



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Tom Vander Woude, Planning Director

Meeting Date: June 14, 2022

Agenda Item: PC Docket No. 22-007

Hearing: **PUBLIC HEARING**

Application Type: **Development Plan**

Summary: Paul Kats on behalf of Munster Church, Inc. requesting of a development plan to permit the construction of an addition to the Munster Church, the construction of a new multipurpose accessory building, and associated site modifications at 214 Ridge Road.

Applicant: Paul Kats on behalf of Munster Church, Inc

Property Address: 214 Ridge Road

Current Zoning: CZ – Civic Zone

Adjacent Zoning: North: CD-4.A
South: CD-3.R2
East: CD-5
West: CD-4.A

Action Requested: Approve development plan

Additional Actions Required: Findings of Fact

Staff Recommendation: **Approve with conditions**

Attachments:

- Munster Church Building Addition, 214 Ridge Road plan set dated 2022.06.06
- Munster Church photometric plan prepared by KSA Lighting & Controls dated 2022.05.26
- Munster Church addition Exterior Elevations and Floor Plan prepared by Rohn Associates dated 2022.06.03

- Munster Church accessory building Exterior Elevations and Floor Plan prepared by Rohn Associates dated 2022.06.03
- Munster Church accessory building Exterior Renderings prepared by Rohn Associates dated 2022.06.03
- Comment response letter from Ted Rohn
- Comment Response letter from Don Torrenga dated 2022.06.03



Figure 1 Subject property.

BACKGROUND

Paul Kats on behalf of Munster Church, Inc. has submitted an application for approval of a development plan to construct a 13,350 square foot addition and a new 7,140 square foot multipurpose accessory building on the property of the Munster Church at 214 Ridge Road, the southeast corner of Hohman Avenue and Ridge Road. Along with the new buildings, Munster Church proposes to modify the site by narrowing the existing Ridge Road driveway, improving the landscaping along the Ridge Road frontage,

adding and relocating parking lot light fixtures, adding some parking lot landscaping, and installing a detention pond at the southeast corner of the property. The church proposes to demolish two existing single-family homes and two garages on the property.

The proposed addition will be constructed to the east of the existing church building along the Ridge Road Frontage. It will include a fellowship hall, offices, a conference room, classrooms, children's rooms, men's and women's bathrooms, and a large multipurpose room with a stage that can be used as a gym or as an auditorium. Detailed renderings and floor plans are included as attachments.



Figure 2 Rendering of proposed addition

The accessory building will be constructed along the east side of the property. It will include classrooms, space for a food pantry, offices, bathrooms, storage, and a workshop for the youth programs. Detailed renderings and floor plans are included in the attachments.



Figure 3 Renderings of proposed accessory building

DISCUSSION AND ANALYSIS

The subject property is located in a CZ- Civic Zone district and is subject to the specific development standards of that zone as well as the generally applicable standards of the zoning ordinance addressing parking, landscaping, site lighting, and stormwater. The applicants have applied to the Board of Zoning Appeals for multiple variances, which are described later in this memo. This project is located on an existing developed lot on which there are some legal nonconformities. The Munster zoning ordinance permits a *Nonconforming Building, Improvement, or Structure [to] be Substantially Modified or Altered to decrease its nonconformity if the modification or alteration is in conformity with the relevant standards of this article*. In other words, only the new buildings, additions, and lot alterations are required to comply the current zoning standards. The exception to this rule is landscaping, which is required to be installed in parking lots when certain improvements are made. In this case, it is required because of the cost of the project, the addition to the building, and the construction of a new building.

ZONING ANALYSIS

There are fewer standards for buildings in civic districts than commercial districts, the chart below includes only the standards which are applicable noting compliance and whether a variance is being sought.

Standard	Code Requirement	Proposed
Front Setback, Principal Frontage	0 ft. min, 50% of Lot Depth max	Between 10' and 30'
Building Height	1 may be 20 ft. higher than maximum Height of any Adjacent Character District, max.; others max 30 ft. max.	30 ft.
Building Height – Accessory Building	30 ft. max	24.5 ft.
Entrances	Main Entrance must be in Facade of Principal Frontages. If shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner. Main Entrance must be clearly distinguishable from other parts of the Building through the use of architectural design, elements, and treatment, including its detail and relief and use of architectural elements such as lintels, pediments, pilasters, columns, and other elements appropriate to the architectural style and details of the Building.	Main entrance is located in the rear of the building. SEEKING VARIANCE
Location of Building at Frontage	Parallel to Frontage Lines	Offset SEEKING VARIANCE
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line	Offset SEEKING VARIANCE

Façade Design Proportions	Must be based approximately either on (a) proportions that can be expressed as a fraction using whole numbers (e.g. 1:1, 2:1, 3:2, 4:3, etc) or (b) the following proportions: 1.414:1 or 1.618:1	Stated to be 1:4 on average SEEKING VARIANCE IF NECESSARY
Blank Walls	Not Permitted at Frontage	Windows and doors meet void area standard.
Facade Void Areas	20-60% of total Facade area	40%
Façade Openings	Windows and/or doors spaced ≤ 20 ft. apart. Square or vertical in proportion except for transoms and sidelights. Windows in the Facade and 1st and 2nd Lot Layers shall be single- or double-sashed, casement, awning, or fixed types. In Stories above first, Facade openings must be $\leq 50\%$ of total Facade area.	Windows vertical. One story.
Window Alignment	Upper floor windows and other features must be aligned with those of first floor	N/A
Roof Type	Flat, Hip, Shed, Gable, Pitch 8:12-14:12	The building addition has an east-west oriented roof over the multipurpose room that has a 5:12 pitch. The north-south oriented roof has a 10:12 pitch and a portion of the building has a flat roof. SEEKING VARIANCE
Off-Street Parking Location	P in 3rd Lot Layer only. Parking must be Screened from abutting properties by Building or opaque Wall Screen, Fence Screen, or Hedge Screen. Parking Lots NP	Existing west parking area is located in first lot layer. Screening is not possible without reducing parking.
Driveway/Vehicular Entrance Maximum Width	24' max in 1st Lot and 2nd Lot Layer	24' wide

Off-Street Trash Receptacle/Dumpster	Required and must be fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. Enclosure must be constructed of a material that matches the Principal Building.	No dumpster proposed.
Off-Street Loading, Storage, Utility Box & Service Meter* Locations	Permitted in 3rd Lot Layer only	Located in 3 rd lot layer
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	Permitted in 3rd Lot Layer; Permitted in 2nd Lot Layer if Screened from Frontage; not Permitted in 1st Lot Layer	Located in 3 rd lot layer
Landscaping	Around Civic Buildings Required for 100% of setbacks, except for sidewalks and driveways. Civic Spaces in setbacks must comply with Civic Space standards	100% of setback is landscaped.
Screens	Parking, Loading Areas, Service Areas, Outdoor Storage, Drive-Throughs, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	Parking screened from frontage by building, except existing legal non-conforming west parking area. Screening required at south edge of parking area.
Screens	Rooftop Antennas and HVAC, Mechanical and other Equipment Screening	SEEKING VARIANCE Renderings show no rooftop equipment visible from ground.

The required spaces for the building addition and the existing church are calculated together and are based on the number of seats within the church: there are 409 seats requiring 136 parking spaces. The required spaces for the accessory building are calculated based on the capacity of that building: total occupancy is 166, requiring 50 spaces. A total of 186 spaces are required for the entire parcel. The proposed modifications to the parking area reduce the capacity from 228 spaces to 211 spaces.

The requirements for parking lot landscaping have been partially met with the addition of landscaping along Ridge Road, three new landscape islands in the east parking area, and additional trees planted at the perimeter of the parking area. The applicant is seeking variances from the internal landscaping requirement and the tree planting requirements.

A complete lighting and photometric plan has been submitted with the development plan. The proposed lighting meets the Town's standards for average illumination as well as the fixture height and maximum color temperature of the light fixtures. Variances are being sought from the minimum illumination standard and the fixture type standard.

Stormwater plans for the project divide the lot into a north section that drains toward Ridge Road and a south section that drains to the south. The report submitted by Torrenga Engineering indicates a net reduction in stormwater runoff in the north section and small increase in the south section. A small detention pond is proposed at the southeast corner of the property to detain the increased runoff. Town Engineer Jill DiTommaso has yet to review the stormwater plan in detail so there may be some minor changes to the plan, which should be a condition of the approval.

ADDITIONAL DETAILS REGARDING REQUESTED VARIANCES

The Development Plan for the project has been submitted to the Munster Plan Commission but cannot be approved as presented without the granting of the variances described below.

CIVIC ZONE BUILDING AND LOT STANDARDS

1. TABLE 26-6.405.B CIVIC ZONE STANDARDS Façade Position – required to be parallel to straight Frontage Line or to tangent of curved Frontage Line.

Required: The proposed building addition must be positioned parallel to Ridge Road

Proposed: The proposed building addition is positioned on a straight east-west line.

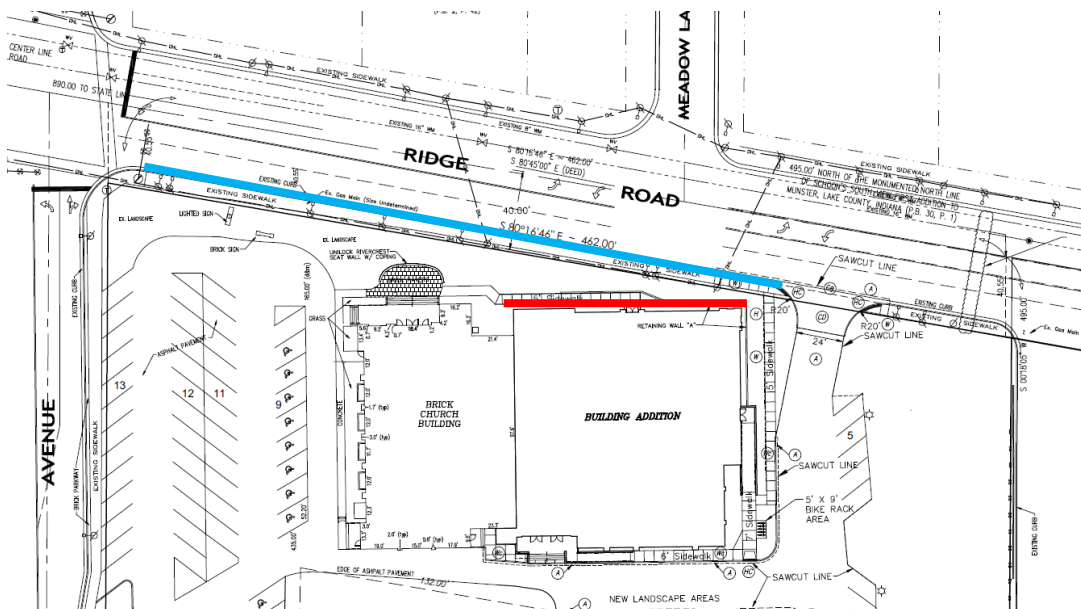


Figure 4 Building facade position shown in red; Ridge Road Frontage line shown in blue

2. TABLE 26-6.405.B CIVIC ZONE STANDARDS Façade Design Proportions - Must be based approximately either on (a) proportions that can be expressed as a fraction using whole numbers (e.g. 1:1, 2:1, 3:2, 4:3, etc) or (b) the following proportions: 1.414:1 or 1.618:1.

