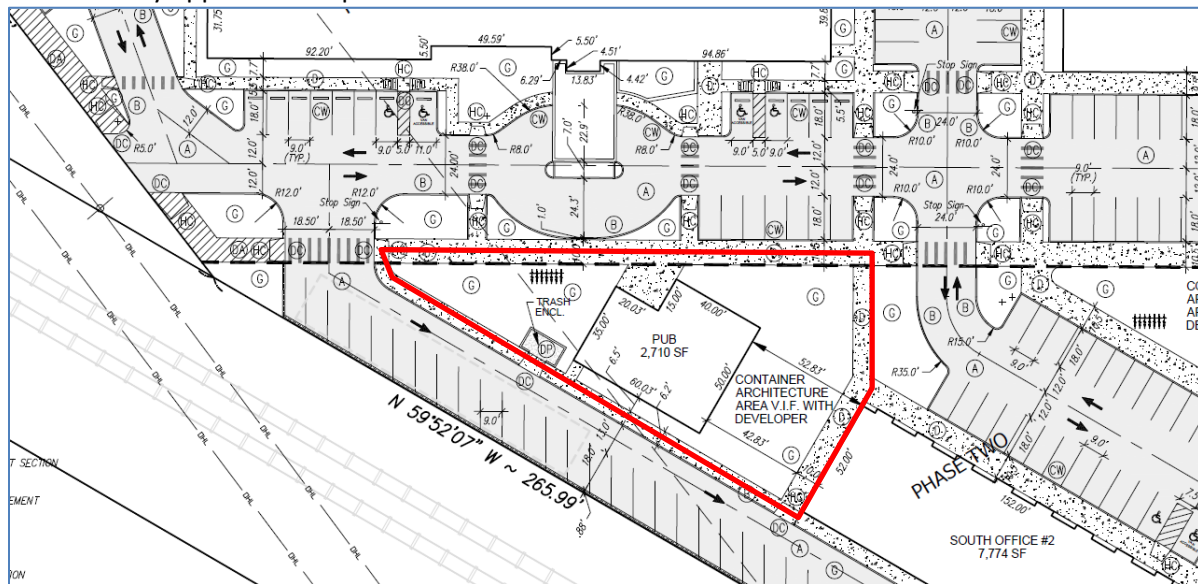
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- Lot 3: A 4,623 square foot restaurant
- Lot 4: An area designated for at least 10 shipping container retail spaces
- Lots 5 and 6: Two 7,774 square foot, single story office buildings
- **Lot 7: a 2710 square foot pub and shipping container retail spaces**
- Internal parking areas and a new public road, Maple Leaf Boulevard, along the north edge of the site that provides access to Calumet Avenue

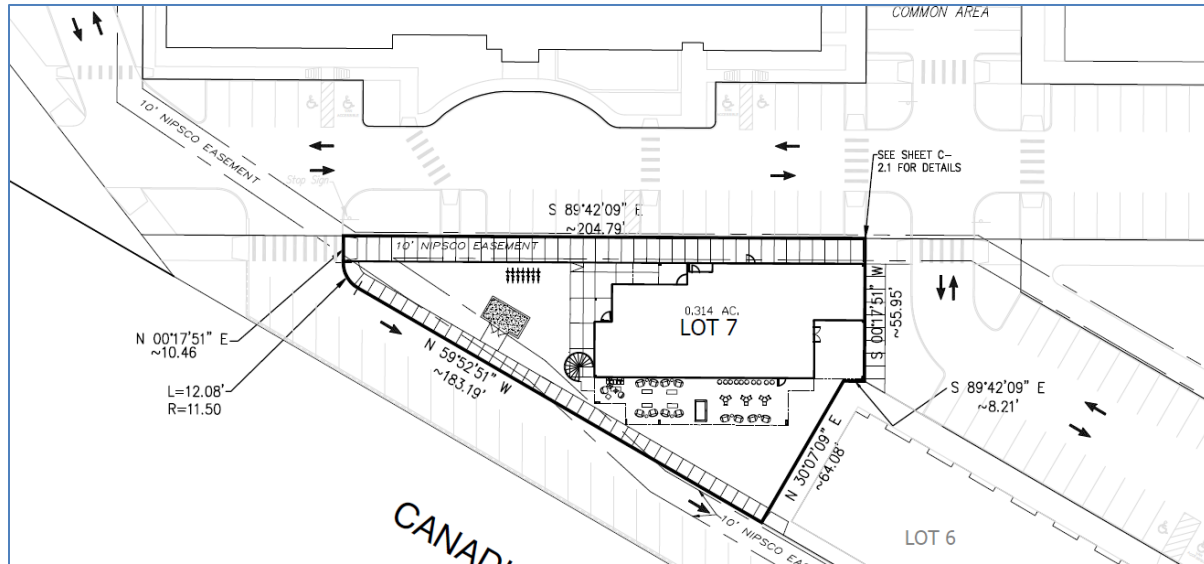
Ordinance 1803 specifies that Lot 7 will be developed with a 2710 square foot pub and repurposed shipping containers. The developers are seeking an amendment to the Maple Leaf Crossing PUD development standards and approved site plans to replace the 2,710 square foot pub and shipping containers with the proposed cigar bar. The proposed amendment would supersede any previously adopted landscape plans and architectural and design standards for Lot 7.

SITE PLAN MODIFICATIONS

The currently approved site plan for Lot 7 is shown below:



The proposed amendment will adopt a new site plan for Lot 7 shown here:



TEXT AMENDMENT TO DEVELOPMENT STANDARDS

The following text is proposed to be added to the adopted *DEVELOPMENTAL STANDARDS FOR THE MAPLE LEAF CROSSING DEVELOPMENT AT THE MUNSTER BUSINESS COMPLEX PLANNED UNIT DEVELOPMENT*:

- VIII. *In addition to the above, the development of Lot 7 will be in accordance with the attached Exhibit D which includes the following:*
- Lot 7, Maple Leaf Crossing Master Site Plan prepared by Torrenga Engineering, Inc. dated 06.29.2022*
 - Lot 7, Maple Leaf Crossing Site Plan prepared by Torrenga Engineering, Inc. dated 06.29.2022*

Per the PUD ordinance and in keeping with the Munster zoning ordinance, development plans for all buildings and lots shall be submitted to the Plan Commission for approval. Karma Cigar Bar LLC represented by Attorney Joseph Svetanoff applied under PC Docket 22-010 for approval of the development plan, which was granted conditionally by the Plan Commission on July 12, 2022.

The plans show a four-story, 6400 square foot building with over 8,000 square feet of verandas and other outdoor spaces. The building will contain a piano bar and cigar lounge on the first floor, a private members-only cigar lounge on the 2nd floor with members' private humidor, and a cigar-party rental room on the 4th floor/roof. All floors will have indoor and outdoor spaces. The establishment will have a small menu, serve and sell cigars, and serve "high-end" bourbons and scotches. Customers must be age 21 or over. Memberships are available for a minimum spend of \$3500 annually. Proposed hours are 11 AM to 11 PM, Monday through Saturday and noon to 8 PM on Sunday.

The building is proposed to face east towards Calumet Avenue with service and delivery doors on the north facing the Hyatt Place hotel and a covered patio on the south side. A dumpster enclosure is

located to the west of the building. A landscaping plan has been prepared that shows the installation of foundation plantings around the building and dumpster enclosure, turf grass, and seven shade trees.

Analysis

PROPOSED USE


The Maple Leaf Crossing PUD development standards include a list of permitted uses under Section I.A. A cigar bar is not listed specifically as a permitted use, but Section I.A.34 permits *Such other uses as approved by the Plan Commission or Town Council.*


DESIGN STANDARDS

The standards for the Plan Commission's review are included in the Development Standards for the Maple Leaf Crossing Development document. That document states: *"The development standards for zoning district CD-4.A set forth in Zoning Ordinance 1788, Table 26-6.405.A-6 shall apply to matters not addressed in the Approved Development Plan and Development Standards."*

The proposed PUD amendment is seeking to supersede any of the previously adopted design standards with respect to Lot 7, but they are listed below for discussion. Certain standards are identified in the last column as being clearly met while others are identified as requiring a determination by the Plan Commission. Staff requests that the members review these items and determine whether they have met the intent of the zoning ordinance and the PUD ordinance adopted by the Town. Any recommended changes to the plans may be included as conditions of the approval.

Code / Ordinance	Section	Standard	Proposed	Meets Code
Ord. 1803	I.4	Height Regulations No building shall exceed four stories in height and a maximum of 60 feet.	Top of Parapet 51.5'	Yes
Ord. 1803	I.5	Screening of Mechanicals All mechanical equipment will be screened as to not be visible by those at street level on all sides of the building.	No mechanical equipment is visible.	Yes
Ord. 1803	III.2	Materials and Details Building materials shall consist primarily of glass, steel, brick, stone, and shipping containers for accents and small businesses as contemplated by the Development Agreement.	The façade is glass and stone.	Yes

Ord. 1803	III.3	Permitted Materials The following is a list of permitted materials, subject to Town approval during the review process: a. Painted aluminum or steel; b. Stainless steel; c. Solid brass, bronze, copper or pewter; d. Enamel coated steel; e. Textured or brushed stainless steel; f. Galvanized, sandblasted or etched metals; g. Natural stone; h. Full size brick; i. Painted or stained wood in limited amounts j. Porcelain, ceramic or glass	The façade is glass and stone.	Yes
Ord. 1803	III.4	Metals High quality is expected for all metal applications. Metal such as shop-painted aluminum and steel, stainless steel, solid brass, bronze, copper, pewter, or enamel coated steel may be used for hardware, trim and panels when well designed and detailed.		Yes
Ord. 1803	III.5	5. Natural Stone a. Granite, marble, limestone, slate and other natural stone materials may be used in building applications. Stone may be polished, unpolished, sandblasted, flamed, honed, split face or caved. Careful, craftsman-like attention to detail is required at all connections and transitions to other materials.	No stone is proposed.	Yes
Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Building Composition Each Principal Building must have an identifiable Base, Middle, & Cap	The building is broken up into distinct levels.	Yes
Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Main Entrance must be clearly distinguishable from other parts of the Building through the use of architectural design, elements, and treatment, including its detail and relief and use of architectural elements such as lintels, pediments, pilasters, columns, and other elements appropriate to the architectural style and details of the Building.	Main entrance is set on the southeast side of the building, within a forecourt, but is not visible from the parking area. 	Needs Plan Commission Determination.

Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Blank Walls Not Permitted at Frontage	Few ground floor windows on North facade. 	Needs Plan Commission Determination.
Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Facade Void Areas 20-60% of total Facade area, except for first Story of Shopfront Frontages, where it must be $\geq 70\%$ min	Not calculated but appears to exceed the maximum on the east facade.	Needs Plan Commission Determination.
Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Facade Openings Windows and/or doors spaced ≤ 20 ft. apart. Square or vertical in proportion except for transoms and sidelights. Windows in the Facade and 1st and 2nd Lot Layers shall be single- or double-sashed, casement, awning, or fixed types. In Stories above first, Facade openings must be $\leq 50\%$ of total Facade area.	Not calculated but appears to exceed the maximum on the east facade.	Needs Plan Commission Determination.
Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Window Alignment Upper floor windows and other features must be aligned with those of first floor.	Aligned.	Yes.
Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Facade Articulation A Facade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Facade into two segments each of which includes a separate Main Entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of Wall material or Wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Facade elements; and (2) is composed with a defined center and edges.	North facade differentiated by building materials on upper floor, but ground floor is not differentiated.	Needs Plan Commission Determination
Zoning Ordinance	TABLE 26-6.405.A-6 DISTRICT STANDARDS	Roof Type & Roof Pitch Permitted: Flat, Hip, Gable	Flat	Yes

PARKING

The 358 parking spaces within the Maple Leaf Crossing PUD are shared among all users. At the time of approval of the PUD, a parking study was submitted which calculated that 350 total shared spaces were required for the development. For Lot 7, developed as a 2710 square foot pub, 40 parking spaces are required.

A revised study was provided in connection with the PUD amendment to permit the cigar bar. The study indicates that 52 spaces (12 additional) will be required for the proposed cigar bar. The study also reduced the number of spaces required for the hotel from 86 to 75 and the number of spaces required for the proposed restaurant from 56 to 32, which is half the number that would be required by the Munster zoning ordinance.

With these modifications, the number of parking spaces required for the entire development is calculated to be 364. An additional analysis based on anticipated weekday peak parking demand by time of day indicates that the largest overlap between users occurs between 12:00 PM and 2:00 PM during which 295 spaces will be required. Based on this analysis, the 358 spaces within the Maple Leaf Crossing PUD will be sufficient to accommodate the proposed cigar bar.

Staff recommends that the overall parking capacity be monitored going forward to ensure that the development provides sufficient parking onsite.

A bike parking area with seven spaces is provided onsite west of the building.

MOTION

The Plan Commission may wish to consider the following motion:

Move to forward a favorable recommendation to the Town Council to approve PC Docket No. 22-013 amending the Maple Leaf Crossing Planned Unit Development to permit a restaurant and cigar lounge on Lot 7 in the Maple Leaf Crossing PUD at 9410-9470 Calumet Avenue.

EXHIBIT A

DEVELOPMENTAL STANDARDS FOR THE MAPLE LEAF CROSSING DEVELOPMENT AT THE MUNSTER BUSINESS COMPLEX PLANNED UNIT DEVELOPMENT

AMENDED [DATE]

This document sets forth the developmental standards for the Planned Unit Development known as Maple Leaf Crossing, with street addresses 9352-9482 Calumet Avenue.

I. Planned Unit Development

Maple Leaf Crossing is hereby designated as a Planned Unit Development Special District (“SD-PUD”) under Ordinance No. 1788.

A. Permitted uses shall include:

1. Hotel
2. Professional Office
3. Medical or Dental Office or Clinic
4. Alcoholic Beverage Retail Sales
5. Alcoholic Beverage- Serving Establishment
6. Bar or Tavern
7. Brewpub
8. Craftsman Establishment
9. Dry Cleaning without drive-through
10. Entertainment Facility
11. Financial Services without Drive-through
12. Hair, skin, nail care or day spa
13. Open air market, including container shops
14. Open Front or Open Lot Retail, including container shops
15. Pharmacy
16. Restaurant, and Restaurant with outdoor dining
17. Tailor or Seamstress Shop
18. Tasting Room
19. Theater or Performing Arts Venue
20. Ticket Office
21. Veterinary Office Clinic or Hospital

EXHIBIT A

22. Warehouse/ retail
23. Civic space
24. Brewery
25. Distillery
26. Microbrewery/MicroDistillery/ Microwinery/ Nanobrewery
27. Winery
28. Food/ Refreshment Stand
29. Garden
30. Gift Shop
31. Massage Services by Indiana licensed masseuse, accessory to Spa or Salon
32. Parking Area
33. Patio
34. Such other uses as approved by the Plan Commission or Town Council

- B. Temporary buildings for construction purposes for a period not to exceed the duration of the construction.

2. Use Conditions and Restrictions

A. Hours. Maple Leaf Crossing hours of operation shall be seven days per week as allowed for any like businesses in Commercial Districts in the Town of Munster.

3. Yards

Yards, roadways, walkways, parking and greenspace shall be as set forth in the Approved Development Plan attached hereto as Exhibit A and incorporated herein.

4. Height Regulations

No building shall exceed four stories in height and a maximum of 60 feet.

5. Screening of Mechanicals

All mechanical equipment will be screened as to not be visible by those at street level on all sides of the building.

6. Off-Street Parking Facilities

Off-street parking shall include approximately 358 parking spaces as set forth in the Approved Development Plan.

7. Lot Coverage

EXHIBIT A

Green space shall exceed 7.5% of the total area as set forth in the Approved Development Plan.

8. Pedestrian and Bicycle Access

Sidewalks and bicycle paths shall be located within and upon Maple Leaf Crossing as set forth in the Approved Development Plan.

II. Formula Business Regulations

Any Formula Business that desires to be located within the Planned Unit Development must obtain a Special Use permit from the Board of Zoning Appeals. A "Formula Business" is defined as a restaurant or retail establishment which is required by contractual or other arrangements to operate with standardized menus, ingredients, architecture, décor, uniforms, appearance or signage.

The following findings, at a minimum, must be made prior to the issuance of a Special Use Permit for a Formula Business:

1. The Formula Business will be compatible with existing surrounding uses, and has been designed and will be operative in a non-obtrusive manner to preserve the community's distinctive character and ambiance;
2. The Formula Business will not result in an over-concentration of formula establishments in its immediate vicinity or the Town as a whole;
3. The Formula Business will promote diversity and variety to assure a balanced mix of commercial use available to serve both resident and visitor populations;
4. The Formula Business will contribute to an appropriate balance of local, regional or national-based businesses in the community;
5. The Formula Business will be mutually beneficial to and will enhance the economic health of surrounding uses in the district; and,
6. The Formula Business will contribute to an appropriate balance of small, medium and large-sized businesses in the community.

III. Building and Material Requirements

1. Building Design

All building designs and lot plans shall be submitted to the Plan Commission for building site plan approval in accordance with Section 26-6.804.G of the Town's Code of Ordinances. The overall image should be well coordinated, fully integrating components such as entries, displays and signage. Buildings shall comply with the

EXHIBIT A

Approved Development Plan and the Development Standards for the Maple Leaf Crossing Planned Unit Development.

2. Materials and Details

Building materials shall consist primarily of glass, steel, brick, stone, and shipping containers for accents and small businesses as contemplated by the Development Agreement. Proposed materials and colors shall be submitted on a color material sample as a component of building site plan approval application in accordance with Section 26-6.804.G of the Town's Code of Ordinances..

3. Permitted Materials

The following is a list of permitted materials, subject to Town approval during the review process:

- a. Painted aluminum or steel;
- b. Stainless steel;
- c. Solid brass, bronze, copper or pewter;
- d. Enamel coated steel;
- e. Textured or brushed stainless steel;
- f. Galvanized, sandblasted or etched metals;
- g. Natural stone;
- h. Full size brick;
- i. Painted or stained wood in limited amounts
- j. Porcelain, ceramic or glass

4. Metals

High quality is expected for all metal applications. Metal such as shop-painted aluminum and steel, stainless steel, solid brass, bronze, copper, pewter, or enamel coated steel may be used for hardware, trim and panels when well designed and detailed.

- a. Lap joints and seams must be even and straight and concealed when possible. Outside corners are to be mitered or continuous break shaped.
- b. Fabrication must be either heavy gauge material or thinner gauge material shop laminated to solid backing. In no case are oil canning (resulting from light reflection from an uneven or buckled surface), scratches, warps, dents, occlusions, visible seams or other imperfections allowed.
- c. Sealants on natural metals are required to prevent tarnishing.

EXHIBIT A

- d. Textured or brushed stainless steel, galvanized, sandblasted and etched metals are encouraged in creative applications. Unique treatments such as patina, rusted, etched and imprinted metals will be considered for special design objectives.
- e. Polished metals should be solid, not plated and limited to accent trim.

5. Natural Stone

- a. Granite, marble, limestone, slate and other natural stone materials may be used in building applications. Stone may be polished, unpolished, sandblasted, flamed, honed, split face or caved. Careful, craftsman-like attention to detail is required at all connections and transitions to other materials.
- b. Edge details must prevent visible unfinished edges. Exposed edges must be quirk mitered, chamfered or polished to match adjacent surface finish.
- c. The transition between stone and adjoining materials must be defined by use of metal reveals.
- d. Stone use as a paving material must be flush when meeting other flooring materials.
- e. Natural stone must be protected against staining and discoloration by means of sealers appropriate to the material.

6. Wood

- a. Painted or stained wood may be used in many design applications, such as window frames, decorative trim or molding, and for solid areas, such as decorative bulkheads. In some cases, it may be used for larger architectural elements, such as columns and entablatures. Wood paneling and plank construction are not acceptable unless presented in a highly imaginative concept and approved by the Town.
 - 1. Wood used in the construction of the building must be kiln dried, mill quality, or marine grade hardwood and must meet local frame spread requirements.
 - 2. Painted wood must have a shop quality enamel finish.
 - 3. Wood without a paint finish must receive a clear, preservative sealant.
 - 4. Extensive use of natural wood finishes is discouraged.

7. Tile

- a. Tile may be used in diverse applications. Its use is encouraged to introduce light, decorative texture or graphic quality to a storefront.
 - 1. Porcelain ceramic or glass tiles in glazed or natural finishes may be used as accents and in limited field applications. Patterns used over large areas are expected to have a sophisticated, well executed design concept.

EXHIBIT A

2. Small and intricate mosaic tile patterns may be utilized for detail and accent only.
3. All tiles must be carefully detailed at outside corners with bull nose edges or special corner trims. Lapped or butt joints are not permitted.

8. Glazing

- a. The creative use of glazing and other building front design elements is encouraged and must be carefully detailed.
 1. Large panes
 2. All glass
 3. Stained, leaded
 4. Glass block
 5. In frameless assemblies,
 6. Aluminum, metal or wood building
 7. All aluminum framing
 8. Tinted glass is permitted, however, reflective glass (including mirroring) is not permitted.

9. Lighting

- a. Lighting fixtures shall be high quality commercial grade. The fixtures shall be constructed and installed to be glare free and shall comply with all applicable code requirements.
- b. Recessed or appropriately styled surface mounted halogen incandescent, ceramic metal halide, or solid state (LED) sources are permitted. 2077 to 3000 k is the required color temperature range of these sources, with a minimum Color Rendering Index (CRI) of 80.
- c. Fluorescent fixtures are not permitted.
- d. The lighting plan shall be of the design and layout set forth in the Approved Development Plan.
- e. A detailed lighting plan for each building and lot shall be submitted for Plan Commission approval as a component of a site plan approval application in accordance with the procedure of Section 26-6.804.G of the Town's Code of Ordinances and the standards of the Development Plan and Development Standards.

10. Prohibited Materials

1. The following is a list of prohibited materials. In rare instances, special consideration may be given for the use of a prohibited material if its application is highly original, creative and essential to the theme

EXHIBIT A

or design concept of the building front. Exceptions may be granted by the Plan Commission solely at its discretion as a component of a building site plan approval application in accordance with Section 26-6.804.G of the Town's Code of Ordinances.: Plastic laminates, except for high pressure laminates such as Prodema and Trespa or similar.

2. Glossy, or large expanses of acrylic or Plexiglass
3. Pegboard
4. Mirror
5. Mirrored glass (but not tinted glass)
6. Vinyl, fabric or paper
7. Plywood or particle board
8. Sheet or modular vinyl
9. Luminous ceiling, including "egg crate"
10. Shingles, shakes, rustic siding
11. Drywall
12. Stucco, exterior insulation finishing system (EIFS) or similar products

IV. Signage Design Criteria

Signage shall be compliant with §26-6.701 unless a variance is obtained from the Board of Zoning Appeals.

V. Landscape Design Criteria

Landscaping for Maple Leaf Crossing shall generally be in accordance with the Landscaping Plan attached hereto as Exhibit C and incorporated herein. Other Developmental Standards

VI. Other Development Standards

The Approved Development Plan and Development Standards shall govern the development of Maple Leaf Crossing PUD. The development standards for zoning district CD-4.A set forth in Zoning Ordinance 1788, Table 26-6.405.A-6 shall apply to matters not addressed in the Approved Development Plan and Development Standards.

VII. All construction on the building sites on lots 1 through 7 of the Approved Development Plan are subject to approval by the Munster Plan Commission in accordance with the procedure set forth in Section 26-6.804.G of the Town's Code of Ordinances according to the terms and standards of the Approved Development Plan and Development Standards for Maple Leaf Crossing PUD or section VI above, if applicable.

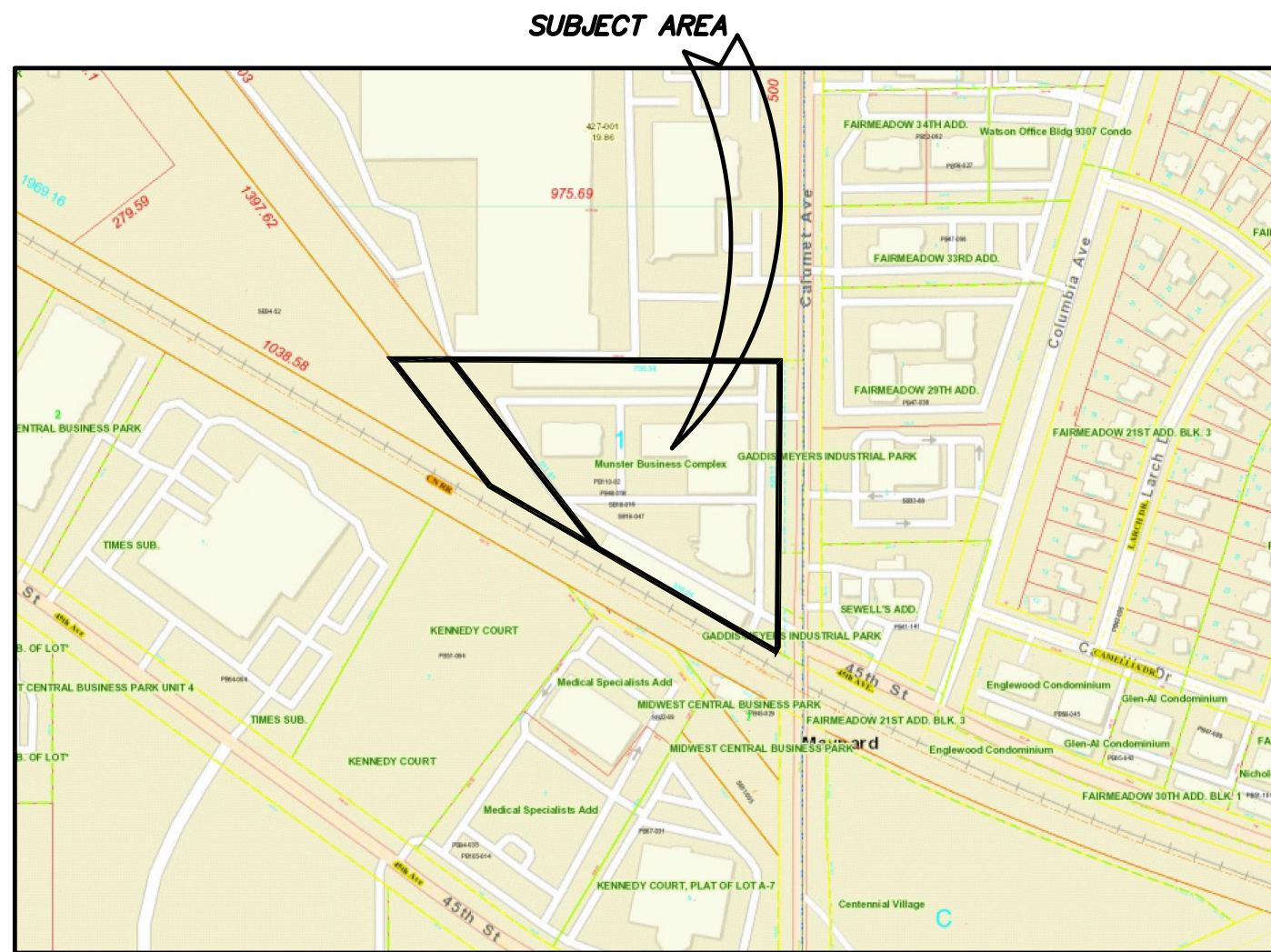
VIII. In addition to the above, the development of Lot 7 will be in accordance with the attached Exhibit D which includes the following:

- a. Lot 7, Maple Leaf Crossing Master Site Plan prepared by Torrenga Engineering, Inc. dated 06.29.2022

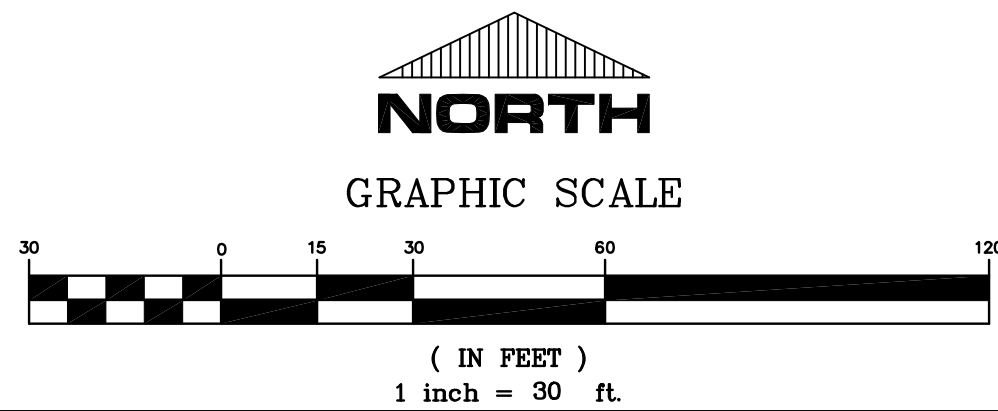
EXHIBIT A

- b. Lot 7, Maple Leaf Crossing Site Plan prepared by Torrenga Engineering, Inc.
dated 06.29.2022

FILE NO:Z:\2021-5066 Maple Leaf - Lot 7.dwg 5/6/2022 9:56:47 AM CDT



VICINITY MAP
NOT TO SCALE



CANADIAN NATIONAL RAILROAD

CALUMET AVENUE

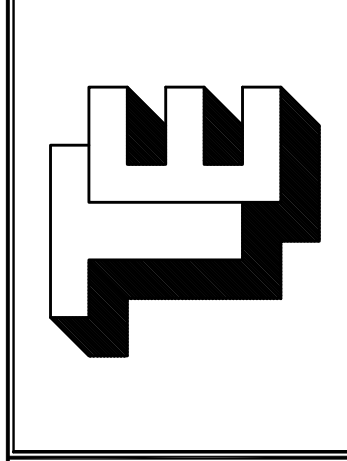
EAST LINE OF SEC. 25-36-10

CLIENT:
Dhiren Shah
Karma Cigar Bar
850 W. 81st Ave
Merrillville, IN 46410
JOB NO: 2021-5066
SCALE: 1" = 30'

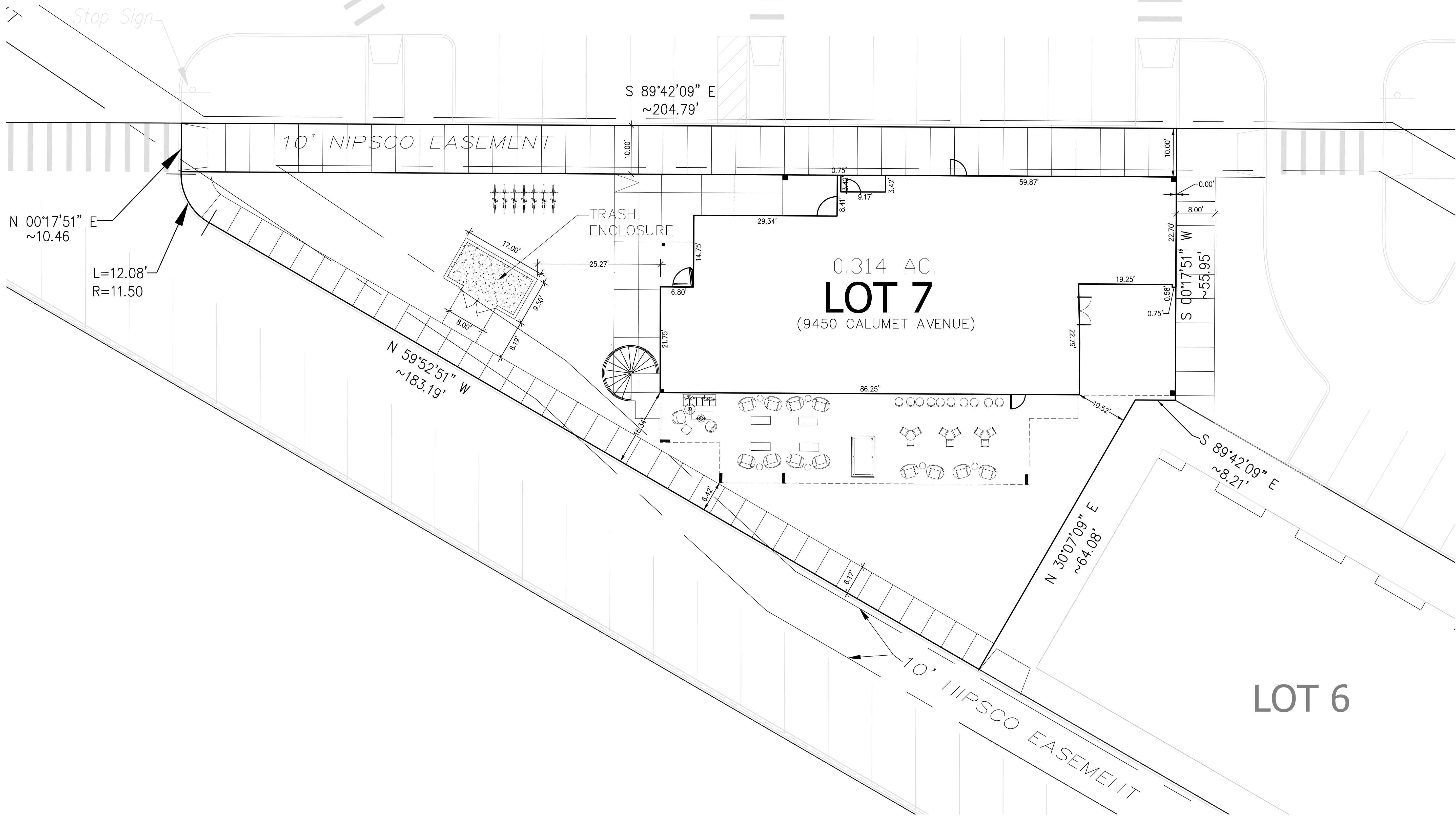
REVISIONS:
06-29-2022
DATE: 05-06-2022

LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO., INDIANA
MASTER SITE PLAN

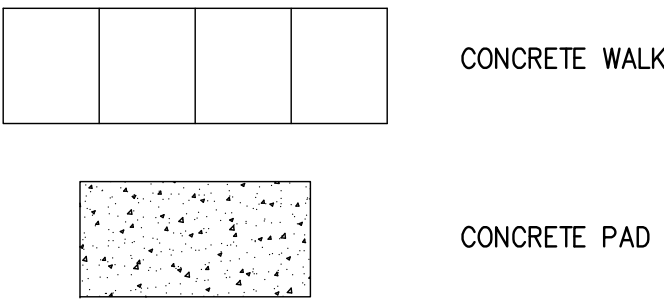
TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrengea.com



FILE NO: Z:\2021-5066 Maple Leaf - Lot 7\dwg\2021-5066.dwg 5/6/2022 9:56:47 AM CDT

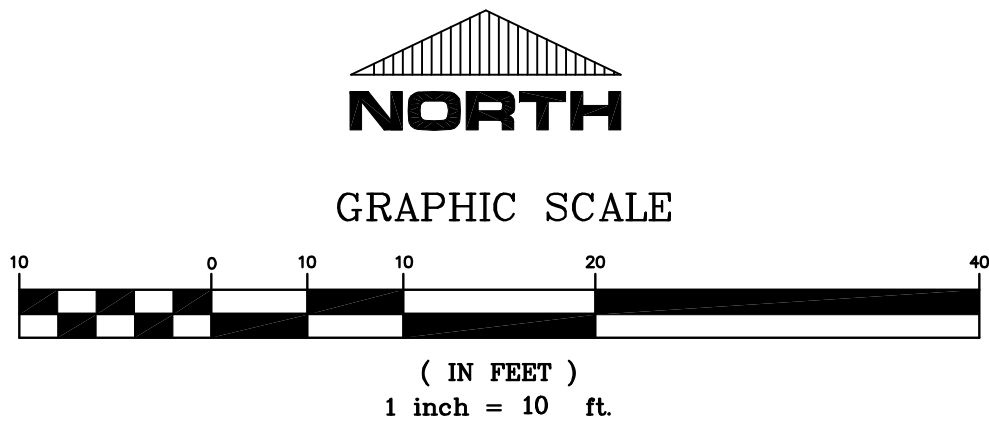


LEGEND



NOTES:

- 1: TOTAL SITE AREA : 13,717.83± SF. (0.314± ACRES)
- 2: IMPERVIOUS AREA : 10,012.65± SF. (0.229± ACRES)
- 3: SEE ARCHITECTUAL PLAN FOR ACTUAL DIMENSIONS AND DETAILS OF THE PROPOSED BUILDING AND DUMPSTER ENCLOSURE



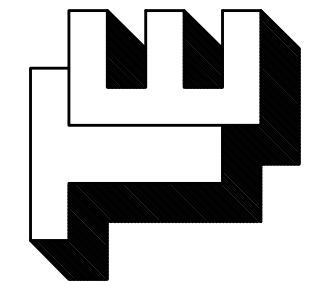
CLIENT:
Dhiren Shah
Karma Cigar Bar
850 W. 81st Ave.
Merrillville, IN 46410

JOB NO: 2021-5066
SCALE: 1" = 10'

06-29-2022
REVISIONS:
DATE: 05-06-2022

LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO., INDIANA
SITE PLAN

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrengea.com



SHEET SET

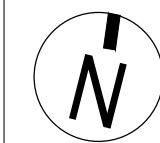
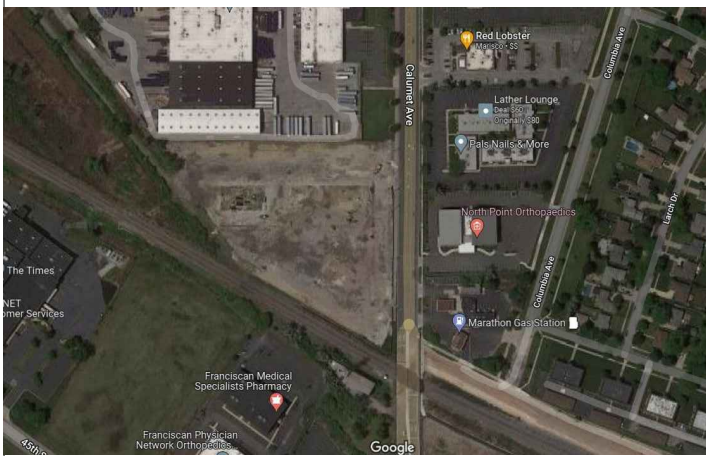
ARCHITECTURE

T-1.0	COVER SHEET	2
SP-01	SITE PLAN	
SP-02	DETAILS	
L-1.0	LANDSCAPE PLAN	4
A-1.1	FIRST FLOOR PLAN	
A-1.2	SECOND FLOOR PLAN	
A-1.3	THIRD FLOOR PLAN	4
A-1.4	ROOF PLAN	
A-2.0	EXTERIOR ELEVATIONS	5
A-2.1	EXTERIOR ELEVATIONS	
A5.0	WALL SECTION	

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LOCATION MAP



APPLICABLE CODES

Building Codes

General Administrative Rules (675 IAC 12)

International Building Code, 2012 w/ Indiana Amendments (675 IAC 13)

Accessible & Usable Buildings & Facilities (ANSI A17.1; ASCE-7-2005)

International Residential Code, 2003 w/ Indiana Amendments (675 IAC 14)

Industrialized Building Systems - Indiana Mobile Structures Code (675 IAC 15)

International Plumbing Code, 2012 w/ Indiana Amendments (675 IAC 16)

National Electrical Code, 2008 w/ Indiana Amendments (675 IAC 17)

International Mechanical Code, 2012 w/ Indiana Amendments (675 IAC 18)

Indiana Energy Conservation Code, 2010 (ASHRAE 90.1, 2007 edition, 675 IAC 19)

International Fire Code, 2012 w/ Indiana Amendments (675 IAC 22)

Supplementary Fire Safety Rules (675 IAC 24)

International Fuel Gas Code, 2012 w/ Indiana Amendments (675 IAC 25)

Indiana Visitability Rule (675 IAC 27)

karma

— CIGAR BAR —

KARMA BISTRO & CIGAR LOUNGE

RENDERING



NEW CONSTRUCTION

ENERGY CODE STATEMENT

I CERTIFY THAT I AM THE REGISTERED ENERGY PROFESSIONAL (REP) FOR THIS PROJECT. I ALSO CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR LOT 7, MAPLE LEAF CROSSING 9450 CALUMET AVE, MUNSTER, LAKE CO, INDIANA, COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, OF THE ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF MUNSTER, AS EFFECTIVE JANUARY 2015

PROFESSIONAL DESIGN FIRM
ARCHITECT CORPORATION
LIC. # 184.006724
STUDIO SILVER INC.