Required: The proportions of the proposed building addition either in its entirety or in its individual components must be based on the proportions listed above.

Proposed: The proposed building addition plans include a note: "AVERAGE FAÇADE PROPORTIONS RATIO = 1:4".

Staff comment: It is unclear to staff whether this standard is met and a more detailed response will be required from the architect.

3. TABLE 26-6.405.B CIVIC ZONE STANDARDS Roof Type and Pitch - Pitch, if any 8:12 - 14:12.

Required: The pitch of all roofs on the building addition must either be flat or be between 8:12 and 14:12.

Proposed: The building addition has an east-west oriented roof over the multipurpose room that has a 5:12 pitch.



Figure 5 Church addition viewed from the southeast showing multipurpose room with 5:12 roof pitch.

4. TABLE 26-6.405.B CIVIC ZONE STANDARDS Main Entrance must be in Facade of Principal Frontage.

Required: The main entrance of the church building and addition must be on the Ridge Road side of the building and should have a pedestrian connection to the door from the street.

Proposed: The existing pedestrian connection from Ridge Road to the church doors is proposed to be removed. No new sidewalk connections are proposed between the Ridge Road façade and the public sidewalk.



Figure 6 Existing pedestrian connection to Ridge Road proposed to be removed.

5. TABLE 26-6.405.B CIVIC ZONE STANDARDS Screens Parking, Loading Areas, Service Areas, Outdoor Storage, Drive-Throughs, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property Required; except at Driveways: Parking Lots and Parking Areas shall be Screened from Frontage and Civic Space by Building or Streetscreen; Parking Structures shall be Screened from Frontages by Liner Buildings. Otherwise, Screening shall be by Building, Wall, hedge or Fence at Frontage or Building, Wall, hedge or Fence not at Frontages or Adjacent to Civic Space.

Required: The parking area must be screened from the residential properties to the south by a six-foot fence or hedge.

Proposed: Some existing residential fences and some intermittent landscaping is already present south of the parking areas.

LIGHTING

1. SECTION 26-6.405.Q.3.a Illumination of Parking Areas, Parking Lots, Parking Structures, and all pedestrian ways shall be provided at an average of 1.0-2.5 footcandles and a minimum of 0.4 foot-candles.

Required: Described above.

Proposed: Areas along the south edge of the east parking lot are illuminated at a level less than 0.4 foot-candles.

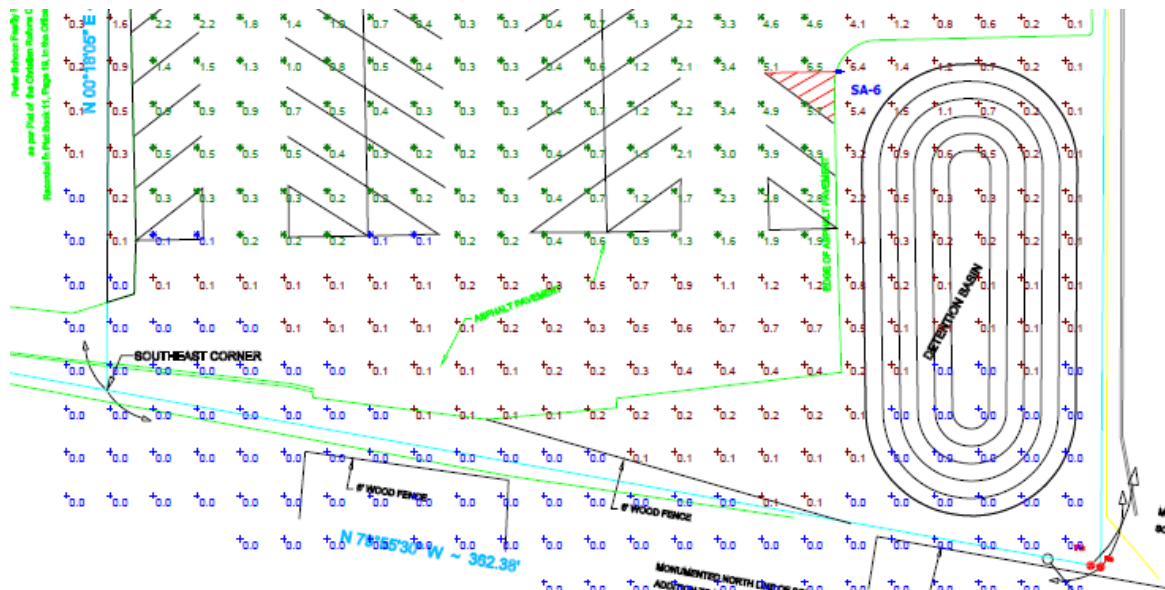


Figure 7 Portions of parking lot not meeting minimum illumination standard

- TABLE 26-6.26-6.405.Q-1 Head/Luminaire Types. Colonial, Coach, and Acorn types permitted.

Required: All new or relocated parking lot light fixtures must be Colonial, Coach, or Acorn types.

Proposed: New and relocated parking lot lights are standard fixtures.


Image	Quantity	Manufacturer	Catalog Number	Description
	6	Lithonia Lighting	DSX1 LED P8 30K T4M MVOLT	DSX1 LED P8 30K T4M MVOLT

Figure 8 Noncompliant light fixture type

LANDSCAPING

- SECTION 26-6.405.O.1.h.vii.l.1) Parking Areas and Parking Lots shall contain at least one landscape island for every ten (10) parking spaces. Parking Lots with more than one landscape island shall have such islands distributed throughout the Parking Lot.

Required: Landscape islands are required to be installed in existing parking lots when a new building is constructed, but the requirement can be waived if they can't be installed without removing required parking spaces. In this case, there are 18 existing areas at the ends of parking rows that can be converted from asphalt to landscape islands.

Proposed: Only three new landscape islands are proposed south of the building addition.

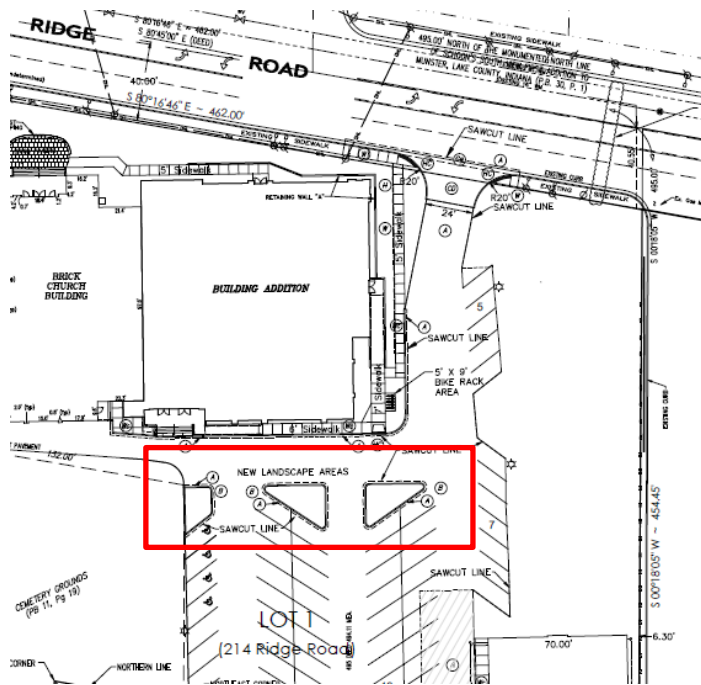


Figure 9 Location of new landscape islands.

2. SECTION 26-6.405.O.1.h.vii.l.2) Interior parking rows shall be terminated at both ends with landscape islands.

Required: Landscape islands are required to be installed in existing parking lots when a new building is constructed, but the requirement can be waived if they can't be installed without removing required parking spaces. In this case, there are 18 existing areas at the ends of parking rows that can be converted from asphalt to landscape islands.

Proposed: Three new landscape islands are proposed south of the building addition.

3. SECTION 26-6.405.O.1.h.vii.l.7) For every 2,000 square feet of Parking Area or Parking Lot, at least one Tree shall be installed or preserved within the Parking Area or Parking Lot except to the extent that Trees outside of the Lot containing the Parking Area or Parking Lot are allowed to satisfy this requirement as set forth below.) Trees outside of the Parking Area or Parking Lot located within twenty feet (20') of the closest portion of such Parking Area or Parking Lot, including but not limited to Trees within Thoroughfare Rights-of-Way and Civic Spaces, may be counted toward satisfying the requirements.

Required: Trees are required to be installed in and along existing parking areas when a new building is constructed, but the requirement can be waived if they can't be installed without removing required parking spaces. The total number of trees within the parking area or within 20 feet of the parking area must be no less than 1 for every 2,000 square feet of parking area.

Proposed: Staff counts 20 trees for the east parking area and 11 for the west parking area, but no calculation of the area of the parking lot is included to determine compliance.

4. SECTION 26-6.405.O.1.h.vii.l.8) 8) No parking space shall be more than seventy-two feet (72') from a Tree within the Lot, as measured from the center of the Tree to the nearest line demarcating the space.

Required: Trees are required to be installed in and along existing parking area when a new building is constructed, but the requirement can be waived if they can't be installed without removing required parking spaces.

Proposed: 9 new trees are proposed in the east parking area, but there appear to be parking spaces in both the east and west parking areas that are farther than 72 feet from a tree.

5. SECTION 26-6.405.S.2 2. Streetscape Repairs, Replacements & Improvements. Prior to the issuance of any Certificate of Occupancy for a Building or Improvement, the following Streetscape improvements, repairs, or replacements shall be provided by the Lot Owner with respect to each Building or Improvement and the Streetscape that Enfronts the applicable Lot:

...

- i. If there is no planter strip or plant well, planting accommodations shall be constructed along the entire Front Lot Line which planting accommodations shall match any existing planter strip or plant well Enfronting an Adjacent Lot, or if there is none, shall conform to Thoroughfare standards for the applicable District or Civic Zone, as set forth in Section 26-6.502 as if such Thoroughfare standards were applicable.
- iii. If there is no Thoroughfare Tree within the Frontage Adjacent to the Lot, one or more Thoroughfare Trees shall be installed along the Front Lot Line, which Trees shall meet the tree shape, spacing, and size standards for the applicable District or Civic Zone as set forth in Section 26-6.502, as if such standards were applicable.
- c. If there is not sufficient public right-of-way area for all or any of the required Streetscape repairs, replacements, or improvements as set forth in this Section 26-6.405.S, such element or elements shall be provided within the Lot Adjacent to the public right-of-way and the property owner shall grant a perpetual non-exclusive easement for public use of such elements.