SEAL:

MY LIC. EXPIRES NOV. 2022
MY DESIGN FIRM LIC. EXPIRES APR. 2021

ARCHITECT'S CERTIFICATION STATEMENT

THIS IS TO CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS AND THAT THESE DRAWINGS, SHEETS T1.0 THROUGH E-0.0, DATED MAY 2022, WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL BUILDING AND ZONING REGULATIONS FOR THE VILLAGE OF MUNSTER, LAKE CO. IN

PROFESSIONAL DESIGN FIRM
ARCHITECT CORPORATION
LIC. # 184.006724
STUDIO SILVER INC.

SEAL:

MY LIC. EXPIRES NOV. 2022
MY DESIGN FIRM LIC. EXPIRES APR. 2021

Abbreviations and Definitions

WHERE ADDITIONAL ABBREVIATIONS, OR WORD DEFINITIONS, ARE DEFINED BY ANOTHER DISCIPLINE AND A CONFLICT OCCURS, THEIR DEFINITION SHALL TAKE PRECEDENCE OVER THE FOLLOWING.

NECESSARY: WORK NEEDED TO COMPLETE THE WORK. TO: "MAKE IT OPERATIONAL."

REQUIRED: WORK NEEDED TO BE IN COMPLIANCE WITH BUILDING CODE, GOVERNING CODE, OR JURISDICTION AGENCY

PROVIDE: RESPONSIBLE FOR PURCHASE, DELIVERY, RECEIVING, INSPECTION, STORAGE, PREPARATION, AND INSTALLATION OF ITEM(S).

FURNISH: RESPONSIBLE FOR PURCHASE AND DELIVERY OF ITEM(S).

INSTALL: RESPONSIBLE FOR RECEIVING, INSPECTION, STORAGE, PREPARATION AND INSTALLATION OF ITEM(S).

& or L or @ # or S.F. # +/- or	And Angle Square Feet Pound(s) or Number Plus Minus	BRKMTL. B.U.R. C or CH. C.F. CAB. CB or C.B. C/C or C.C. CCTV or C.C.T.V. Cer. CFS. CL or C.L. or C. CLG. or CLNG. CMU or C.M.U. C.O. COL. COMB. COMP. or COMPT. CONST. CONT. CORR. C.W. or C.J. CLR.	Break Metal Built Up Roofing Channel Communication Features Cabinet Cement Board Closed Circuit Television Ceramic Clear Floor Space Centerline Ceiling Concrete Masonry Unit Closed Opening Column Combination or Combine Compacted Comp. or COMPT. CONCT. CONSTRUCTION Continuous Corridor Cold Water Control Joint Clear	D.F. DIV. DR. or DRN. DS. or D.S. DWG(S). E or E. EA. E.J. or E.J. or E.J. E.L. or E.L. ELEC. or ELECT. ELEV. EMER. or EMERG. EQ. EQUIP. ERD. EWC or E.W.C. E.W. EXIST. EXP. EXT.	Drinking Fountain Division Drain Downslope Drawing(s) East Each Expansion Joint Elevation Electrical Elevator Emergency Enclosure Engineer Electrical Panel Equipment Existing Emergency Roof Drain Electrical Water Cooler Each Way Expanding Exterior	FL. or FLR. FLUOR. FRM. F.R. F.R.C. F.R.T. F.R.P. FTG. FUT. or FUTR. FV. or F.V.	Floor Fluorescent Frame Fire Resistant Fiber reinforced concrete Fire Retardant Treated Fiber Reinforced Plastic Foot (feet) Footing Future Field Verify	HGT. OR HT. HM. OR H.M. HORIZ. H.P. HTG. HR. or Hr. HVAC or H.V.A.C. H.W.	Height Janitor's Closet Janitor(al) Joint	MAS. MAX. MED. MDO or M.D.O. MECH. MFR. or MANUF. MIN. MISC. M.O. MR. or M.R. MTD. MTG. MTL. MULL.	Masonry Maximum Medium Density Overlay Mechanical Manufacturer Man Hole Minimum Miscellaneous Masonry Opening Moisture Resistant Mounted Mullion	OPNG. OPP. PART Partition PL. P. LAM or P.L. PLAS. PLUG. PLWD. or PLYWD. PNL. PORC. PR. P.S.F. P.T. POST. TEN. PTN. or PARTN. PWR.	Opening Opposite Particle, Partial or Plate Partition Plaster Plaster Plumbing Plywood Panel Porcelain Pair P.S.F. Pounds per Square P.T. Pressure Treated Post Tensioned Partition Power	REQ'S. RES. RES. RIM. R.O. R.S. S or S. SCHED or SCHEDL. SECT. SHT. SIM. S or S. SCHED or SCHEDL. SHT. SIM. SM. or S.M. SPEC. SQ. SS OR S.S. STD. ST. STOR. STRUCT. SUSP. SYM.	Requirements Resilient Resilient Room Rough Opening Roof Scupper South Schedule Section Sheet Similar Schedule Section Sheet Similar Surface Mounted Specification Square Stainless Steel Standard Steel Storage Structural Suspended Symmetrical	TEMP. T&B T&G THRU. TS or T.S. TV OR T.V. TYP. U.N.O. UR. or URNL. VAR. VCT or V.C.T. VB or VB. or V.B. VERT. Vertical VIF. or V.I.F.	Temporary or Tempered Top and Bottom Tongue and Groove Through Tube Steel Television Typical Unless Noted Otherwise Urinal Varies/ Variable Vinyl Composition Tile Vertical Bracing Verify in Field W or W. W/O W.D. W.F. W/W W/P W.M. WWF or W.W.F. WWM or W.W.M. WSCOT. WT. W.V.
--------------------------------	---	---	---	---	---	--	--	---	---	--	--	--	---	--	---	---	--

Index to Drawing Symbols

REFER TO XXXX REFER TO XXXX ALIGNMENT SIDE ID. NUMBER	MATCH LINE	STRUCTURAL GRID
REFER TO SHEET	REFERENCE TAG (GENERAL/TYPICAL USE)	ALIGN CONSTRUCTION
SECTION REFERENCE	DETAIL REFERENCE (AT FLOOR OR GRADE)	ELEVATION, WORK POINT
DETAIL REFERENCE (ABOVE FLOOR OR GRADE)	ELEVATION REFERENCE (INTERIOR and/or EXTERIOR)	SPOT ELEVATION
ELEVATION REFERENCE (INTERIOR and/or EXTERIOR)	ELEVATION REFERENCE (INTERIOR ONLY)	KEY NOTE
ENLARGED REFERENCE	REVISION CLOUD & DELTA	ROOM IDENTIFICATION
WINDOW IDENTIFICATION	DOOR IDENTIFICATION	FINISH IDENTIFICATION
CEILING HEIGHT/FINISH, ACCESSORY/FURNITURE, OR MILLWORK REFERENCE		

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ARCHITECTS + PLANNERS

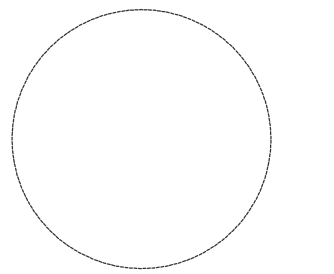
161 N. CLARK ST. SUITE 1600 CHICAGO IL
PH. 312.785.1516

karma

— CIGAR BAR —

ARCHITECT'S CERTIFICATION

I hereby certify that these plans were prepared under my direct supervision and to the best of my professional knowledge they conform to the building code of the



Vaishali Kalyarmal, A.I.A.
Illinois License 001-022289
Expiration 11-2022

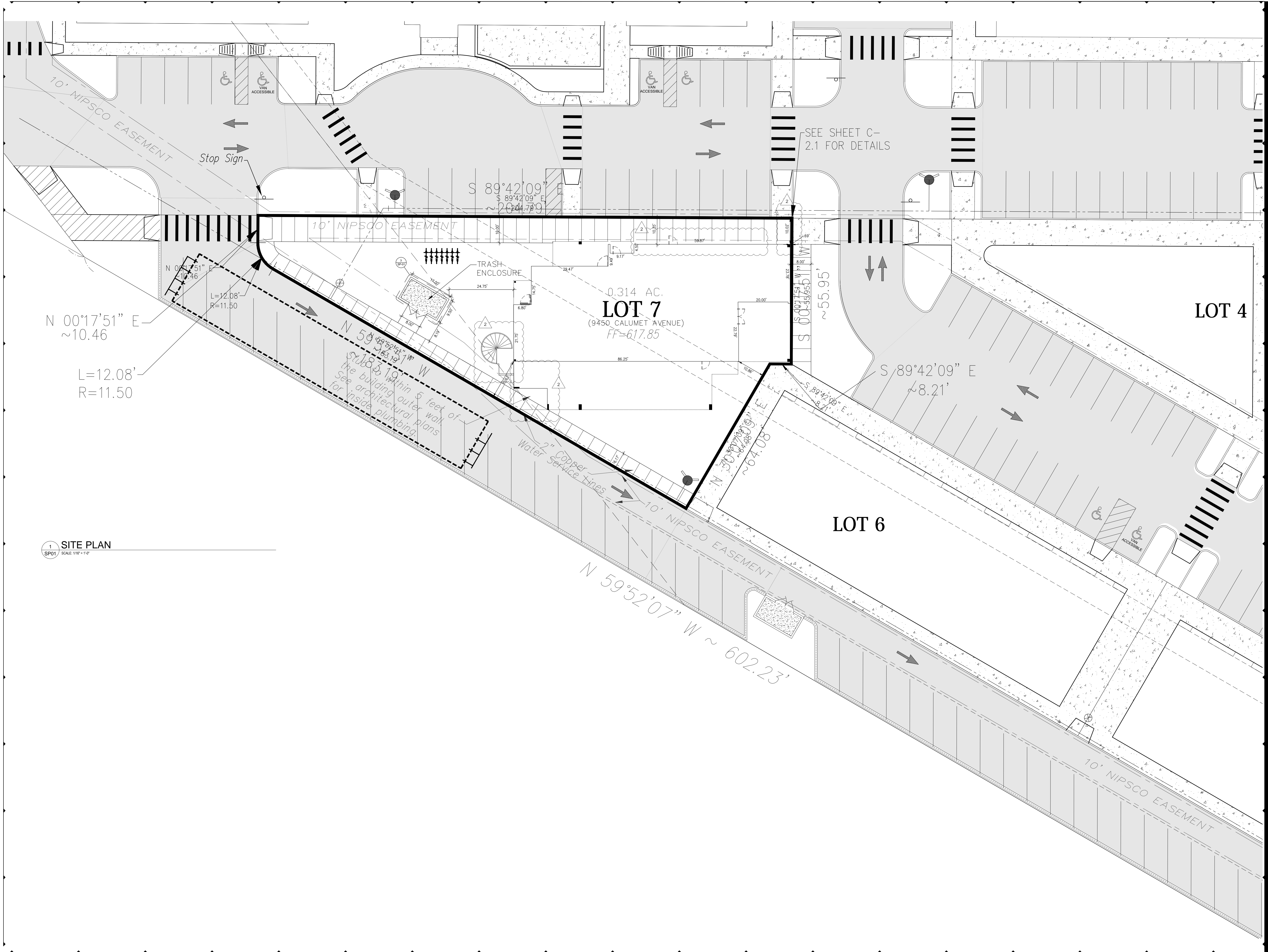
REVISIONS

1	Prelim	05.19.2022
2	REVISION	06.29.2022
3	REVISION	07.11.2022
4	REVISION	07.29.2022
5	REVISION	08.04.2022
6		

KARMA BISTRO & CIGAR LOUNGE
LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

COVER SHEET

T1.0



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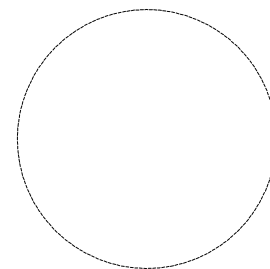
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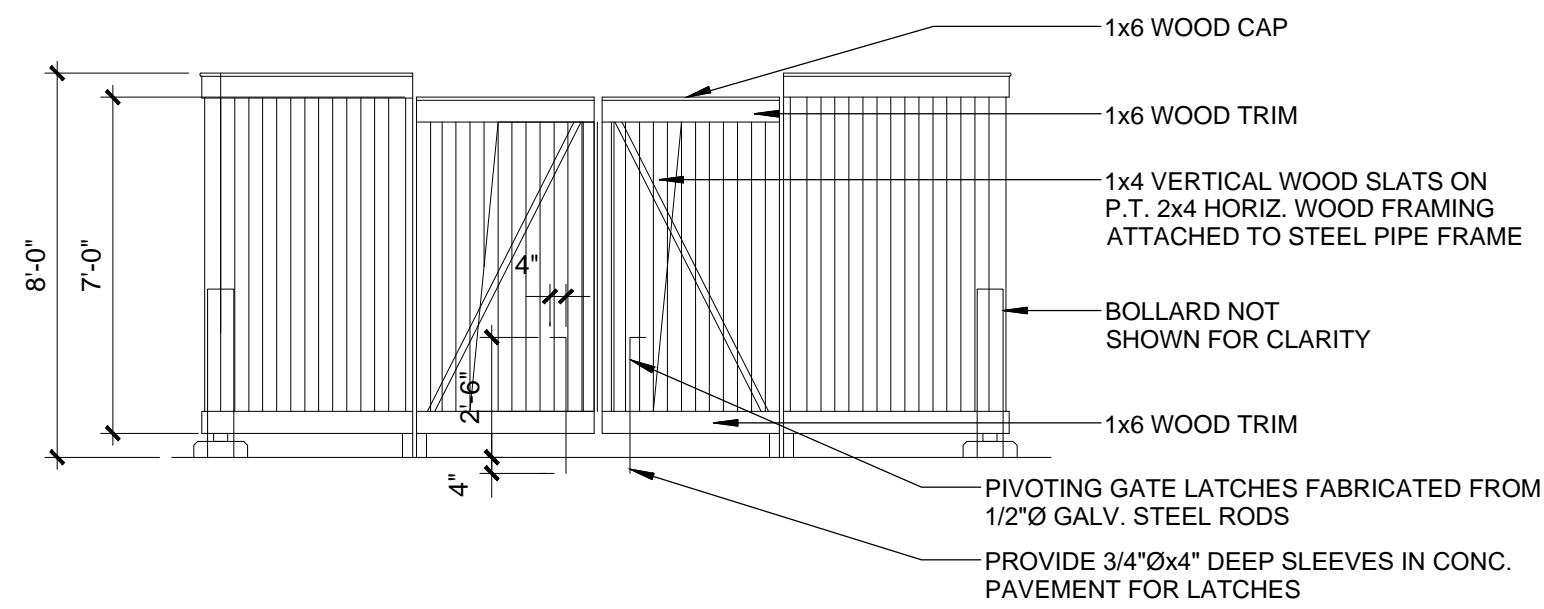
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9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

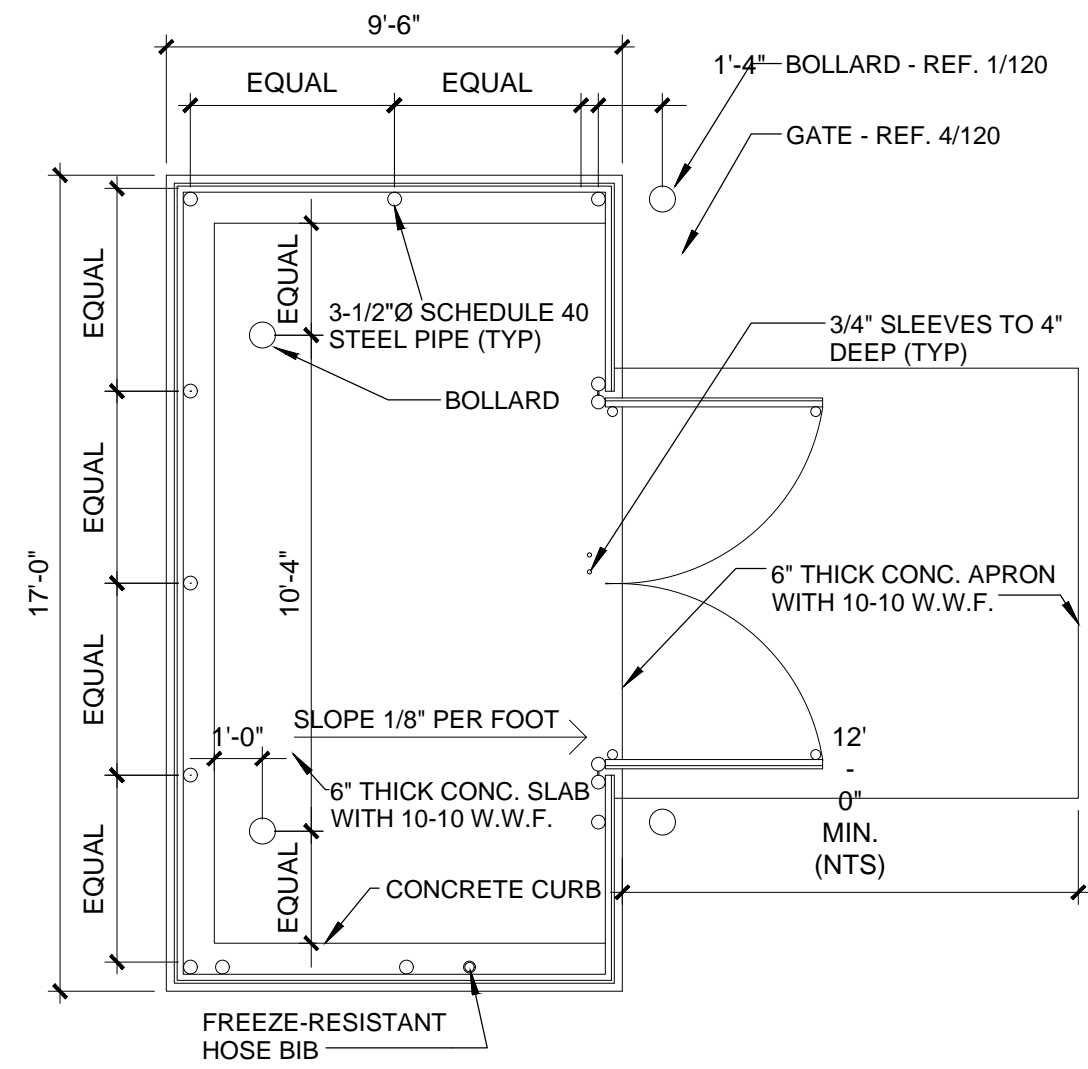
SITE PLAN

SP-01



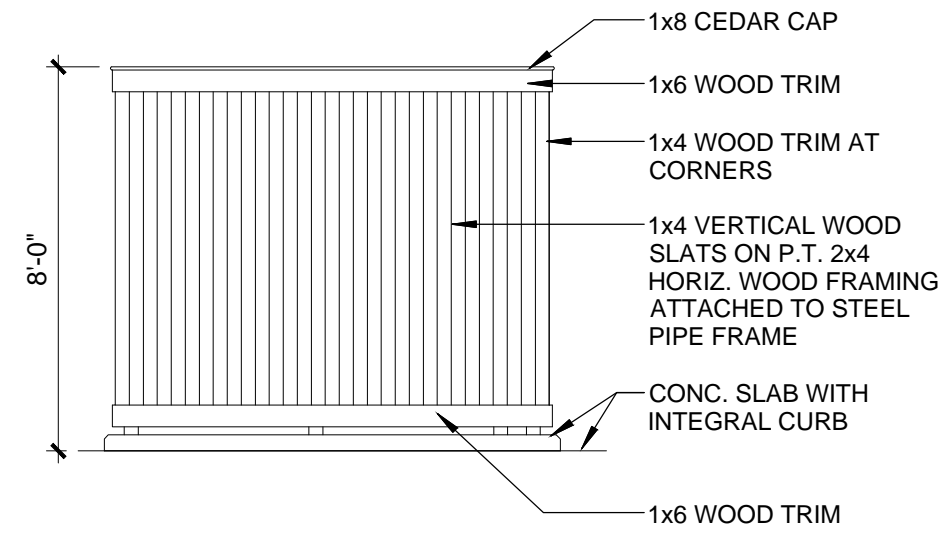
TRASH ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"

3
SP01



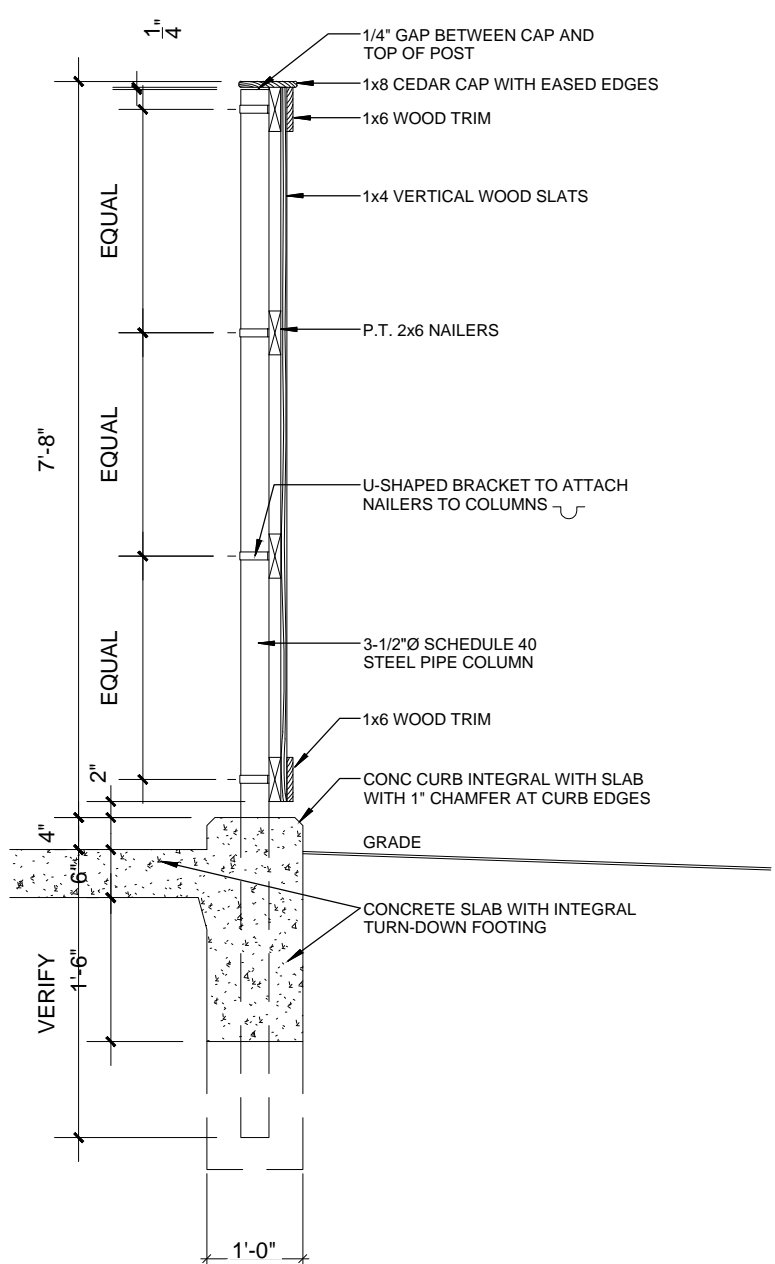
TRASH ENCLOSURE PLAN
1/4" = 1'-0"

4
SP01



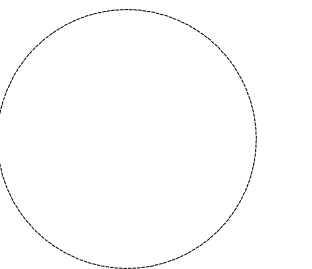
TRASH ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"

5
SP01



TRASH ENCLOSURE SECTION
1/2" = 1'-0"

6
SP01



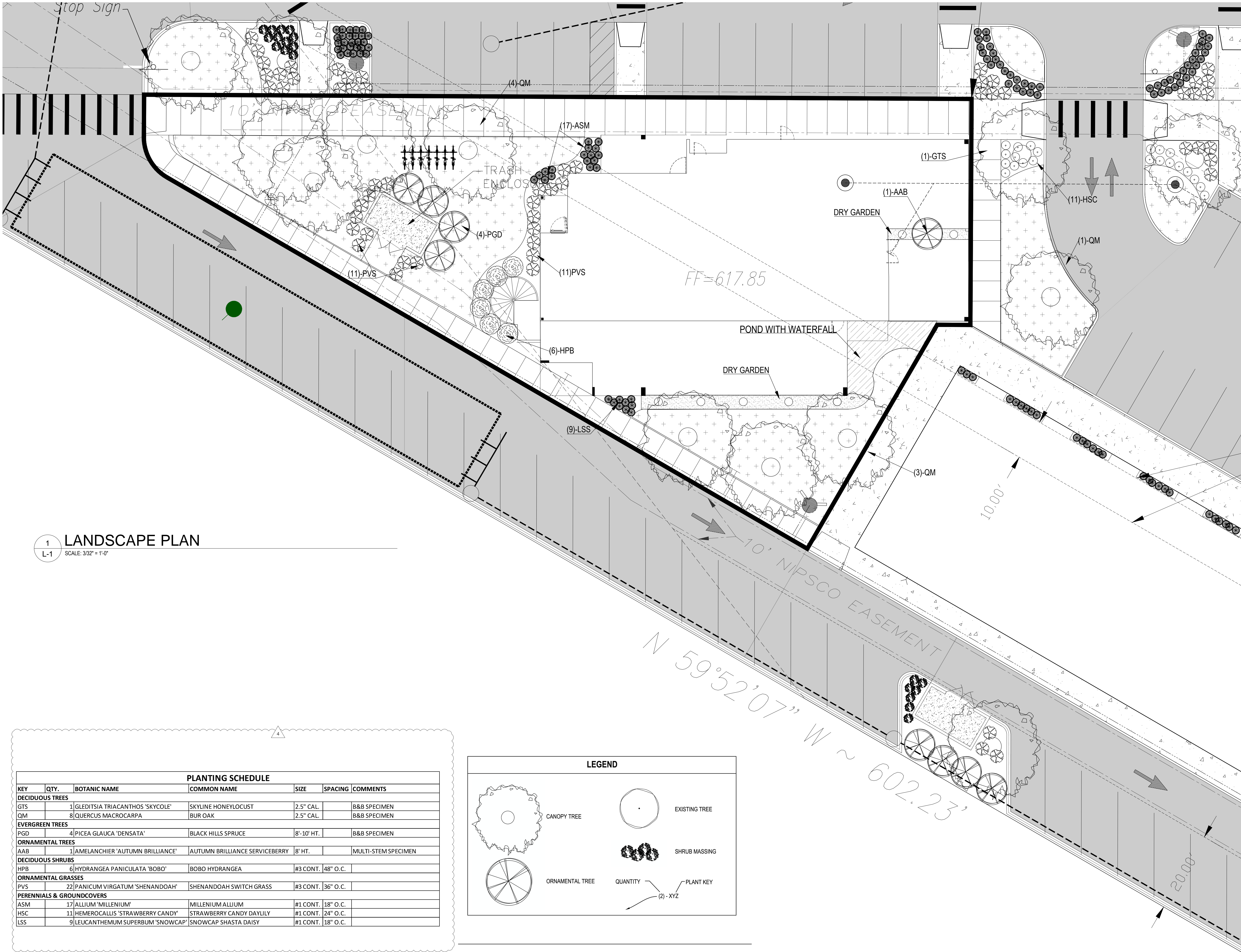
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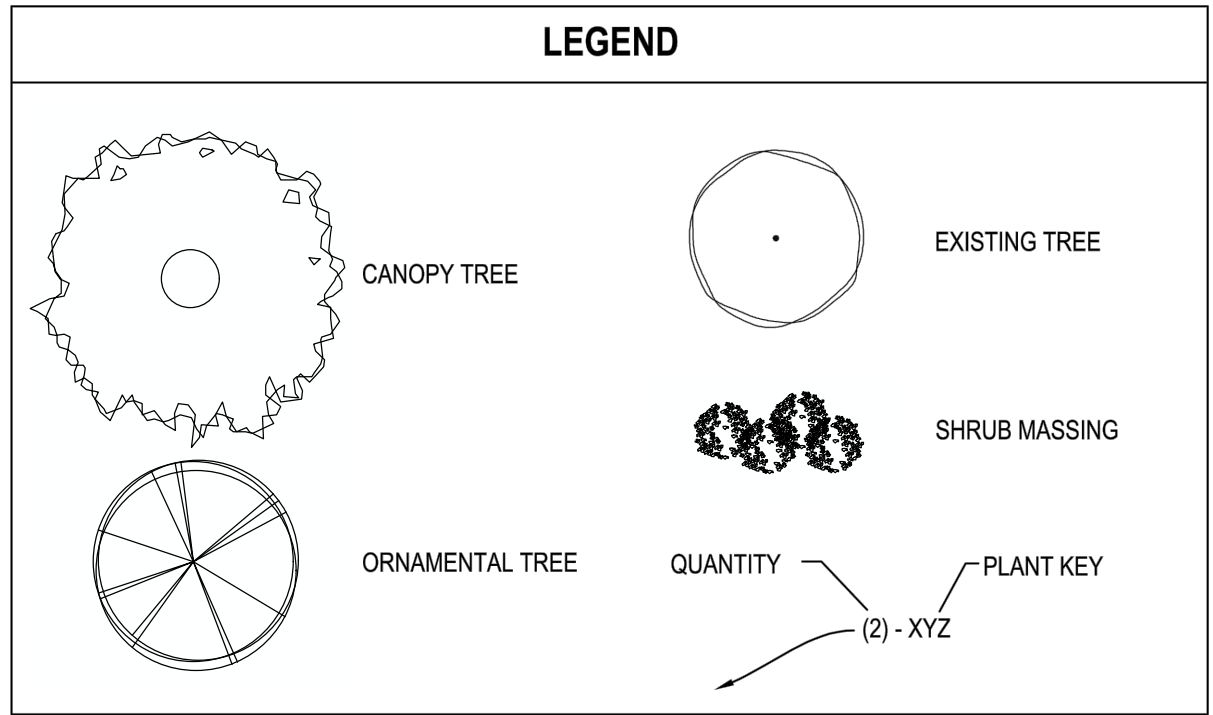
SITE PLAN
DETAILS

SP-02



1 LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"

PLANTING SCHEDULE						
KEY	QTY.	BOTANIC NAME	COMMON NAME	SIZE	SPACING	COMMENTS
DECIDUOUS TREES						
GTS	1	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5" CAL.		B&B SPECIMEN
QM	8	QUERCUS MACROCARPA	BUR OAK	2.5" CAL.		B&B SPECIMEN
EVERGREEN TREES						
PGD	4	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	8'-10' HT.		B&B SPECIMEN
ORNAMENTAL TREES						
AAB	1	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8' HT.		MULTI-STEM SPECIMEN
DECIDUOUS SHRUBS						
HPB	6	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	#3 CONT. 48" O.C.		
ORNAMENTAL GRASSES						
PVS	22	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#3 CONT. 36" O.C.		
PERENNIALS & GROUNDCOVERS						
ASM	17	ALLIUM 'MILLENIUM'	MILLENIUM ALLIUM	#1 CONT. 18" O.C.		
HSC	11	HEMEROCALLIS 'STRAWBERRY CANDY'	STRAWBERRY CANDY DAYLILY	#1 CONT. 24" O.C.		
LSS	9	LEUCANTHEMUM SUPERBUM 'SNOWCAP'	SNOWCAP SHASTA DAISY	#1 CONT. 18" O.C.		



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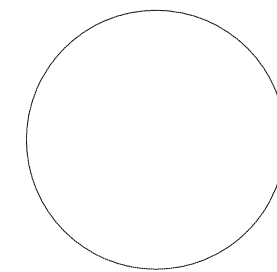
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karma
CIGAR BAR

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Vaishali Kalyarmal, A.I.A.
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Expiration 11-2022

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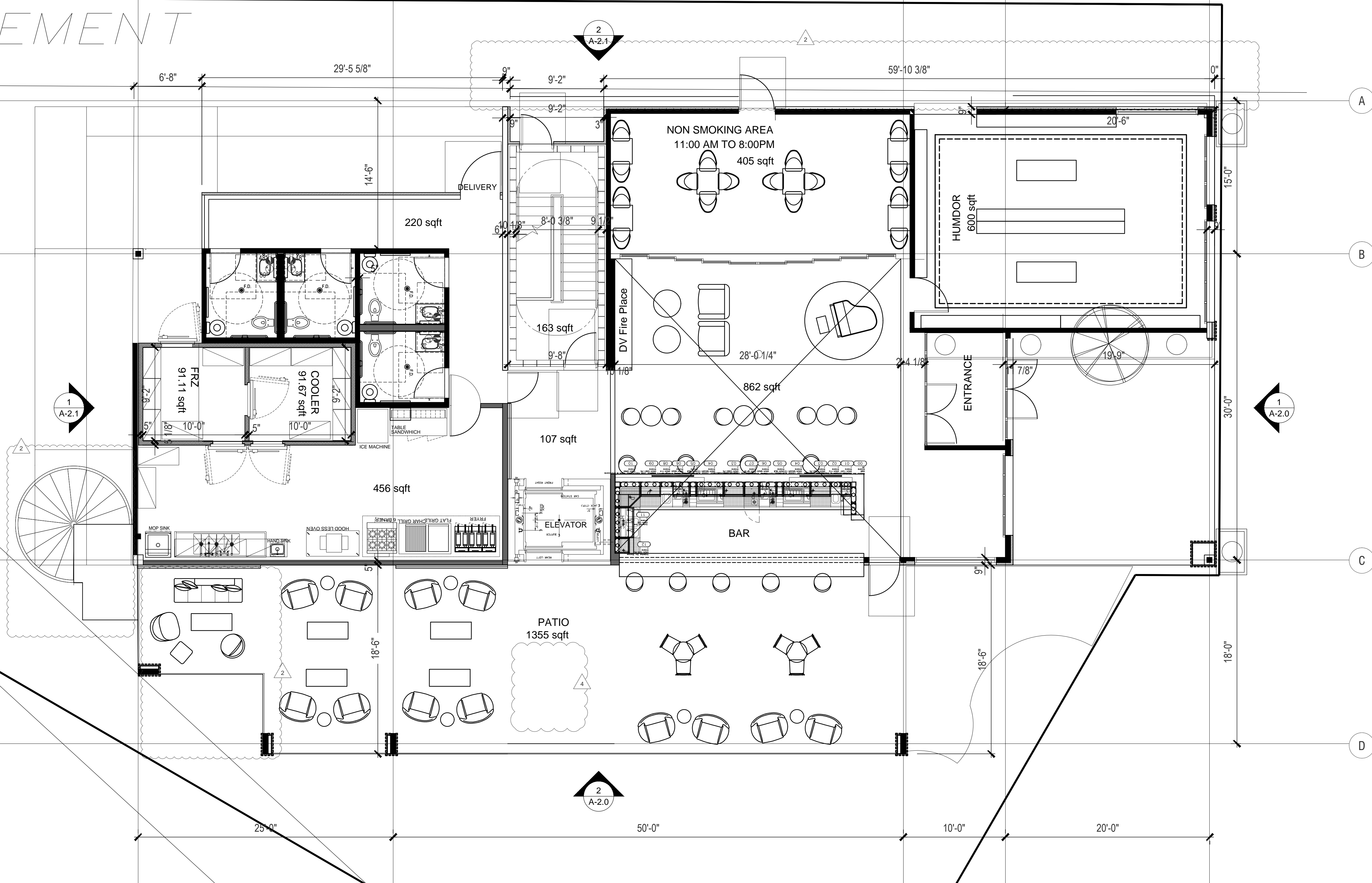
KARMA BISTRO & CIGAR LOUNGE
LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

LANDSCAPING

L-1.0

EASEMENT

7



1 1ST FLOOR
A1.1 SCALE: 3/16" = 1'-0"

1ST FLOOR - AREA = 3,800 SQFT

SEATING SCHEDULE 1ST FLOOR	
CATEGORY	Nº
RESTUARANT	18
BAR	10
SEASONAL	26
COVERED	0
TOTAL SEATING	54

STUDIO SILVER

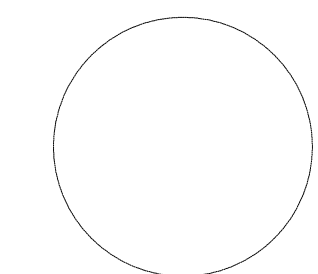
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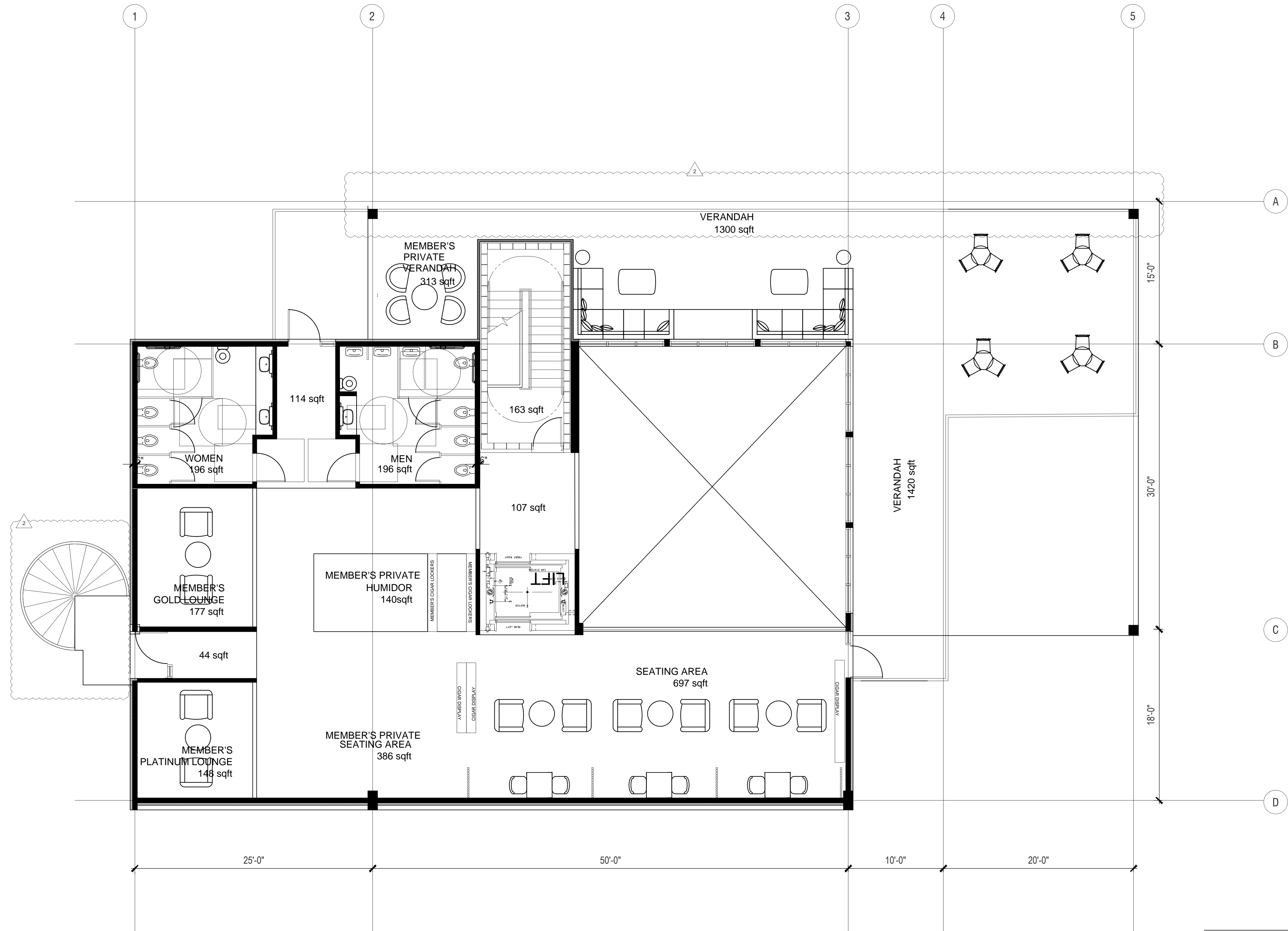
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FIRST FLOOR PLAN