Required: The planting strip adjacent to the sidewalk should include shade trees planted 30 feet on center. Depending on the spacing, this would require approximately 14 shade trees.

Proposed: 6 new trees are proposed.

RECOMMENDATION

The Plan Commission may wish to consider the following motion:

Motion to approve PC Docket No. 22-007 approving a development plan to permit the construction of an addition to the Munster Church, the construction of a new multipurpose accessory building, and associated site modifications at 214 Ridge Road, with the following conditions:

- 1. Final review and approval of engineering plans by the Munster Town Engineer*
- 2. Approval of the variances submitted to the Munster Board of Zoning Appeals under BZA Docket No. 22-006.*



TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
TEL. NO. (219) 836-8918
WEB SITE: WWW.TORRENGA.COM

MUNSTER CHURCH
214 RIDGE ROAD, MUNSTER, IN 46321
TOPOGRAPHY & EXISTING UTILITIES

DATE: 04-22-2022
REVISIONS:

CURTIS
C/O Pastor Jim Holmstrom
214 Ridge Road
Munster, IN 46321
JOB NO. 2022-5015
SCALE: 1"=30'

SHEET
C-1.0

MUNSTER CHURCH ~ TOPOGRAPHY & EXISTING UTILITIES ~

DESCRIPTION:

LOT 1, MUNSTER COMMUNITY CENTER ADDITION, A PLANNED UNIT DEVELOPMENT IN THE TOWN OF MUNSTER, LAKE COUNTY, INDIANA AS RECORDED IN PLAT BOOK 106, PAGE 19 IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA

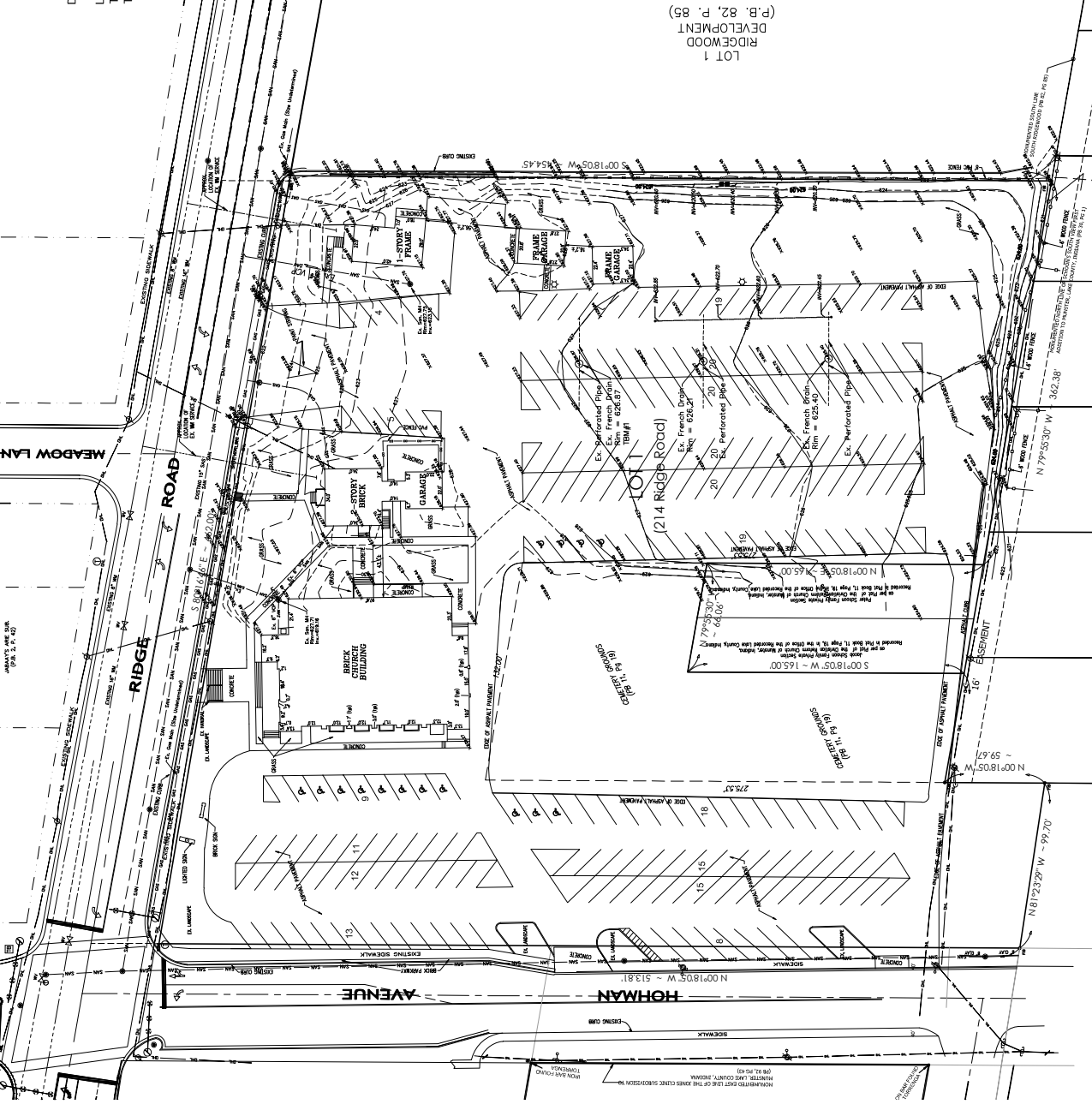
LEGEND

WATER MAIN	--- SW --- SW --- SW ---
WATER VALVE	--- SW --- SW --- SW ---
FIRE HYDRANT	--- SW --- SW --- SW ---
SANITARY SEWER	--- SW --- SW --- SW ---
SANITARY AIR	--- SW --- SW --- SW ---
STORM SEWER	--- SW --- SW --- SW ---
STORM W/1/2" IN	--- SW --- SW --- SW ---
STORM W/1/2" IN	--- SW --- SW --- SW ---
STREET LIGHT	--- SW --- SW --- SW ---
CONTOUR	--- SW --- SW --- SW ---
OVERHEAD ELECTRIC & TELEPHONE WIRES	--- SW --- SW --- SW ---
UNDERGROUND GAS LINES	--- SW --- SW --- SW ---

- NOTE:
1. THE EXISTING TOPOGRAPHY WAS TAKEN FROM TOPOGRAPHIC SURVEYS PERFORMED BY TORRENGA SURVEYING, LLC, 907 RIDGE ROAD, MUNSTER, IN 46321
 2. ALL VERTICAL DATUM IS BASED ON NAVD 88.
 3. THE LOCATION OF EXISTING WATER MAIN SERVICE LINES TO BE VERIFIED BY THE CONTRACTOR.

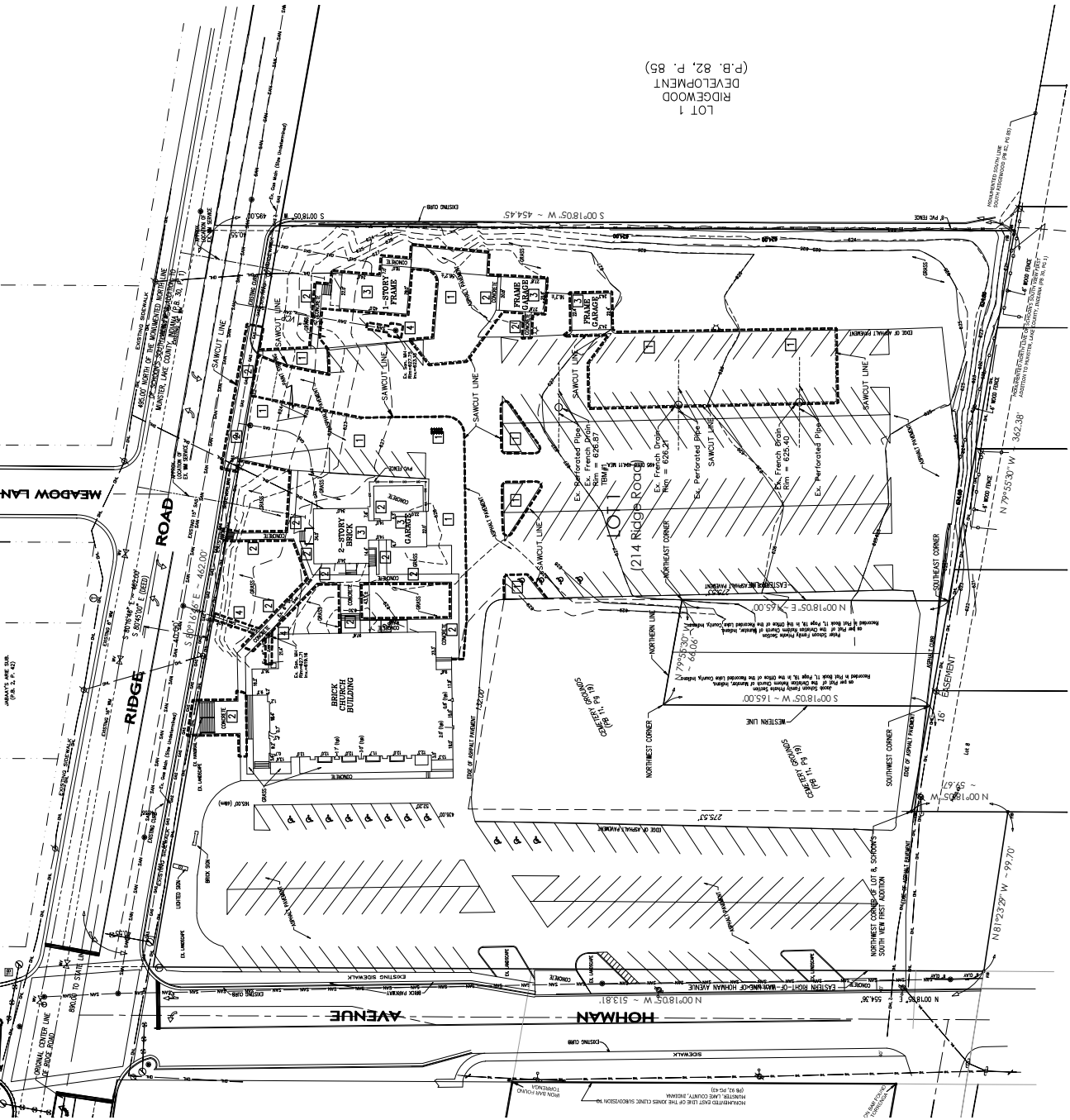
EXISTING PARKING SPACE COUNT
STANDARD SPACES = 217
HANDICAPPED SPACES = 11
TOTAL PARKING SPACE COUNT = 228