A1.1



1 2ND FLOOR
A1.2 SCALE: 3/16" = 1'-0"

2ND FLOOR - AREA = 2,300 SQFT

SEATING SCHEDULE 2ND FLOOR		
CATEGORY	Nº	
RESTUARANT	16	
BAR	0	
SEASONAL	26	
COVERED	0	
TOTAL SEATING	42	

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ARCHITECTS + PLANNERS
161 N. CLARK ST. SUITE 1600 CHICAGO IL
PH: 312.785.1516

karma
CIGAR BAR

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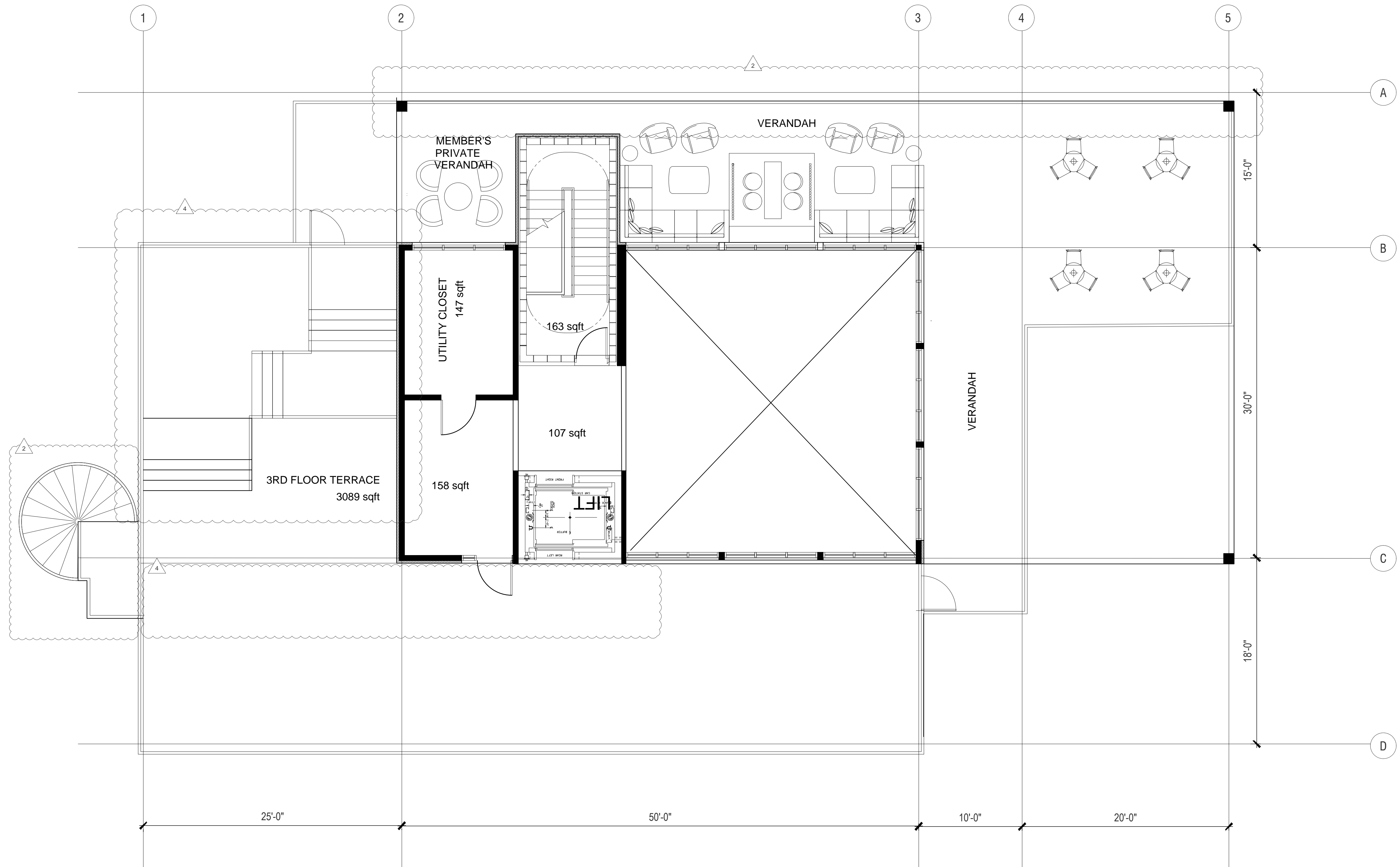
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KARMA BISTRO & CIGAR LOUNGE
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9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

SECOND FLOOR PLAN

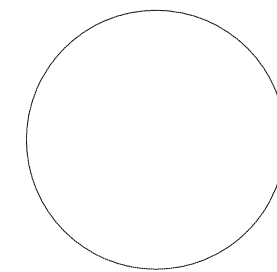
A1.2



1 3RD (UTILITY) FLOOR
A1.3 SCALE: 3/16" = 1'-0"

3RD FLOOR - AREA = 300 SQFT

SEATING SCHEDULE 3RD FLOOR		
CATEGORY	Nº	
RESTUARANT		0
BAR		0
SEASONAL		0
COVERED		0
TOTAL SEATING		0



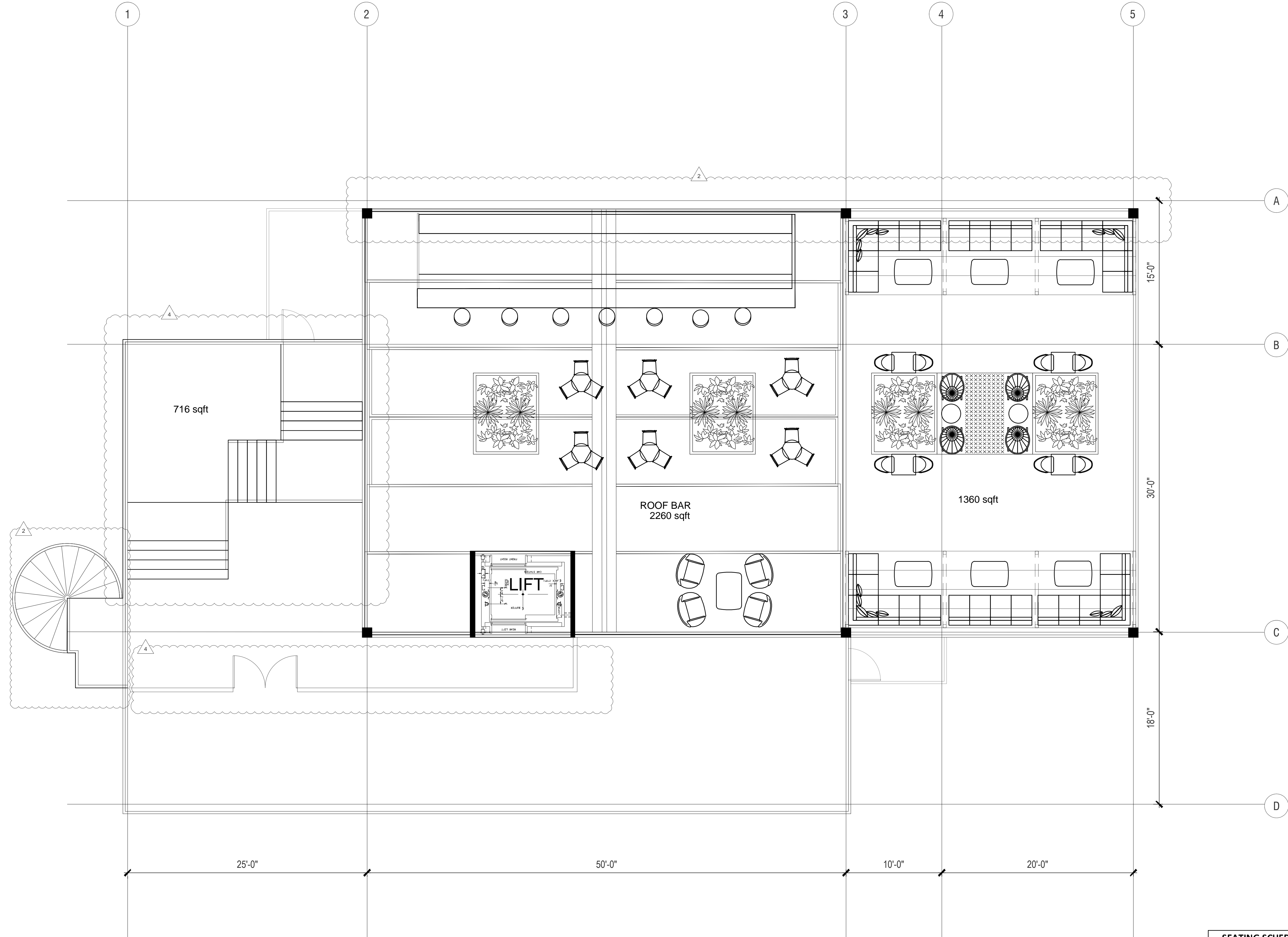
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KARMA BISTRO & CIGAR LOUNGE

LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

THIRD FLOOR PLAN

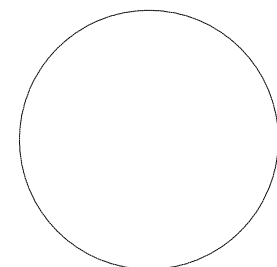


1 ROOF TOP
A1.4 SCALE: 3/16" = 1'-0"

TOTAL FLOOR AREA =3800+2300+300= 6400SQFT

SEATING SCHEDULE ROOF FLOOR	
CATEGORY	Nº
RESTUARANT	0
BAR	0
SEASONAL	36
COVERED	29
TOTAL SEATING	65

TOTAL SEATING SCHEDULE	
FLOOR	Nº
FIRST FLOOR	54
SECOND FLOOR	42
THIRD FLOOR	0
ROOF FLOOR	65

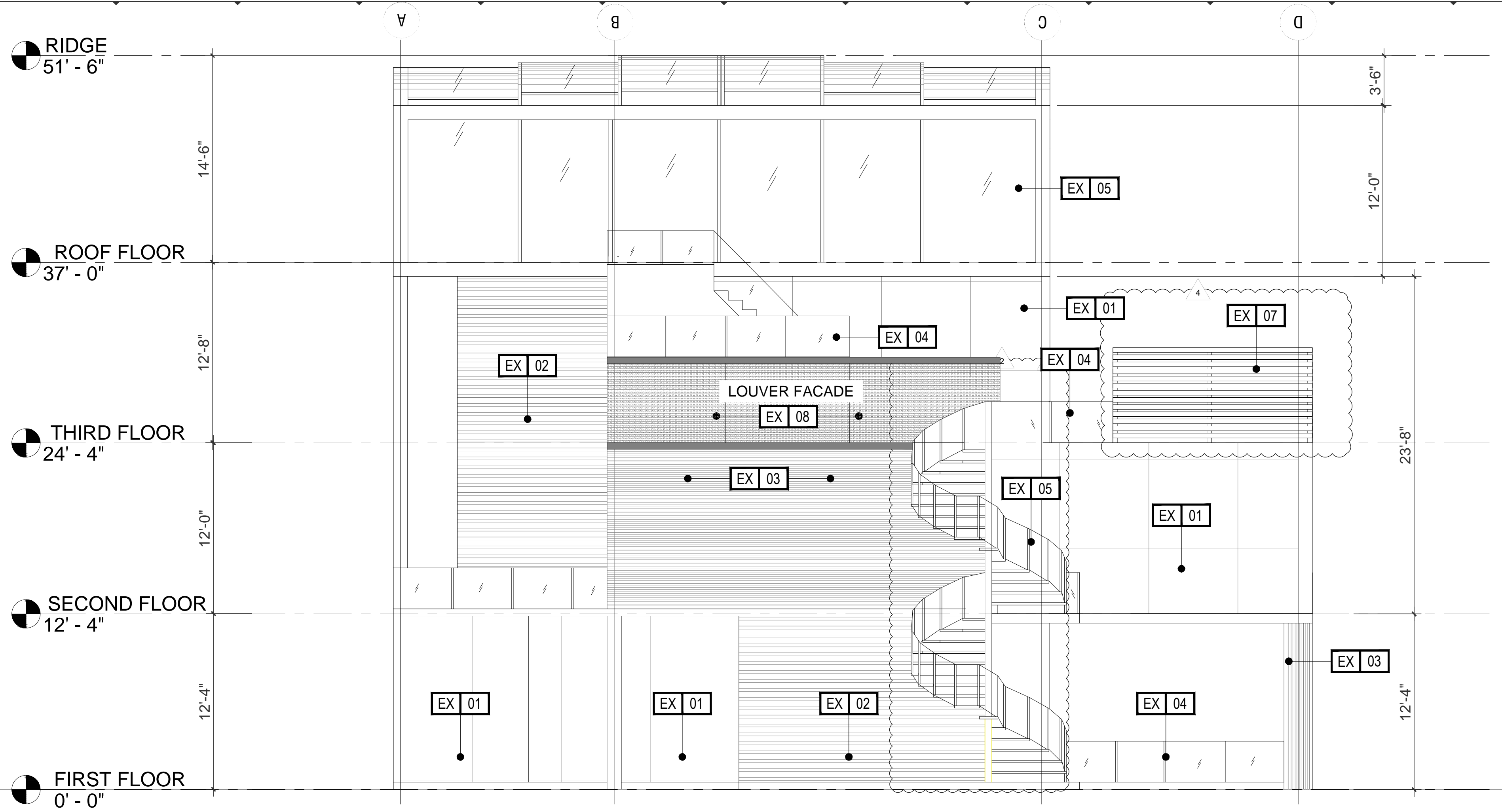


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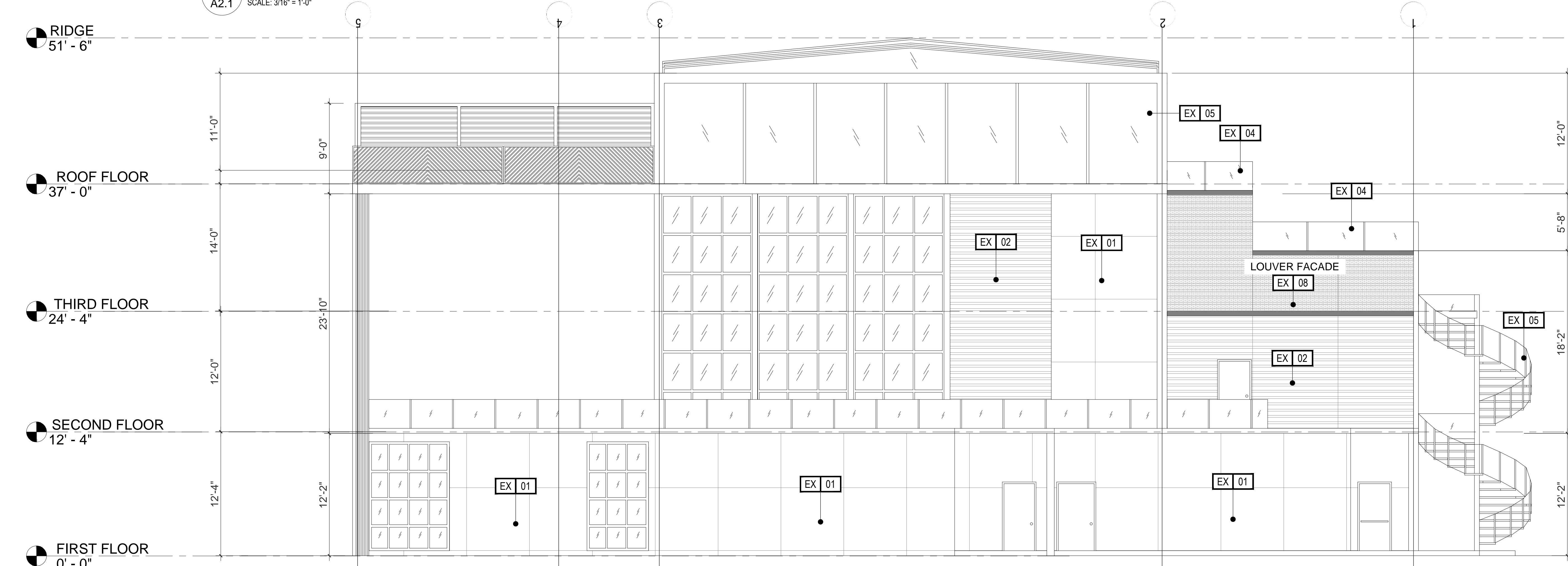
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LOT 7, MAPLE LEAF CROSSING
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MUNSTER, LAKE CO. INDIANA

ROOF PLAN

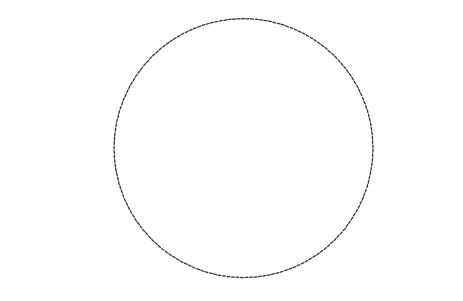


1
A2.1
EXTERIOR ELEVATION - BACK VIEW
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE		
CODE	MATERIAL	MANUFACTURER
EX-01	LIMESTONE PANEL	AWV
EX-02	METAL CORRUGATED CONTAINER BOX PANEL - DARK BRONZE	
EX-03	EXTERIOR WOOD PANELING	AWV
EX-04	GLASS RAILING	
EX-05	METAL & GLASS ROOF WALL ASSEMBLY	AWV
EX-06	METAL STAIR & RAILING	
EX-07	HAVC SCREENING SYSTEM	
EX-08	LOUVER FACADE PANEL - ALAMO TAN	



2
A2.1
EXTERIOR ELEVATION - SIDE VIEW
SCALE: 3/16" = 1'-0"

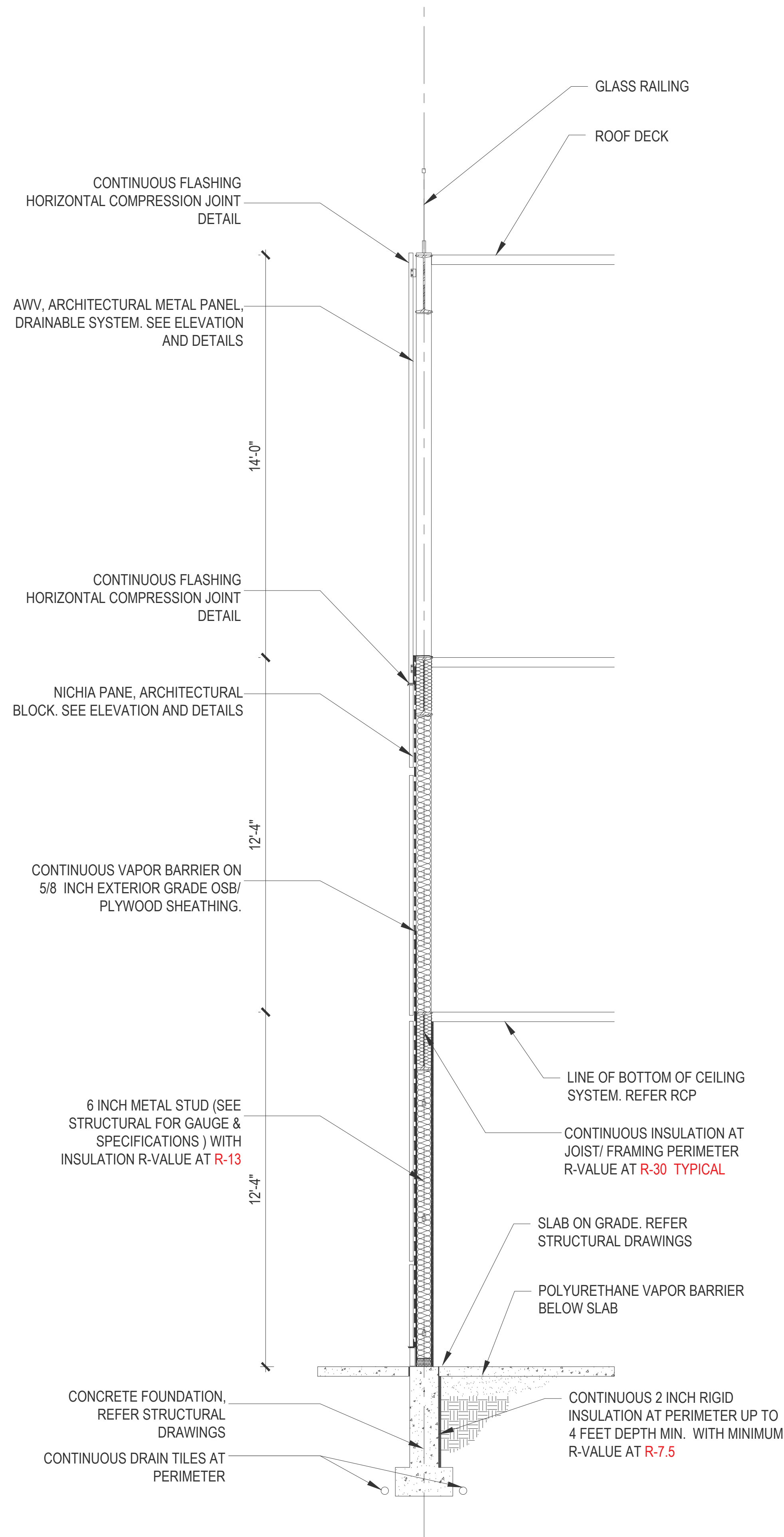


REVISIONS

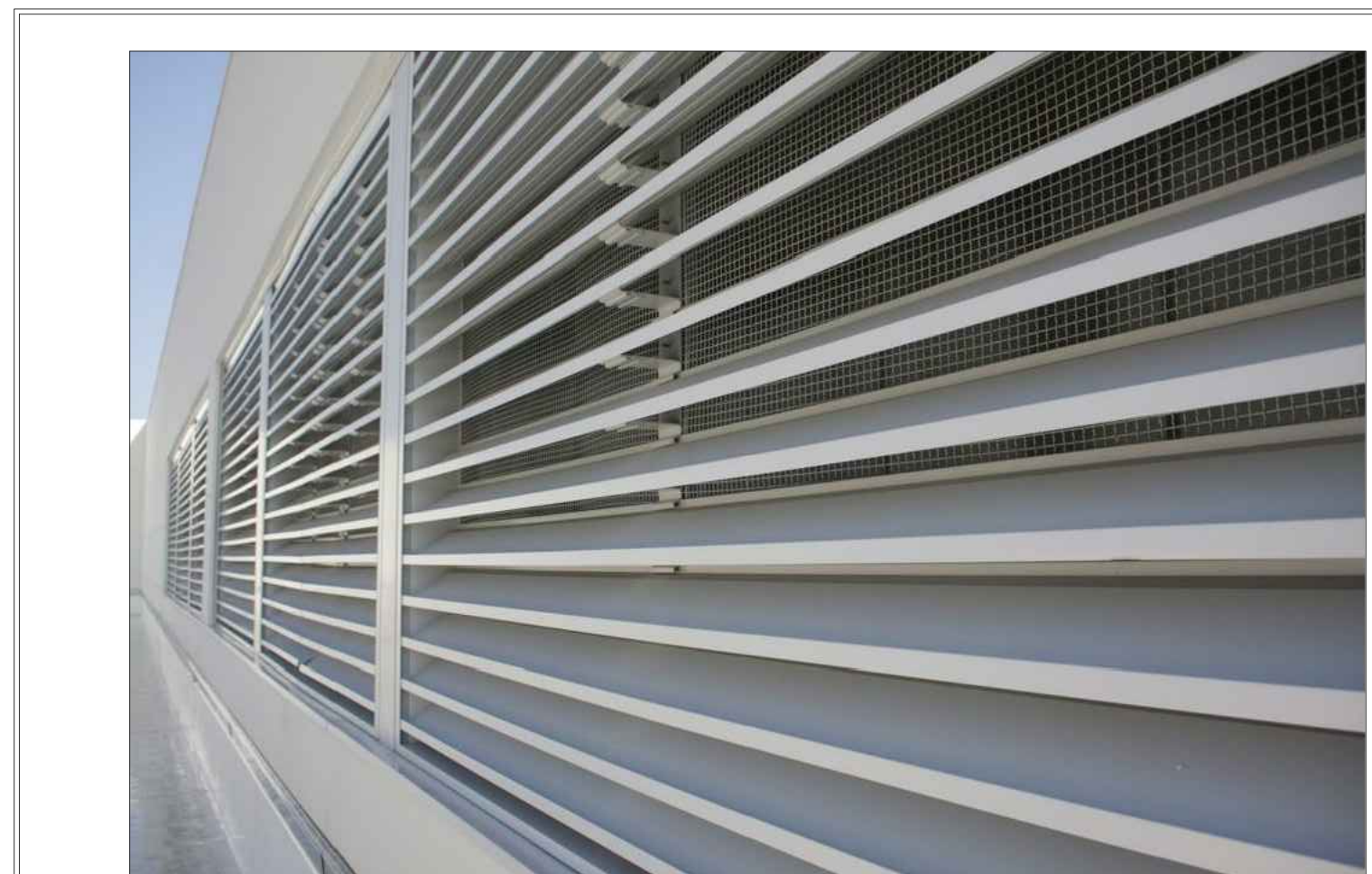
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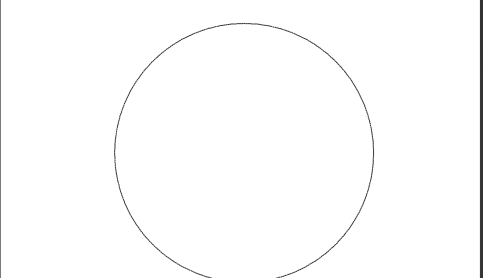
EXTERIOR ELEVATIONS



1 WALL SECTION
A5.0 SCALE: 3/8" = 1'-0"



2 EXAPLE OF FACADE SYSTEM
NFS NOTE:



REVISIONS

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LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

WALL SECTIONS

hereby certify that these plans were prepared under my direct supervision and to the best of my professional knowledge they conform to the building code of the



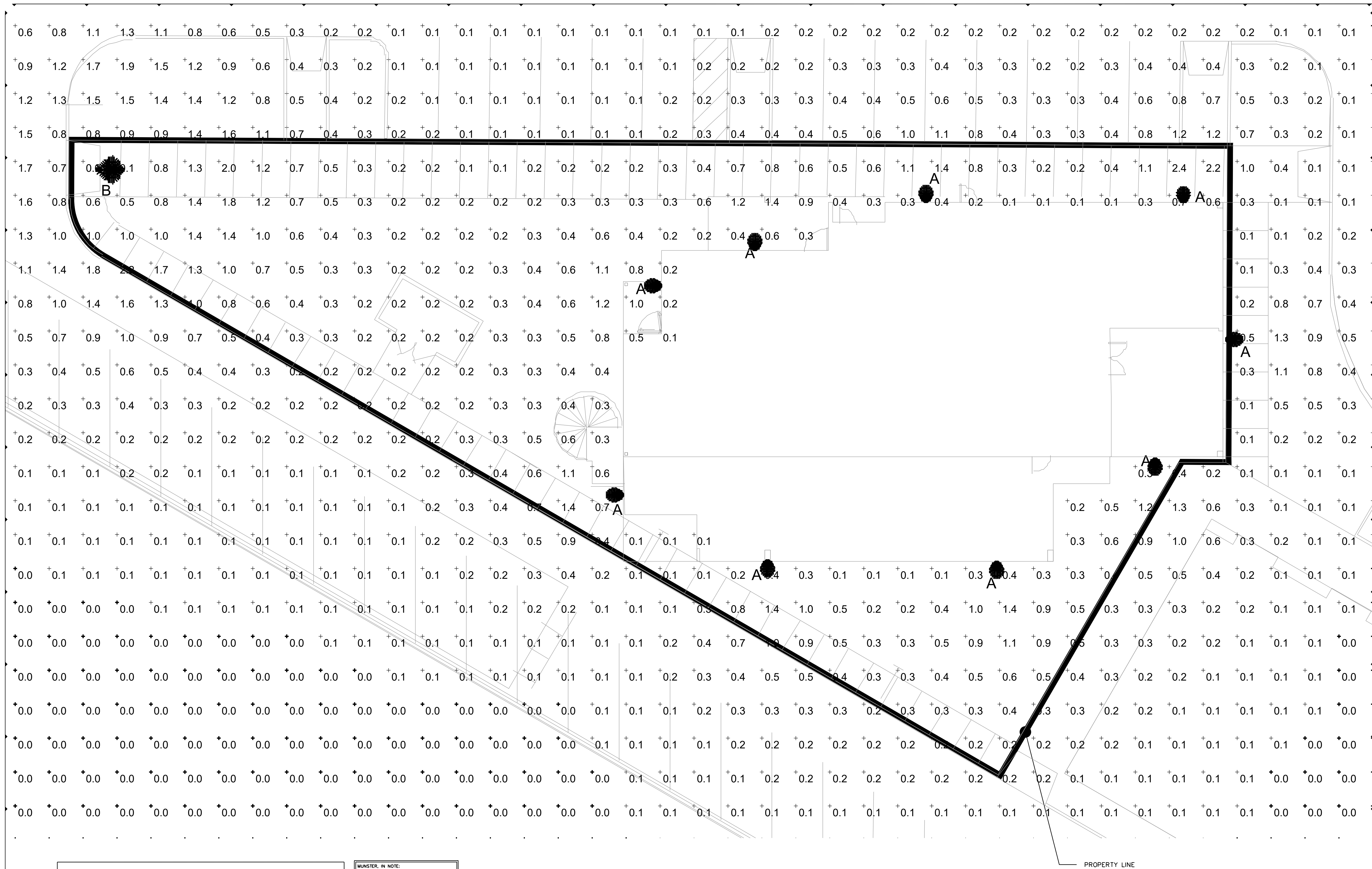
UPDATED
PHOTOMETRIC
07-08-22

1 PREHEARING CONFERENCE 11.12.21

[illegible]

LUI 7. MAPLE LEAF CROSSING
9450 CALUMET AVE.
MINSTER LAKE CO INDIANA

0.0



WALL PACK LED
MANUF: LITHONIA LIGHTING
MODEL: WDGE1 LED P1 27K 80CRI VW
10'-0" MOUNTING HEIGHT, 45° TILT

POLE LIGHT, LED MANF: STERNBERG LIGHTING MODEL: A8840 VCOB 4L 40TS MDL05 16'-0" MOUNTING HEIGHT, 0° TILT

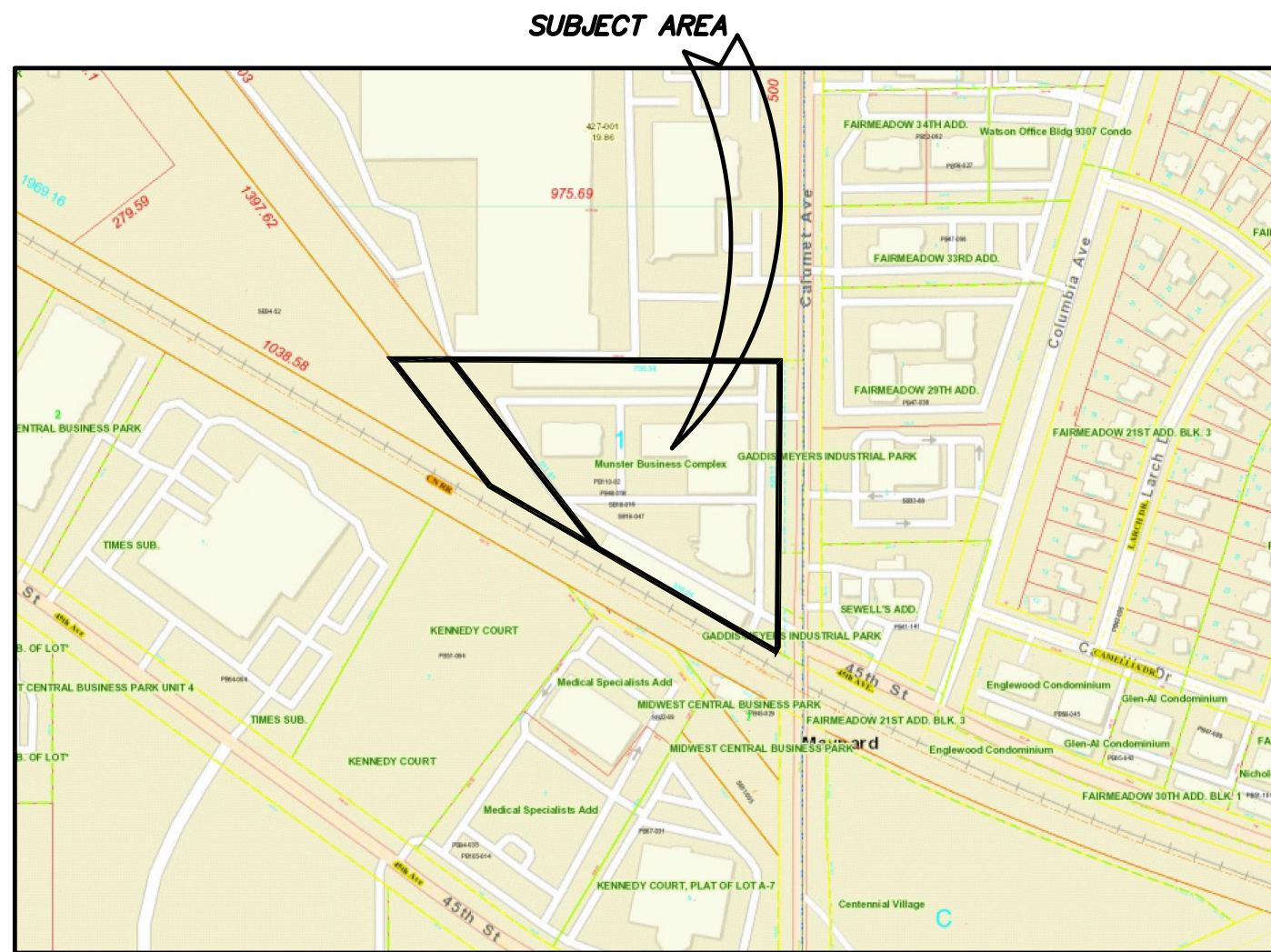
*COORDINATE FIXTURE FINISHES AND HEIGHTS WITH ARCHITECT..

**MOUNTING HEIGHT REFERS TO THE HEIGHT OF THE LIGHT FIXTURE ABOVE GRADE.

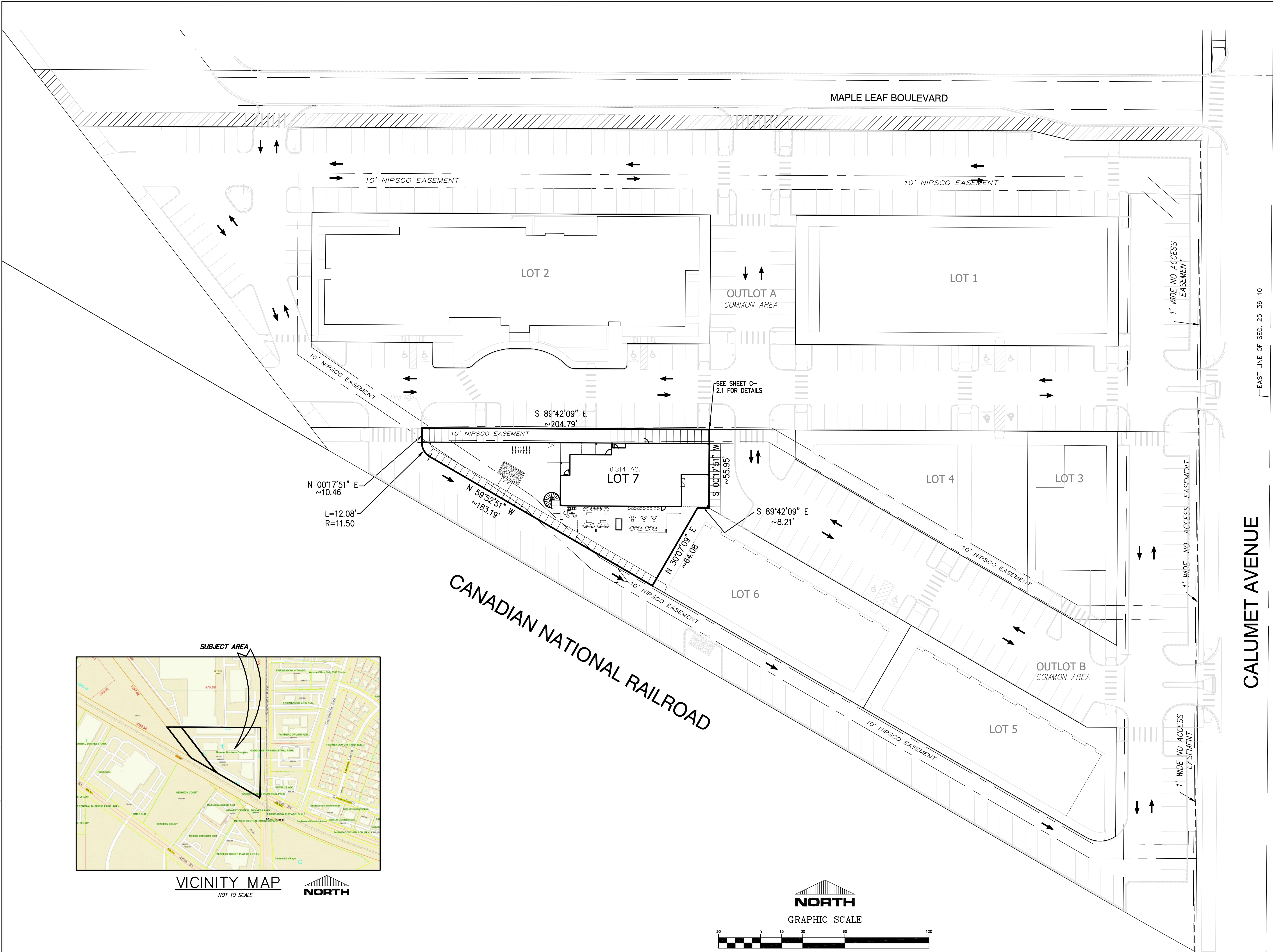
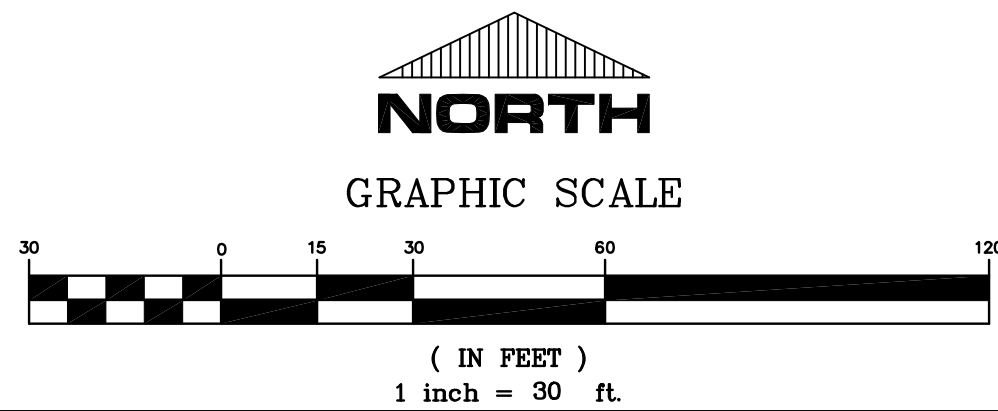
MUNSTER, IN NOTE:

THIS DOES NOT ACCOUNT TO CONTRIBUTION
OF LIGHTS BEYOND PROPERTY LINE OR
INSTALLED PRIOR TO CONSTRUCTION.