BENCHMARK NUMBER	DESCRIPTION AND LOCATION	ELEVATION
1	N. RM EXISTING DRAINAGE STRUCTURE IN EAST PARKING LOT	626.87
2	N. RM EXISTING DRAINAGE STRUCTURE IN EAST PARKING LOT	626.21
3	N. RM EXISTING DRAINAGE STRUCTURE IN EAST PARKING LOT	626.45



LOT 1
RIDGEWOOD
DEVELOPMENT
(P.B. 82, P. 85)

MUNSTER CHURCH
~ DEMOLITION PLAN ~



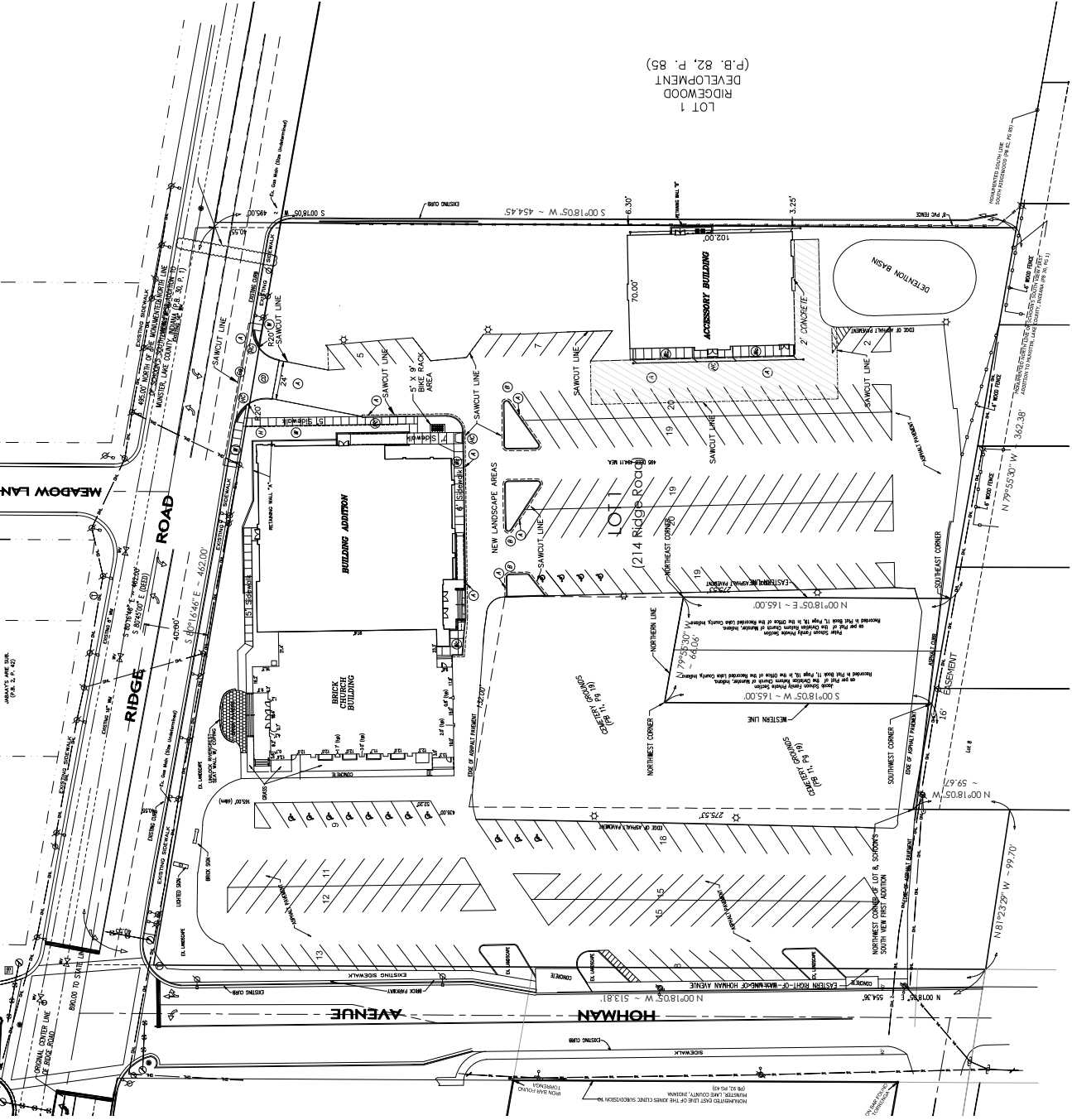
TORRENCE ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No. (219) 836-8918
Web Site: www.torrence.com

MUNSTER CHURCH
214 RIDGE ROAD, MUNSTER, IN 46321
DEMOLITION PLAN

DATE: 04-22-2022
REVISIONS:
06-06-2022

C/S: Pastor Jim Holmstrom
Munster Church
Munster, IN 46321
JOB NO: 2022-5015
SCALE: 1"=30'
SHEET
C-1.1

MUNSTER CHURCH
~ SITE PLAN ~



LEGEND:

- (A) PROPOSED ASPHALT PAVEMENT /PAVEMENT PATCH
- (B) BARRIER CURB
- (HC) HANDICAP ACCESS
- (W) CONCRETE SIDEWALK
- (MC) CONCRETE SIDEWALK & CURB
- (QD) CONCRETE DRIVE APPROACH
- (Gg) CONCRETE CURB GUTTER SECTION
- (H) HAND RAIL/ RAILING
- ☼ PROPOSED STREET LIGHT
- ▨ PROPOSED ASPHALT

NOTES:
1. NEW ACCESSORY BUILDING ROOF PITCH TO BE 8:12

EXISTING PARKING SPACE COUNT	REQUIRED PARKING SPACE COUNT
STANDARD SPACES = 217	SANCTUARY:
HANDICAP SPACES = 11	409 SEATS / 3 = 136 PARKING SPACES
TOTAL PARKING SPACE COUNT = 228	MULTI PURPOSE-BOOM:
PROPOSED PARKING SPACE COUNT	222 SEATS / 3 = 74 PARKING SPACES
STANDARD SPACES = 196	TOTAL PARKING SPACE COUNT = 210
HANDICAP SPACES = 15	
TOTAL PARKING SPACE COUNT = 211	

HANDICAP RAMP NOTES:

- 1) ALL EXISTING HANDICAP RAMPS THAT ARE NOT ADA COMPLIANT SHALL BE REMOVED AND REPLACED.
- 2) ALL SIDEWALK/PATH CROSSINGS REQUIRE DETECTABLE WARNING ELEMENTS WITH ADA COMPLIANT RAMPS TO BE INSTALLED.



SCALE: 1" = 30'
(1" IN PRINT = 30' FT.)



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907 RIDGE ROAD, MUNSTER, INDIANA 46321
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MUNSTER CHRISTIAN REFORMED CHURCH
214 RIDGE ROAD, MUNSTER, IN 46321
SITE PLAN

DATE: 04-22-2022
REVISIONS:

CLIENT:
C/O Pastor Jim Holenderson
Munster Christian Church
214 Ridge Road
Munster, IN 46321
JOB NO: 2022-5015
SCALE: 1" = 30'

MUNSTER CHURCH ~ UTILITIES PLAN ~



LEGEND
EXISTING

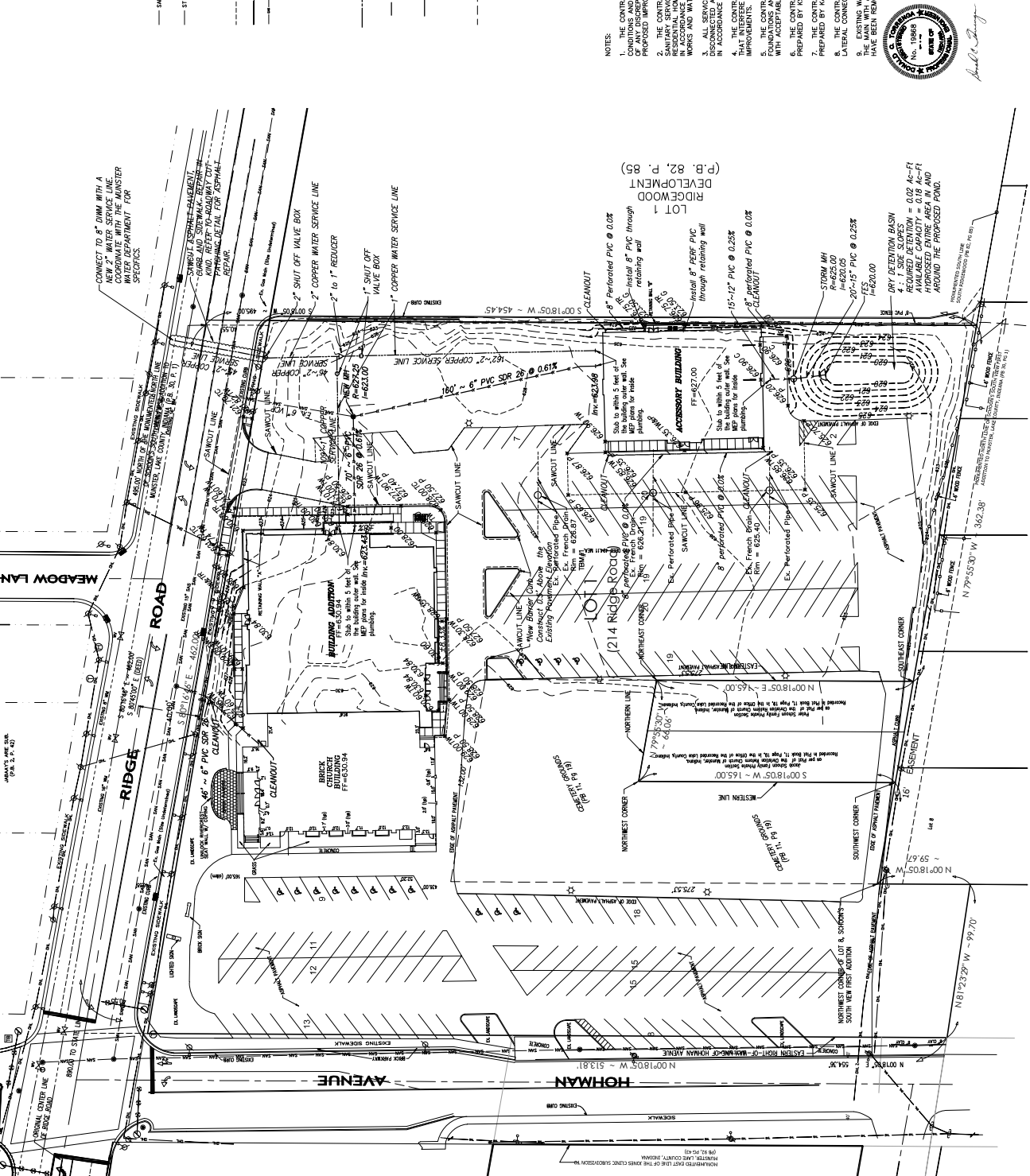
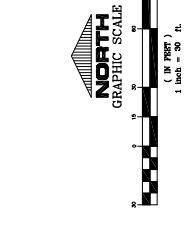
WATER MAIN
WATER VALVE
FIRE HYDRANT
SANITARY SEWER
SANITARY MANHOLE
STORM SEWER
STORM MANHOLE
DRAINAGE ARROWS
STREET LIGHT
CONTOUR
OVERHEAD ELECTRIC & TELEPHONE
UNDERGROUND GAS LINES