FILE NO:Z:\2021-5066 Maple Leaf - Lot 7.dwg 5/6/2022 9:56:47 AM CDT



VICINITY MAP
NOT TO SCALE



CALUMET AVENUE

EAST LINE OF SEC. 25-36-10

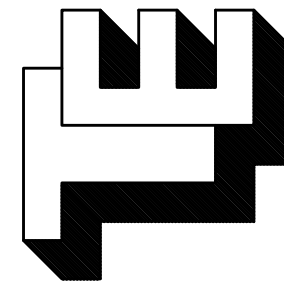
CLIENT:
Dhiren Shah
Karma Cigar Bar
850 W. 81st Ave
Merrillville, IN 46410
JOB NO: 2021-5066
SCALE: 1" = 30'

SHEET
C-2.0

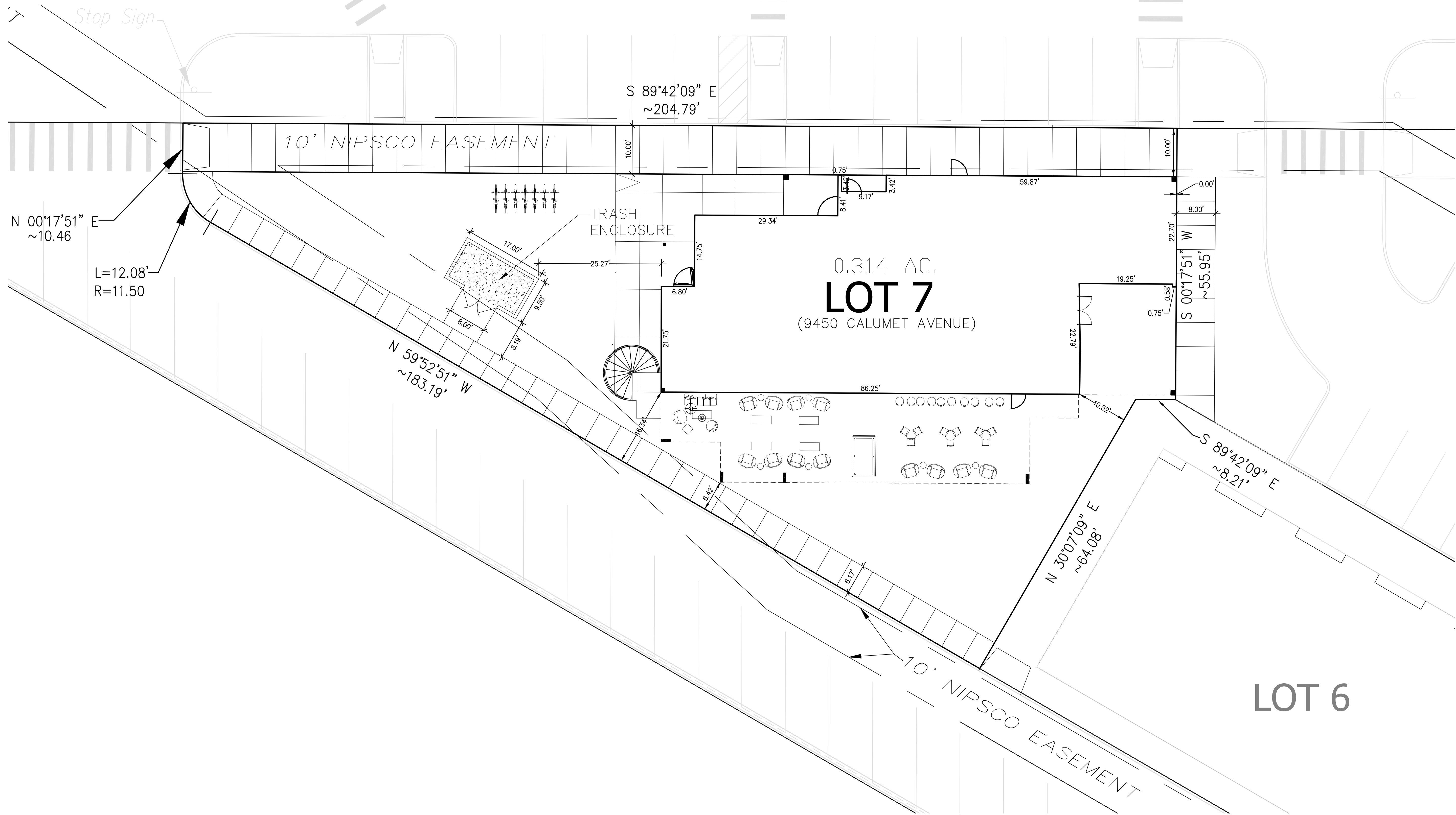
LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO., INDIANA
MASTER SITE PLAN

06-29-2022
REVISIONS:
DATE: 05-06-2022

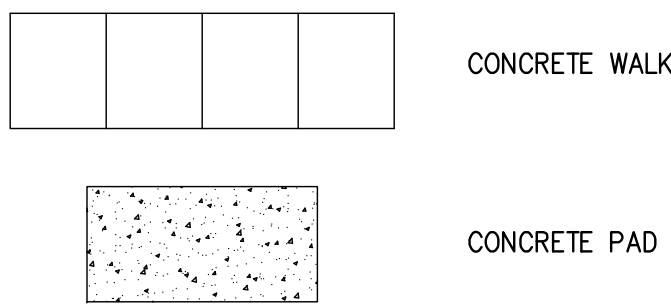
TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrengea.com



FILE NO: Z:\2021-5066 Maple Leaf - Lot 7\dwg\2021-5066.dwg 5/6/2022 9:56:47 AM CDT

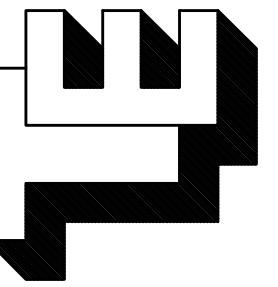
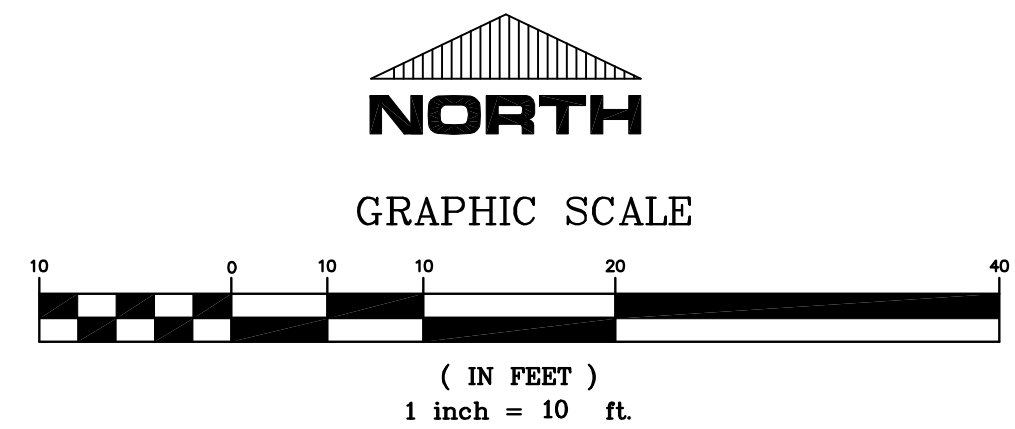


LEGEND



NOTES:

- 1: TOTAL SITE AREA : 13,717.83± SF. (0.314± ACRES)
- 2: IMPERVIOUS AREA : 10,012.65± SF. (0.229± ACRES)
- 3: SEE ARCHITECTUAL PLAN FOR ACTUAL DIMENSIONS AND DETAILS OF THE PROPOSED BUILDING AND DUMPSTER ENCLOSURE



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LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO., INDIANA
SITE PLAN

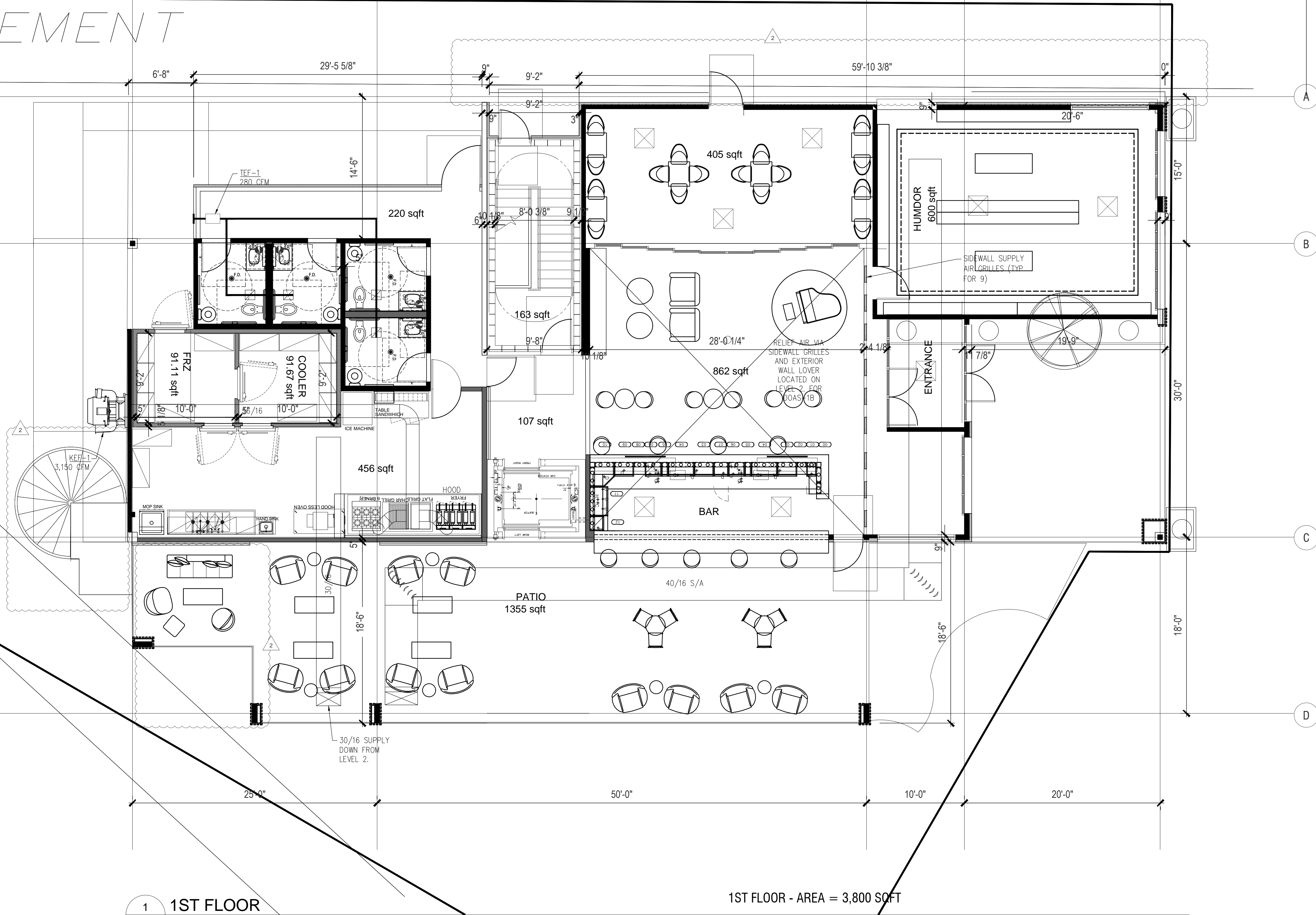
CLIENT: Dhiren Shah
Karma Cigar Bar
850 W. 81st Ave.
Merrillville, IN 46410
JOB NO: 2021-5066
SCALE: 1" = 10'
DATE: 05-06-2022

REVISIONS:
06-29-2022

SHEET
C-2.1

EASEMENT

7



1 1ST FLOOR
A1.1 SCALE: 3/16" = 1'-0"

1ST FLOOR - AREA = 3,800 SQFT

STUDIO SILVER

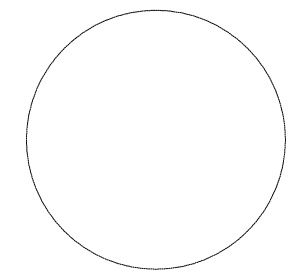
ARCHITECTS + PLANNERS

161 N. CLARK ST. SUITE 1600 CHICAGO IL
PH: 312.785.1516

karma
CIGAR BAR

ARCHITECT'S CERTIFICATION

I hereby certify that these plans were prepared under my direct supervision and to the best of my professional knowledge they conform to the building code of the



Vaishali Kalyarmal, A.I.A.
Illinois License 001-022289
Expiration 11-2022

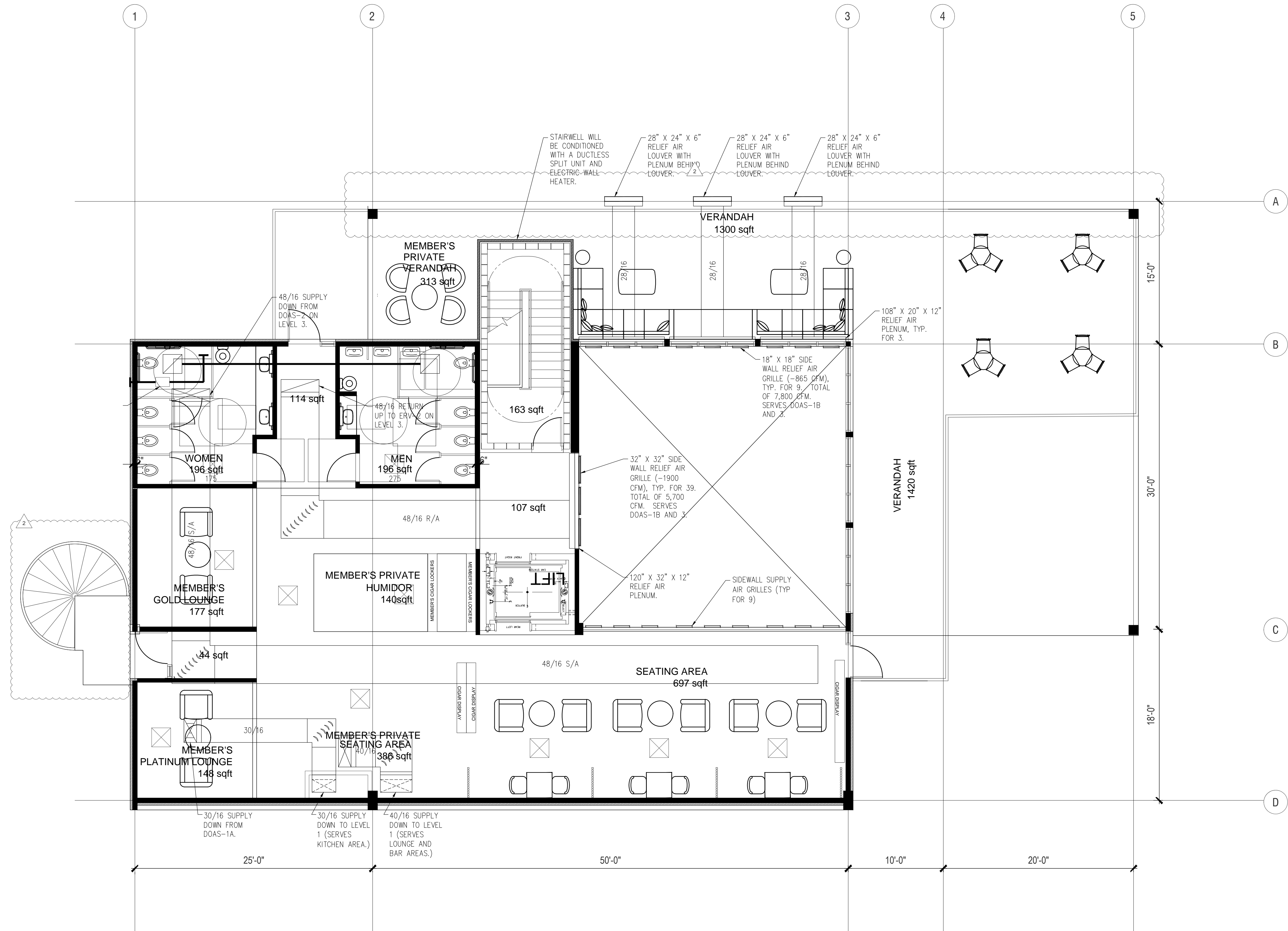
REVISIONS

1	Prin	05.19.2022
2	REVISION	06.29.2022
3	REVISION	07.11.2022
4	REVISION	07.29.2022
5	REVISION	08.04.2022
6		

KARMA BISTRO & CIGAR LOUNGE
LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

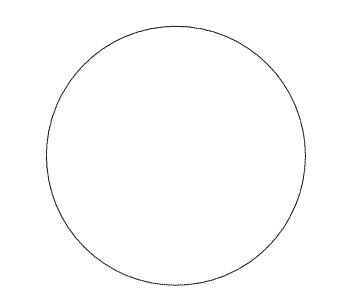
FIRST FLOOR
MECHANICAL PLAN

M2.0



1 2ND FLOOR
A1.2 SCALE: 3/16" = 1'-0"

2ND FLOOR - AREA = 2,300 SQFT



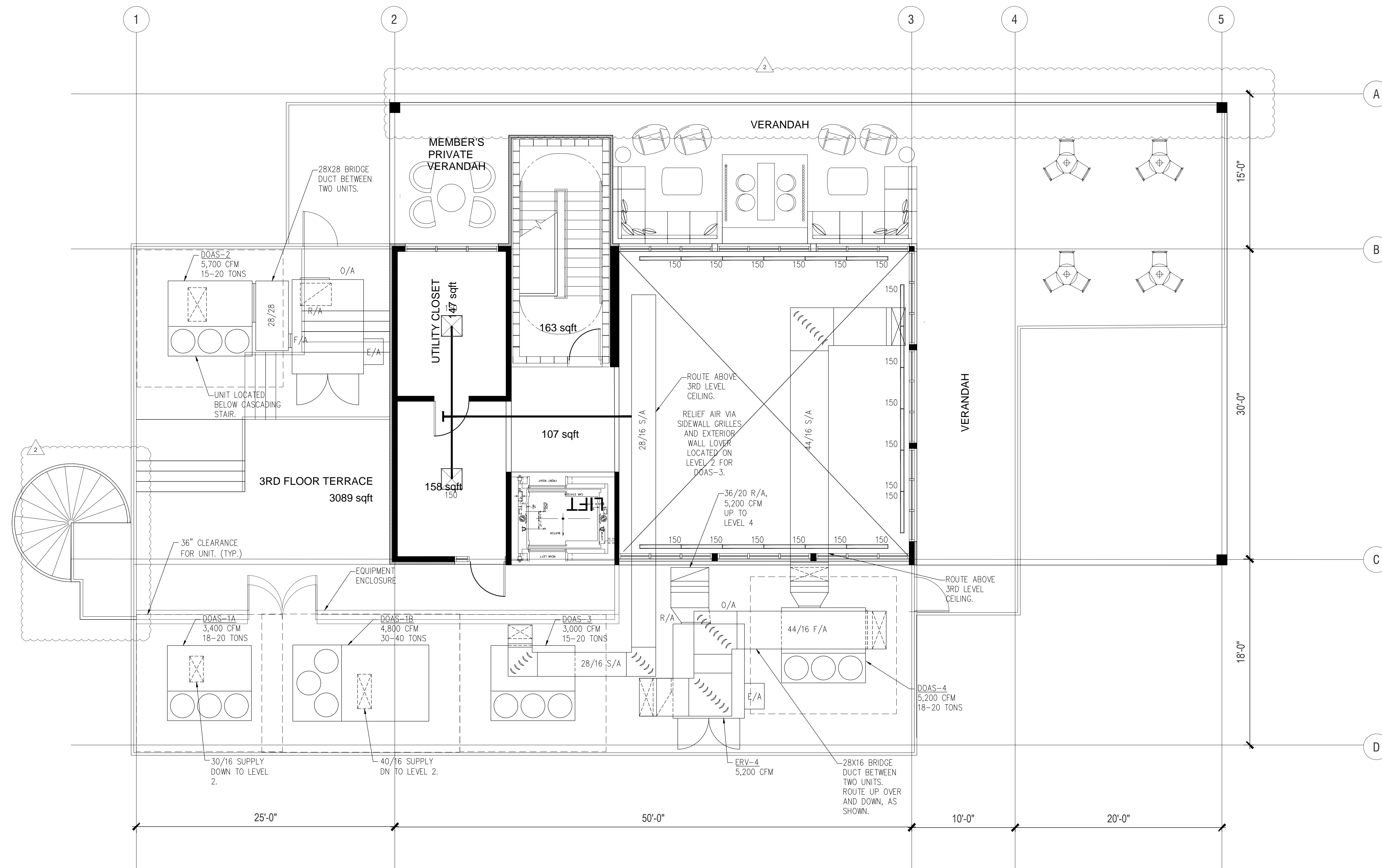
Vaishali Kalyarmal, A.I.A.
Illinois License 001-022289
Expiration 11-2022