LEGEND
PROPOSED

WATER MAIN
STREET LIGHT
SANITARY SEWER
SANITARY MANHOLE
STORM SEWER
STORM MANHOLE
DRAINAGE ARROWS
GRADES
CONTOUR
TOP OF WALK
TOP OF CURB
TOP OF RETAINING WALL
PAVEMENT
CONCRETE
GROUND

NOTES:

- THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING SITE CONDITIONS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND ALL PROPOSED IMPROVEMENTS IN THE CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL REMOVE THE EXISTING WATER SERVICE, SANITARY SEWER, AND STORM SEWER LATERALS BEING DISCONNECTED FROM THE MAINS OF THE TOWN OF MUNSTER. THE DISCONNECT SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S WORKS AND WATER DEPARTMENT.
- ALL SERVICE LINES (ELECTRIC, GAS AND CABLE TV) SHALL BE DISCONNECTED AND REMOVED. THE METHOD OF REMOVAL SHALL BE MADE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S WORKS AND WATER DEPARTMENT.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING TREES AND SHRUBS THAT INTERFERE WITH THE PROPOSED BUILDING AND PARKING LOT IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING STRUCTURAL FILL MATERIAL AND TO REPAIR ANY BASEMENT AREAS WITH ACCEPTABLE STRUCTURAL FILL MATERIAL.
- THE CONTRACTOR SHALL REFER TO THE LIGHTING PLAN PREPARED BY KSA LIGHTING FOR PROPOSED LIGHTING.
- THE CONTRACTOR SHALL REFER TO THE LANDSCAPING PLAN PREPARED BY KSA LANDSCAPING FOR PROPOSED LANDSCAPING.
- THE CONTRACTOR SHALL REMOVE THE EXISTING 6" SANITARY SEWER LATERAL BEING DISCONNECTED FROM THE MAIN OF THE TOWN OF MUNSTER. THE DISCONNECT SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S WORKS AND WATER DEPARTMENT.
- EXISTING WATER MAIN SERVICE LATERALS ARE TO BE CAPPED AT THE MAIN WITH A FORD ABANDONED CORPORATION CAP AFTER THEY HAVE BEEN REMOVED.



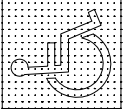


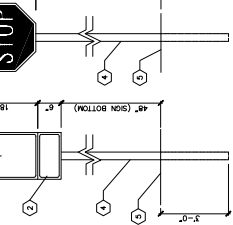
Figure 4.30
INTERNATIONAL SYMBOL OF
ACCESSIBILITY PROPORTIONS
NOT TO SCALE



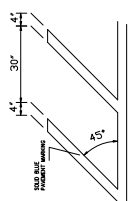
RESERVED PARKING
NOT TO SCALE



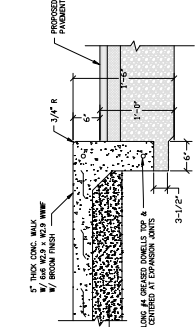
STOP SIGN
NOT TO SCALE



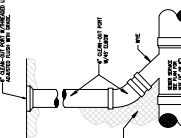
SIGN AND POST (FREE STANDING)
NOT TO SCALE



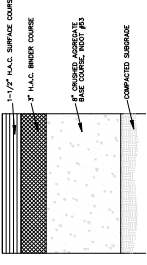
ACCESSIBILITY AND PARKING
STRIPING DETAIL
NOT TO SCALE



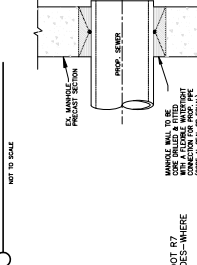
CURB-WALK SECTION
NOT TO SCALE



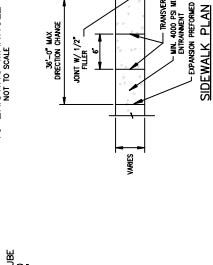
CLEAN-OUT
NOT TO SCALE



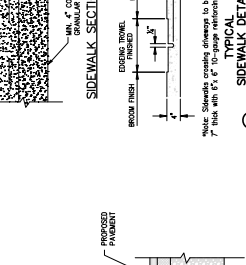
TYPICAL PAVEMENT
SECTION
NOT TO SCALE



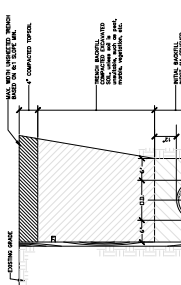
PIPE CONNECTION DETAIL
TO EXISTING MANHOLE
NOT TO SCALE



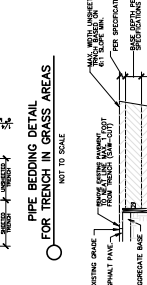
SIDEWALK PLAN
NOT TO SCALE



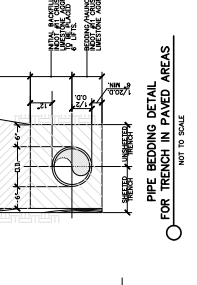
SIDEWALK SECTION
NOT TO SCALE



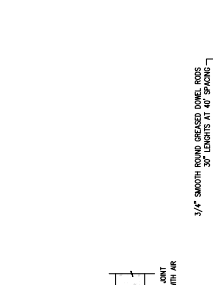
PIPE BEDDING DETAIL
FOR TRENCH IN GRASS AREAS
NOT TO SCALE



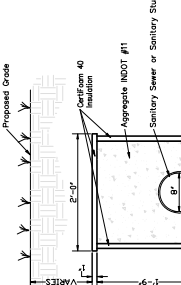
PIPE BEDDING DETAIL
FOR TRENCH IN PAVED AREAS
NOT TO SCALE



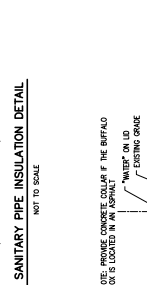
COMBINED CONCRETE HIGH-BACK
CURB AND GUTTER
NOT TO SCALE



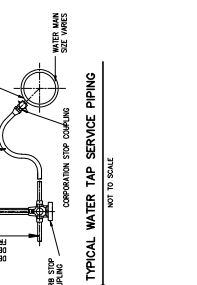
BARRIER CURB DETAIL
TOP & BOTTOM
NOT TO SCALE



SANITARY PIPE INSULATION DETAIL
NOT TO SCALE



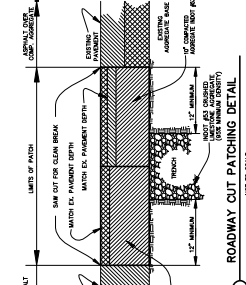
TYPICAL WATER TAP SERVICE PIPING
NOT TO SCALE



ROADWAY CUT PATCHING DETAIL
NOT TO SCALE



DETENTION AREA
CROSS-SECTION
NOT TO SCALE



ROOF DRAIN PIPE CONNECTION
(DOWN SPOUT)
NOT TO SCALE

- SPECIFICATIONS FOR STORM SEWERS**
1. All work shall be performed in accordance with the Codes, Ordinances and Standards of the Town of Munster, Lake County, Indiana.
 2. All storm sewer pipe, branches and fittings shall conform to either of the following: (A) Polyvinyl chloride (PVC) pipe (ASTM D-3034) with push on rubber gasket joints (ASTM C-2212 for pipe 15" or less in diameter or under or (B) Extra strength vitrified clay pipe (ASTM C-770) with ball and socket push-on rubber gasket joints (ASTM C-425) or (C) Reinforced concrete pipe (ASTM C-770) with ball and socket or tongue and groove joints. When 15" reinforced concrete pipe shall be used for pipes 15" diameter or under and shall be used for lines 15" and over.
 3. Gasketed joints shall be used on all storm sewers.
 4. Storm sewers 18" to 27" with less than 3' cover shall be Class IV pipe.
 5. All storm sewer manholes shall be standard precast concrete units (ASTM C-770) conforming to the standard detail sheet of these plans.
 6. All improvements installed across paved or future paved areas shall be backfilled with sand or graded stone aggregate to the subgrade.
 7. All manholes shall be at least 18" in diameter (18" for 18" pipe) and shall be constructed of concrete or masonry. The distance shall be measured from the outside of the manhole to the outside of the pipe. The distance shall be measured from the outside of the manhole to the outside of the pipe. The distance shall be measured from the outside of the manhole to the outside of the pipe.
 8. The Contractor is responsible for the preparation of "As Built" construction drawings showing actual sizes and lengths of pipe installed (See from manhole to manhole or to a valve, etc.), location of service taps and any structures added or omitted in comparison with the original plans. The Contractor shall submit the "As Built" drawings to the Town of Munster for review and approval. The original "As Built" drawings shall be submitted to the Town of Munster for review and approval. The original "As Built" drawings shall be submitted to the Town of Munster for review and approval.
 9. All alterations being constructed shall be in accordance with the Town of Munster's Proposed Information Specifications. Any difference between Munster's Specifications and these engineering drawings shall be brought to the attention of the Engineer immediately for review.
 10. Dropped 18" pipe will be provided at all end sections, to produce a surface of approximate regularity. The finished surface shall not vary by more than 9 inches and the depth of drop-pipe shall not be less than 12 inches nor more than 24 inches.
 11. No storm sewer manhole, catch basin and inlet shall be within eight (8) feet of a water main as measured from the outside edge of the storm sewer manhole, catch basin and inlet to the outside edge of the water main.

12. All storm sewer manholes shall be standard precast concrete units (ASTM C-770) conforming to the standard detail sheet of these plans.

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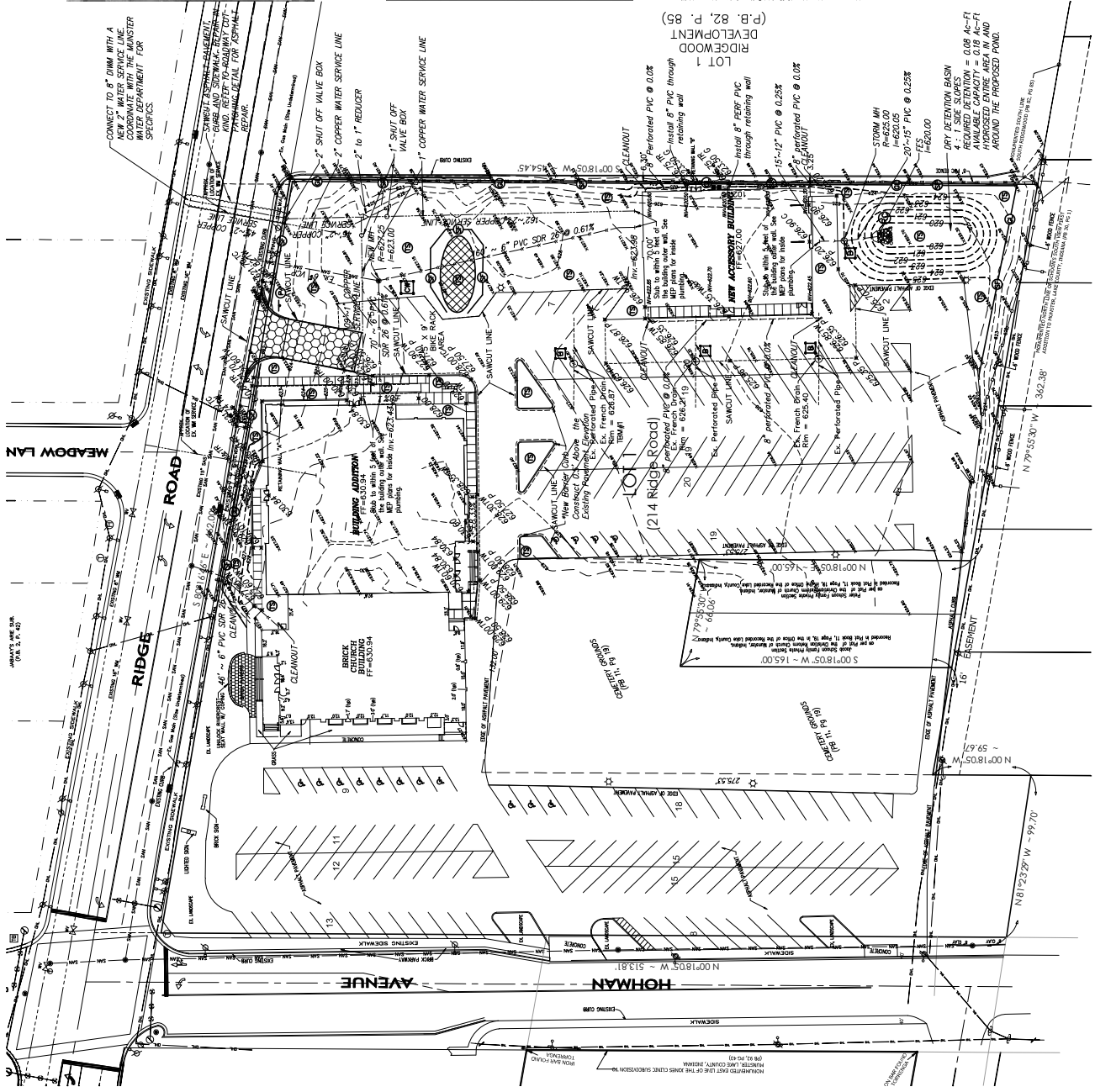
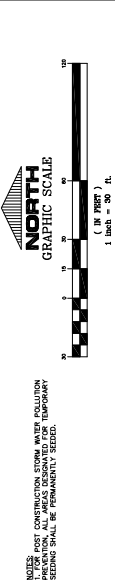
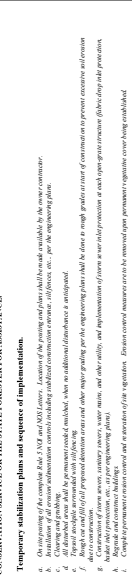
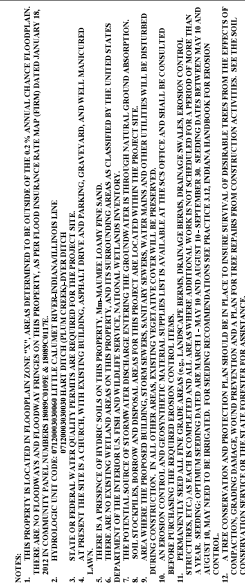
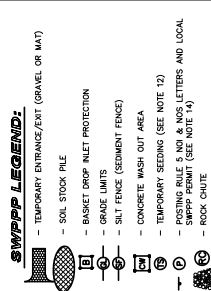
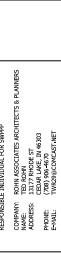
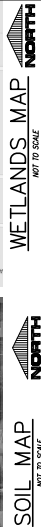
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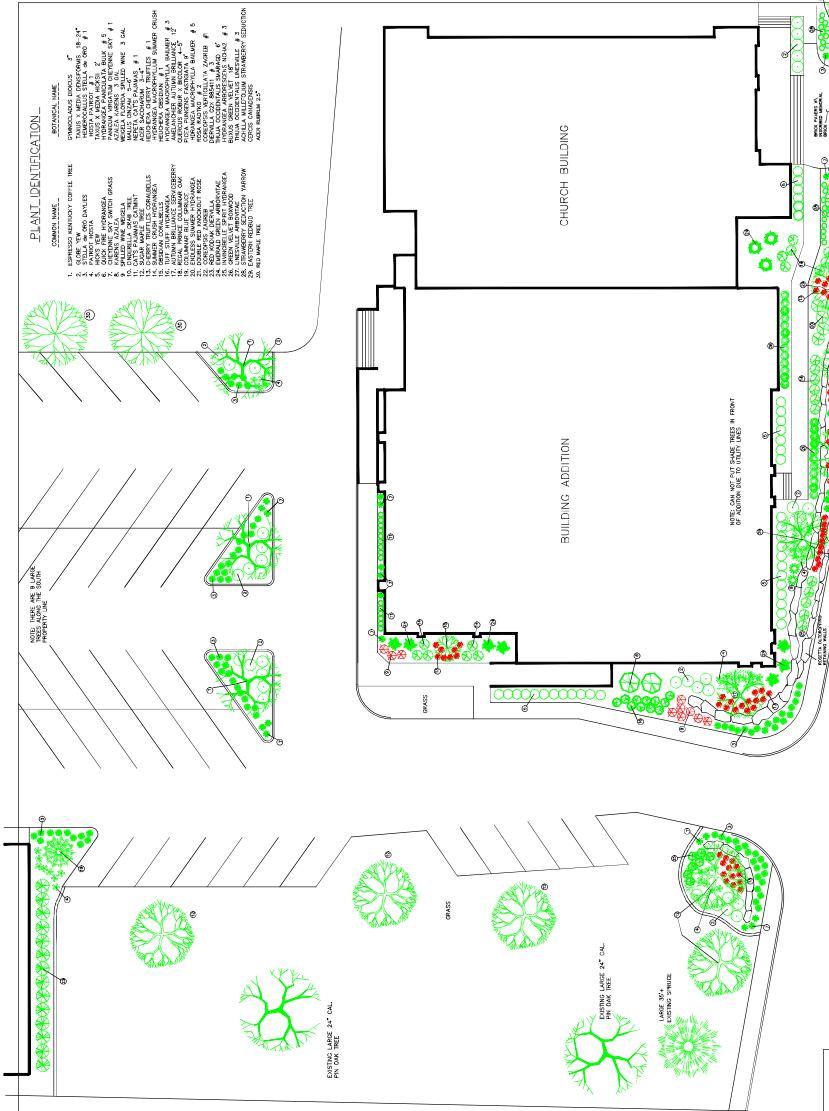
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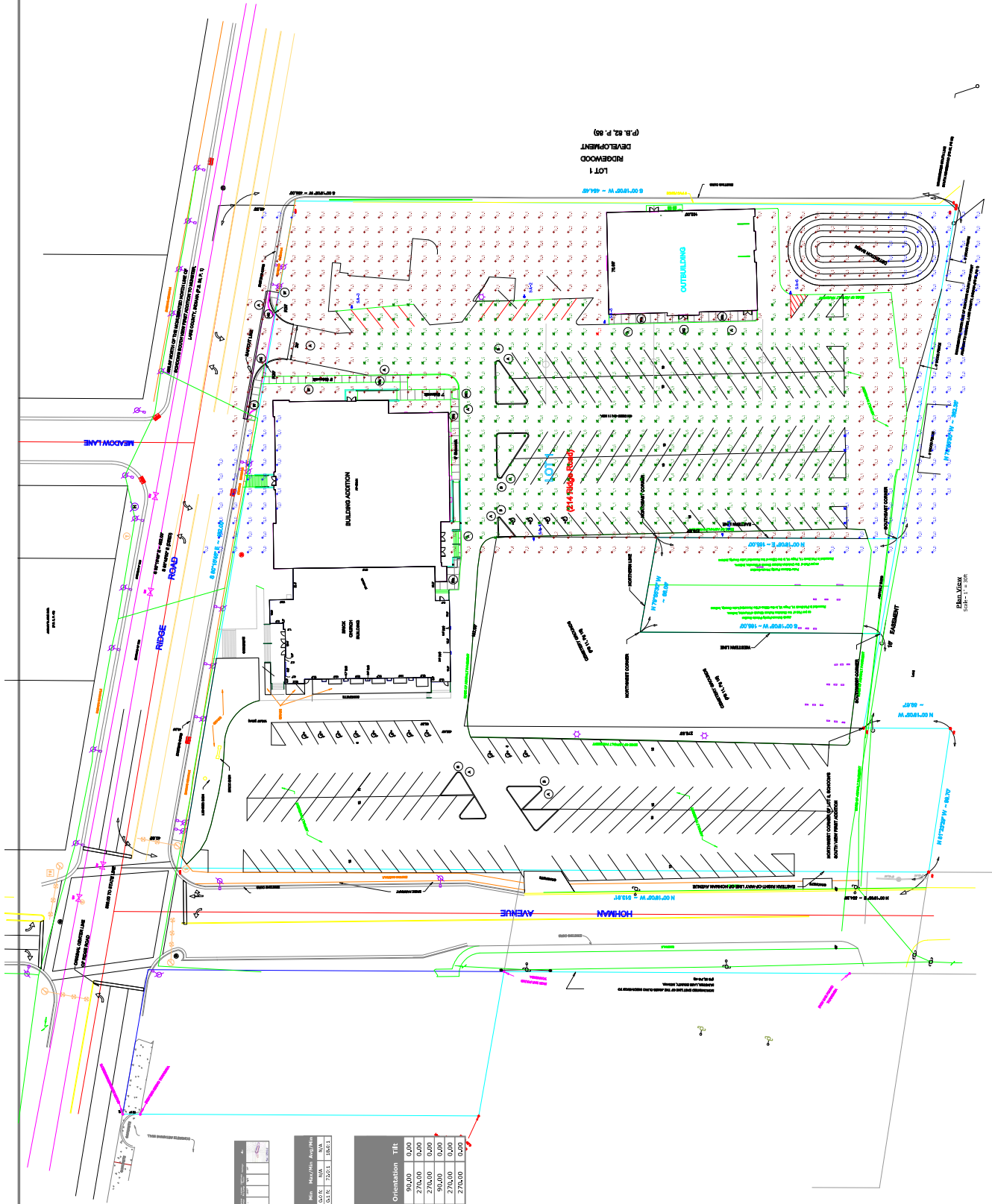