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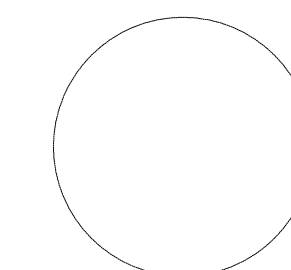
KARMA BISTRO & CIGAR LOUNGE
LOT 7, MAPLE LEAF CROSSING
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MUNSTER, LAKE CO. INDIANA

SECOND FLOOR
MECHANICAL PLAN



1 3RD (UTILITY) FLOOR
A1.3 SCALE: 3/16" = 1'-0"

3RD FLOOR - AREA = 300 SQFT



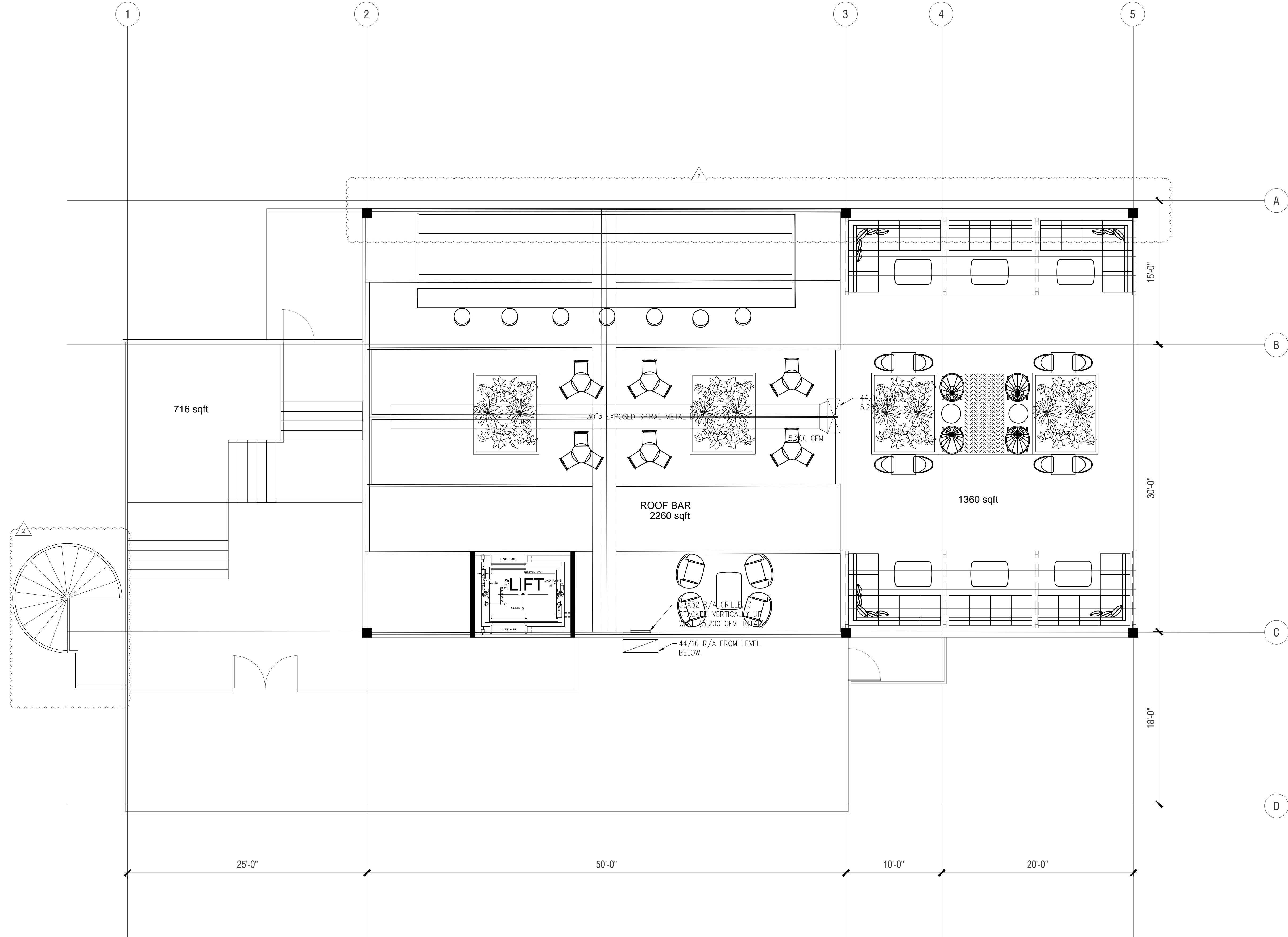
REVISIONS

1	Prin	05.19.2022
2	REVISION	06.29.2022
3	REVISION	07.11.2022
4	REVISION	07.29.2022
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6		

KARMA BISTRO & CIGAR LOUNGE
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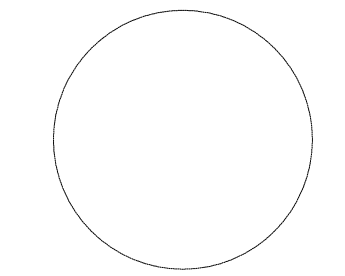
THIRD FLOOR
MECHANICAL PLAN

M2.2



1 ROOF TOP
A1.4 SCALE: 3/16" = 1'-0"

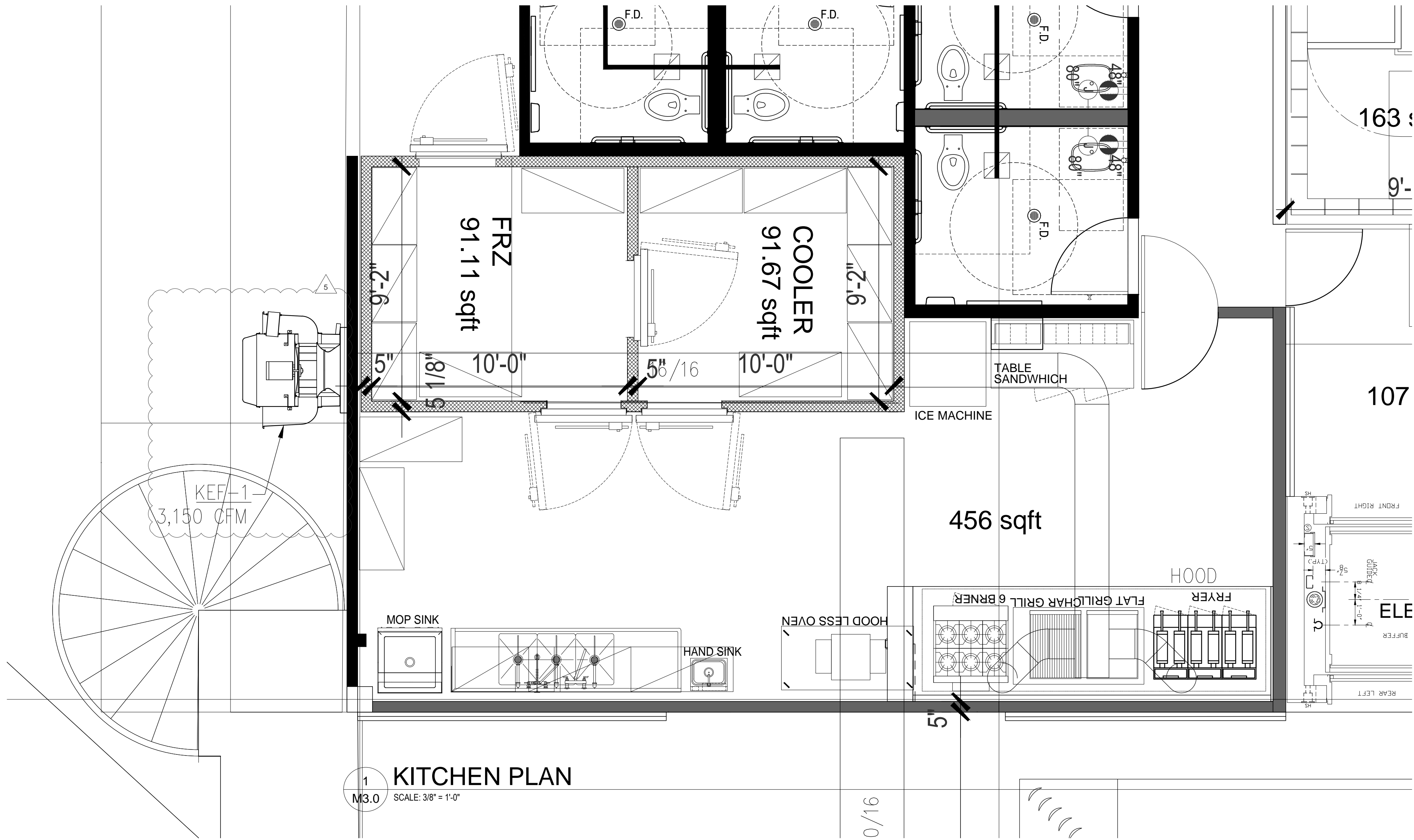
TOTAL FLOOR AREA = 3800 + 2300 + 300 = 6400SQFT



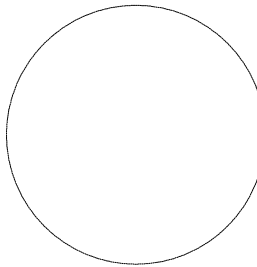
REVISIONS		
1	Prin	05.19.2022
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6		

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MUNSTER, LAKE CO. INDIANA

ROOF
MECHANICAL PLAN



1
M3.0 KITCHEN PLAN
SCALE: 3/8" = 1'-0"

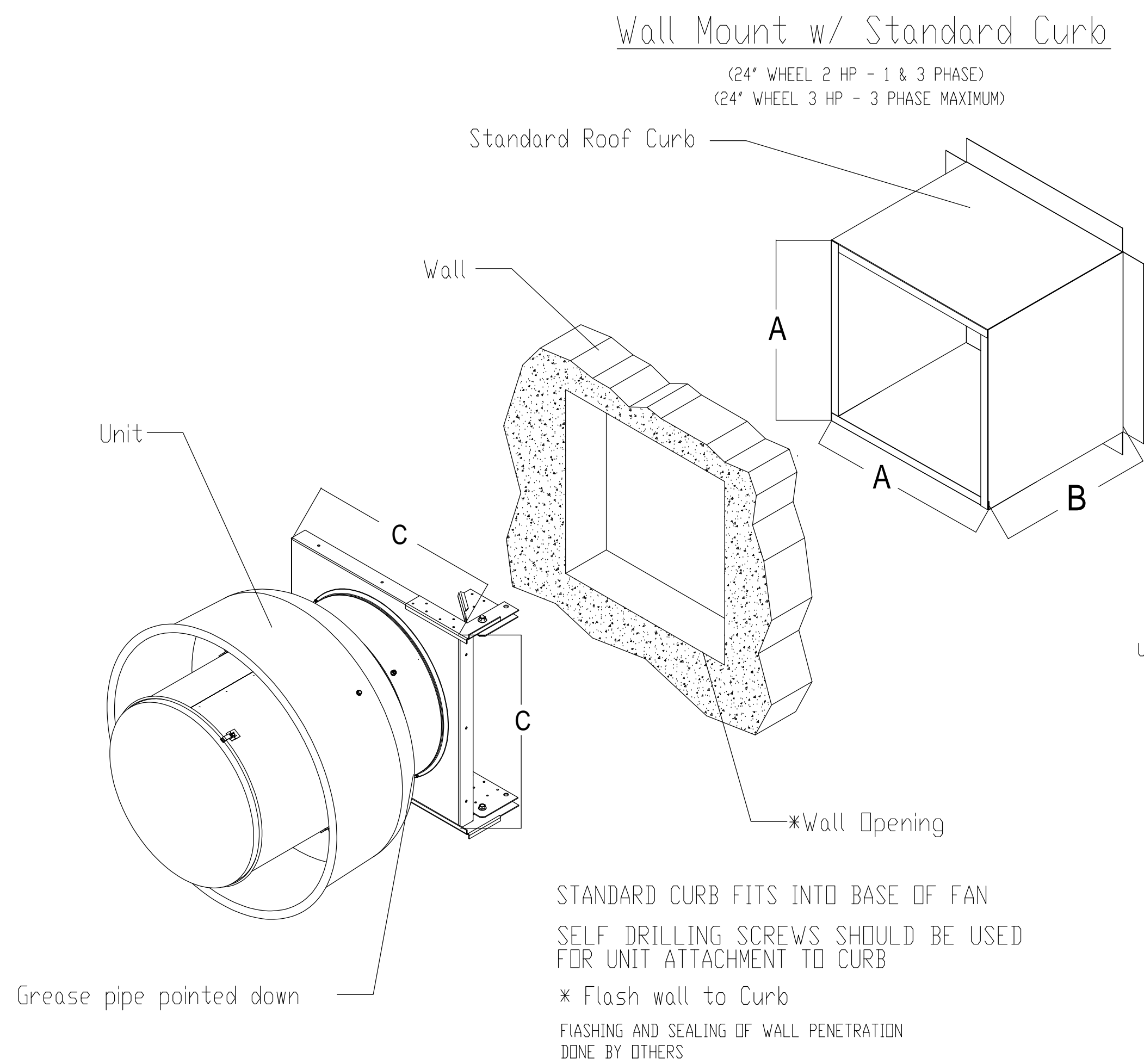


REVISIONS

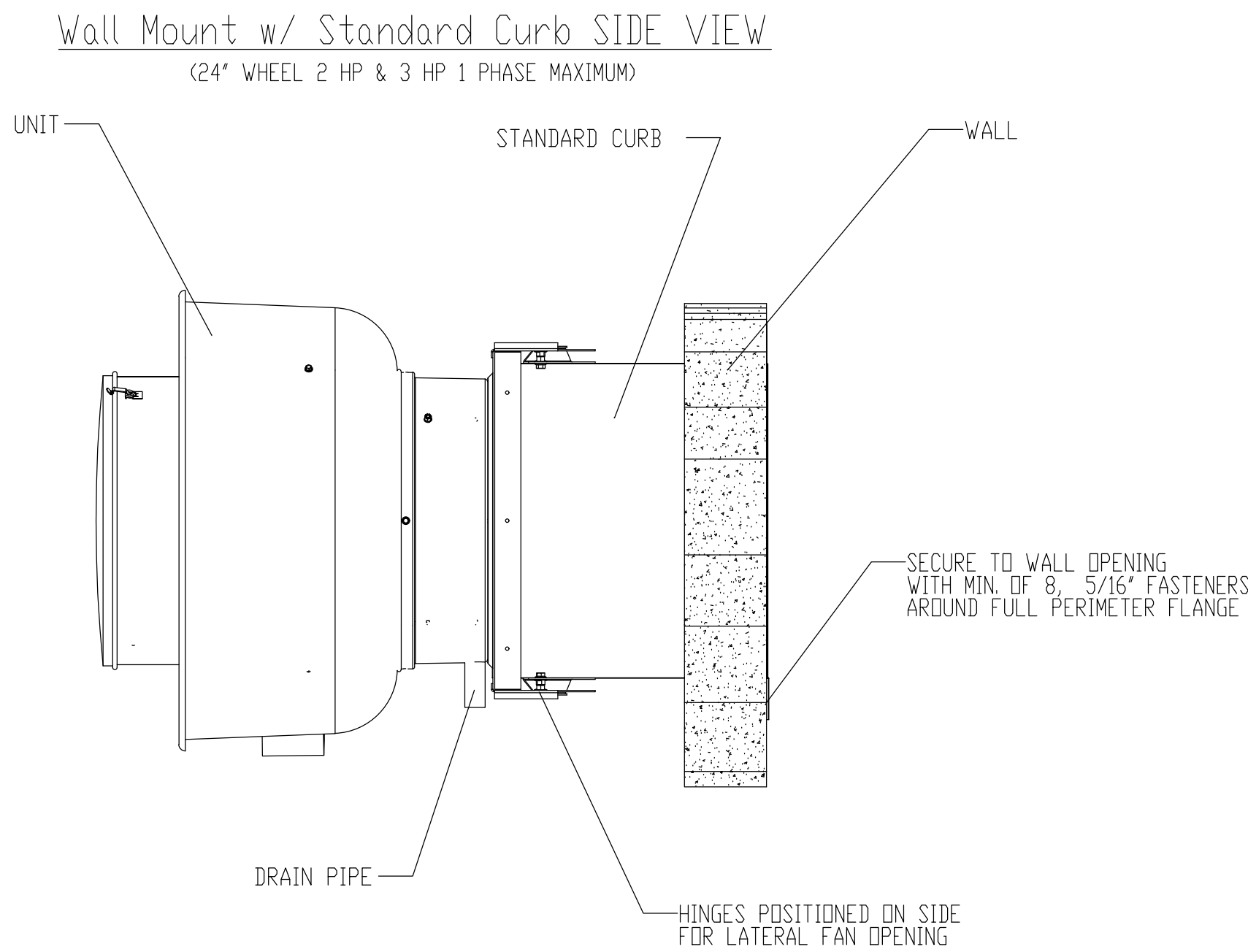
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KARMA BISTRO & CIGAR LOUNGE
LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO. INDIANA

KITCHEN
MECHANICAL PLAN



A (IN.)	B (IN.)	C (IN.)
19 1/2	22	21
19 1/2	20	21
23	20	24 3/4
26 1/6	20	28
26 1/2	20	28
31 1/2	20	33



THROUGH WALL CURB INSTALLATION
REV.#2 02/02/12

ELECTRICAL PACKAGES - Job#2198331

NO.	TAG	PACKAGE #	LOCATION	SWITCHES		OPTION	FANS CONTROLLED				
				LOCATION	QUANTITY		TYPE	Ø	H.P.	VOLT	FLA
1		SC-321110FP	Utility Cabinet Left	Utility Cabinet Left	1 Light	Smart Controls Thermostatic Control	Exhaust	3	1,500	208	4.7
				Hood # 1	1 Fan		Exhaust	3	1,500	208	4.7
							Supply	3	2,000	208	6.2

1 EXHAUST INFO
NONE

STUDIO SILVER

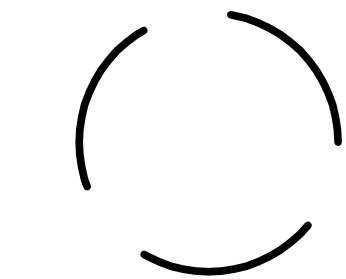
ARCHITECTS + PLANNERS

161 N. CLARK ST. SUITE 1600 CHICAGO IL
PH: 312.785.1516

karma
CIGAR BAR

ARCHITECTS CERTIFICATION

I hereby certify that these plans were
prepared under my direct supervision and to
the best of my professional knowledge they
conform to the building code of the



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MUNSTER, LAKE CO. INDIANA

EXHAUST
DETAIL

M3.1

karma

Piano / Cigar Bar
Restaurant