PLANT IDENTIFICATION

COMMON NAME	SYMBOL	SYMBOL NAME
1. ASPEN	1	ASPEN
2. BIRCH	2	BIRCH
3. CEDAR	3	CEDAR
4. CHERRY	4	CHERRY
5. CYPRESS	5	CYPRESS
6. DOGWOOD	6	DOGWOOD
7. ELM	7	ELM
8. GUM	8	GUM
9. HICKORY	9	HICKORY
10. KUMAR	10	KUMAR
11. LARCH	11	LARCH
12. MAPLE	12	MAPLE
13. PINE	13	PINE
14. REDWOOD	14	REDWOOD
15. SAGE	15	SAGE
16. SPRUCE	16	SPRUCE
17. WALNUT	17	WALNUT
18. YEW	18	YEW
19. BIRCH	19	BIRCH
20. CEDAR	20	CEDAR
21. CHERRY	21	CHERRY
22. CYPRESS	22	CYPRESS
23. DOGWOOD	23	DOGWOOD
24. ELM	24	ELM
25. GUM	25	GUM
26. HICKORY	26	HICKORY
27. KUMAR	27	KUMAR
28. LARCH	28	LARCH
29. PINE	29	PINE
30. REDWOOD	30	REDWOOD
31. SAGE	31	SAGE
32. SPRUCE	32	SPRUCE
33. WALNUT	33	WALNUT
34. YEW	34	YEW

K & D LANDSCAPE INDUSTRIES, INC.
MUNSTER CHRISTIAN REFORMED CHURCH
MUNSTER, IN
NEW ADDITION - EAST SIDE
SCALE: 1" = 12' DATE: 6/1/2022



Statistics
City Zone Data Site
City Zone Training Data

Description	Symbol	Angle	Size	Min	Max	Angle	Min	Max
City Zone Data Site	+	11.1°	12.5°	12.5°	12.5°	12.5°	12.5°	12.5°
City Zone Training Data	x	1.0°	1.0°	1.0°	1.0°	1.0°	1.0°	1.0°

Luminaire Locations				
No.	Label	X	Y	Orientation
1	SA	4156.60	4702.40	20.00
2	SA	4332.00	4843.50	20.00
3	SA	4324.70	4962.00	20.00
4	SA	4163.50	4837.00	20.00
5	SA	4314.40	4798.30	20.00
6	SA	4334.20	4665.70	20.00

CATH. 3716" = 1.0°

EXTERIOR FINISH NOTES

SEE STRUCTURAL DRAWINGS FOR Lintel SIZES AND LOCATIONS

BUILDING ELEVATION	AREA OF PACKAGE	AREA OF VOIDS	VOID PERCENTAGE
NORTH	2,000 SQ. FT.	740 SQ. FT.	40%
SOUTH	2,221 SQ. FT.	811 SQ. FT.	36%
EAST	2,220 SQ. FT.	221 SQ. FT.	10%
TOTALS	6,489 SQ. FT.	1,880 SQ. FT.	29%

NOTE:
AVERAGE FACADE PROPORTIONS RATIO = 1:4

EXTERIOR FINISH NOTES

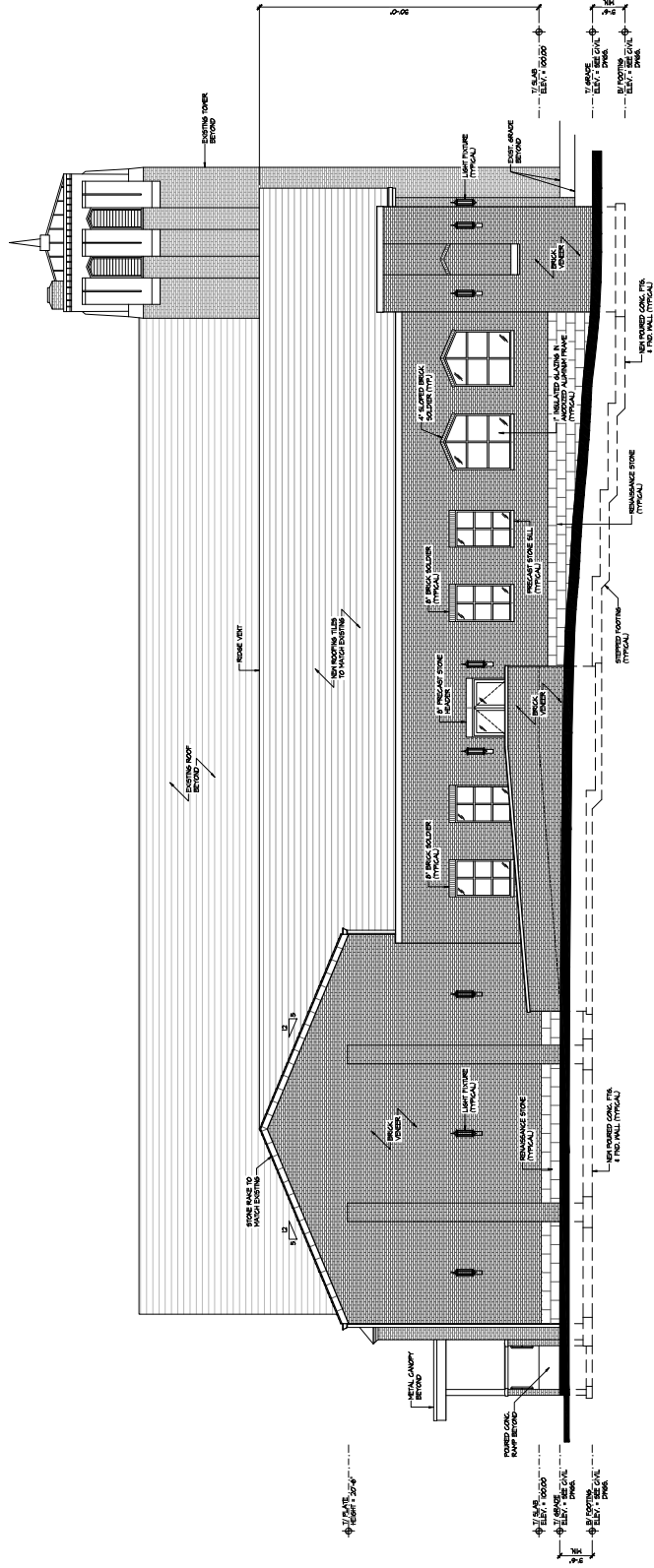
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EXTERIOR FINISH SCHEDULE

[illegible]

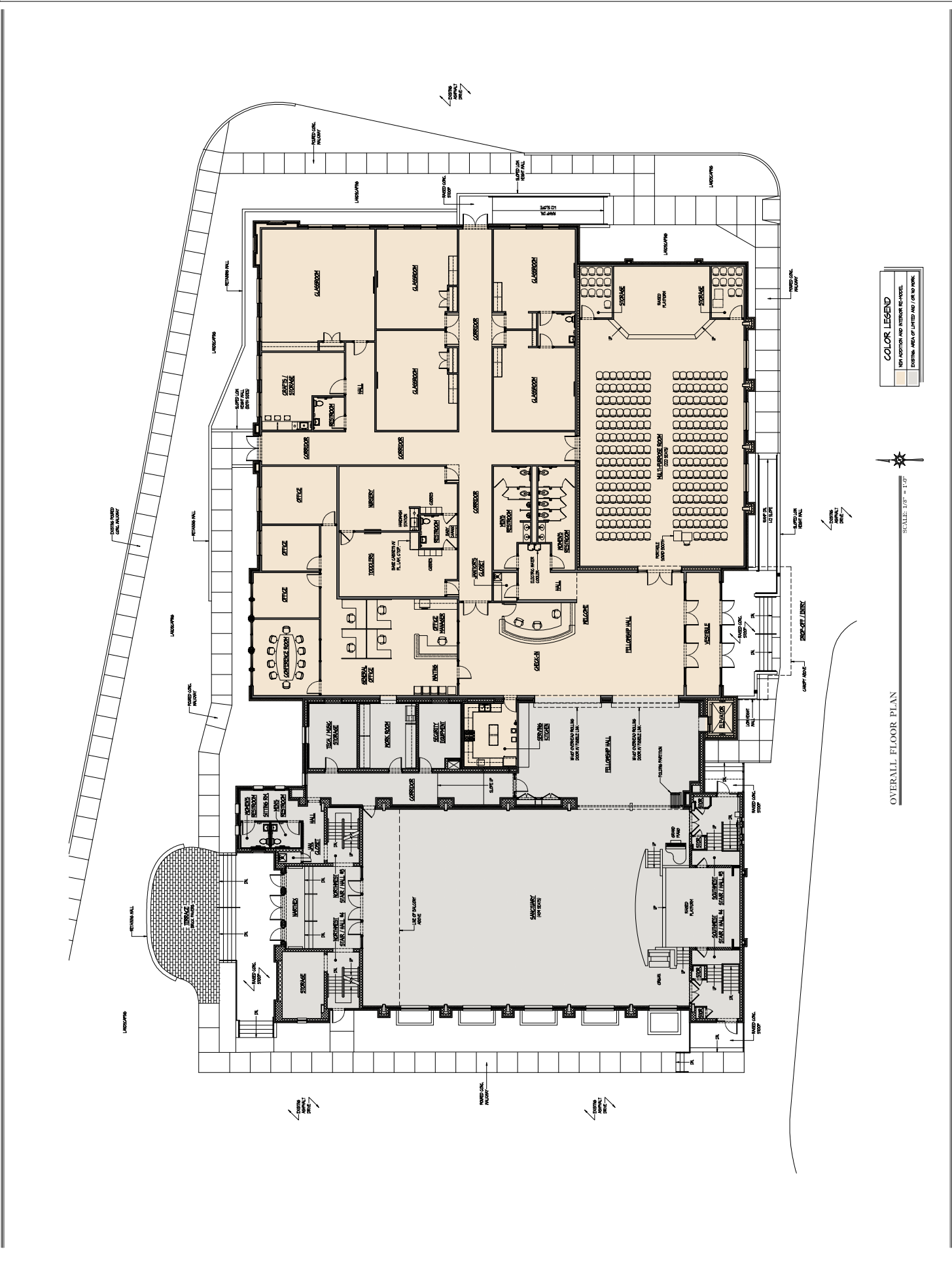
NOTES:

1. INSTALLER TO SUBMIT FINISH SAMPLES FOR APPROVAL BY ARCHITECT PRIOR TO INSTALLATION.
2. TYPE OF MORTAR TO BE USED AT LOCATIONS WHERE MASONRY IS IN CONTACT WITH THE GROUND OR AT TOP OF FOUNDATION WALL.



EAST ELEVATION

SCALE: 3/16" = 1'-0"



NO.	DATE	DESCRIPTION
1	10/20/21	AS BUILT
2	10/20/21	REVISION
3	10/20/21	REVISION
4	10/20/21	REVISION
5	10/20/21	REVISION
6	10/20/21	REVISION
7	10/20/21	REVISION
8	10/20/21	REVISION
9	10/20/21	REVISION
10	10/20/21	REVISION
11	10/20/21	REVISION
12	10/20/21	REVISION
13	10/20/21	REVISION
14	10/20/21	REVISION
15	10/20/21	REVISION
16	10/20/21	REVISION
17	10/20/21	REVISION
18	10/20/21	REVISION
19	10/20/21	REVISION
20	10/20/21	REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
REVISIONS REQUIRED

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Drawing may not be reproduced or copied without
written consent of the architect.

ROHN ASSOCIATES
ARCHITECTS & PLANNERS
13177 RHODE STREET
CEDAR LAKE, IN 46303
PHONE: (708) 906-4670



MUNSTER CHURCH
214 RIDGE ROAD
MUNSTER, INDIANA 46321

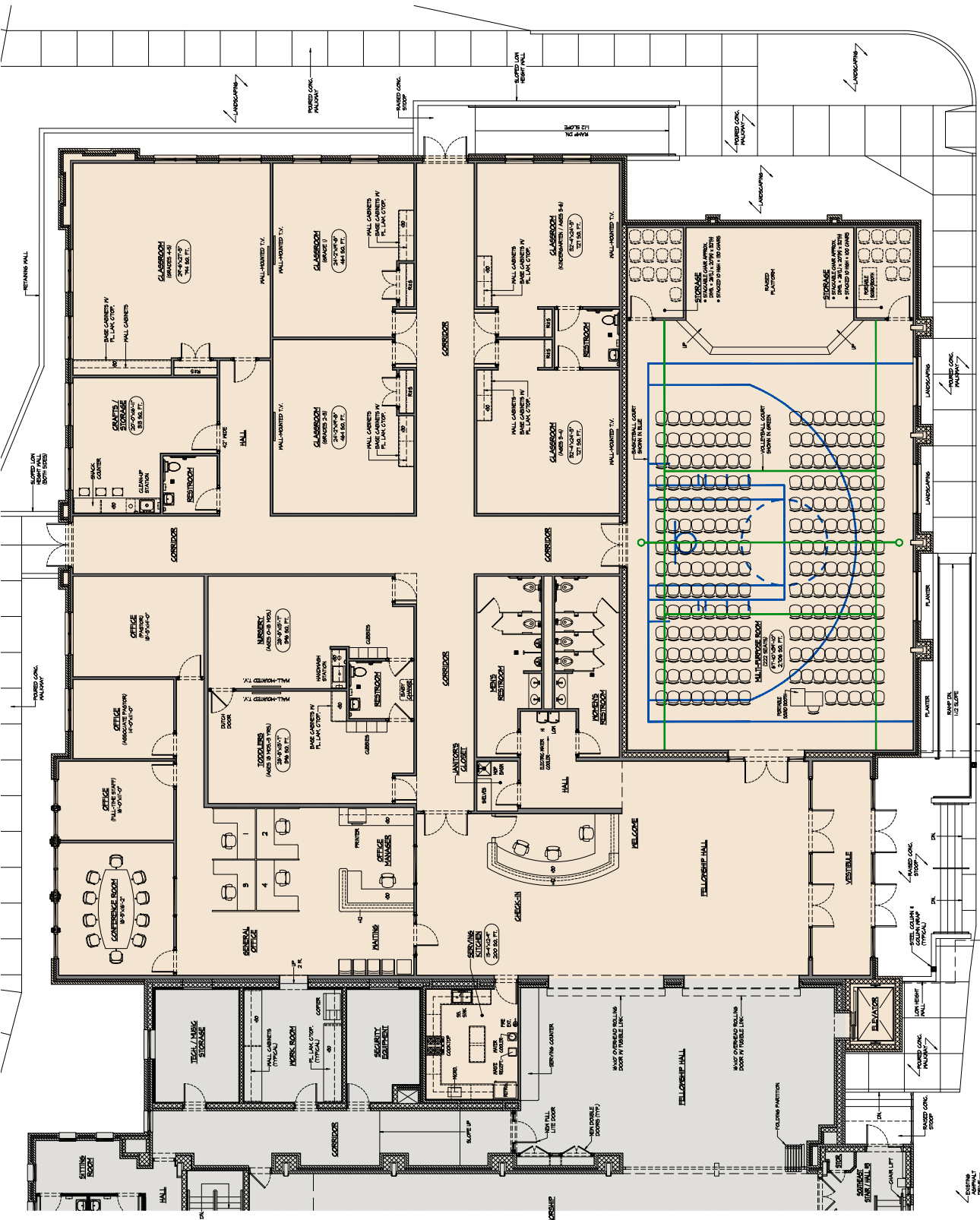
COLOR LEGEND

NEW ADDITION AND INTERIOR RE-MODEL
EXISTING AREA OF UNITED AM & W TO YORK



SCALE: 3/16" = 1'-0"

FLOOR PLAN





MUNSTER CHURCH



MUNSTER CHURCH

EXTERIOR FINISH NOTES

SEE STRUCTURAL DRAWINGS FOR Lintel SIZES AND LOCATIONS

GLAZING SQ. FT. AREA SCHEDULE			
BUILDING ELEVATION	AREA OF PACKAGE	AREA OF GLAZING	GLAZING PERCENTAGE
NORTH	1263 SQ. FT.	216 SQ. FT.	17%
SOUTH	1263 SQ. FT.	0 SQ. FT.	0%
EAST	1266 SQ. FT.	98 SQ. FT.	8%
WEST	1900 SQ. FT.	103 SQ. FT.	5%

THERMAL AND MOISTURE

[illegible]

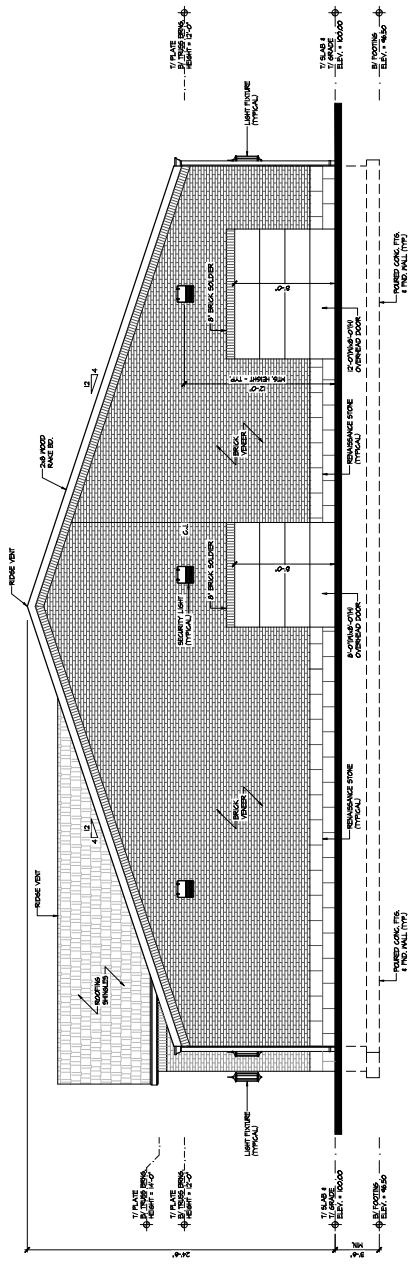
EXTERIOR FINISH SCHEDULE

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NOTES:

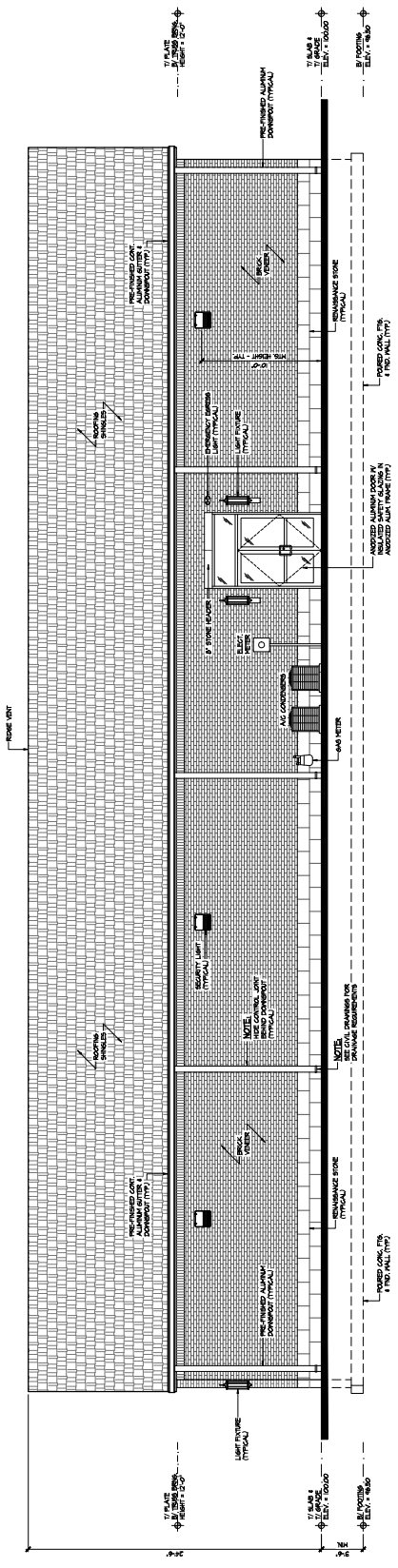
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2. TYPE "N" MORTARS TO BE USED AT LOCATIONS WHERE MASONRY IS IN CONTACT WITH THE GROUND OR AT THE JOINT OF FOUNDATIONAL WALL.

SOUTH ELEVATION

SCALE: $1/4^{\circ} = 1.0^{\circ}$ 

EAST ELEVATION

SCALE: 1/4" = 1'-0"

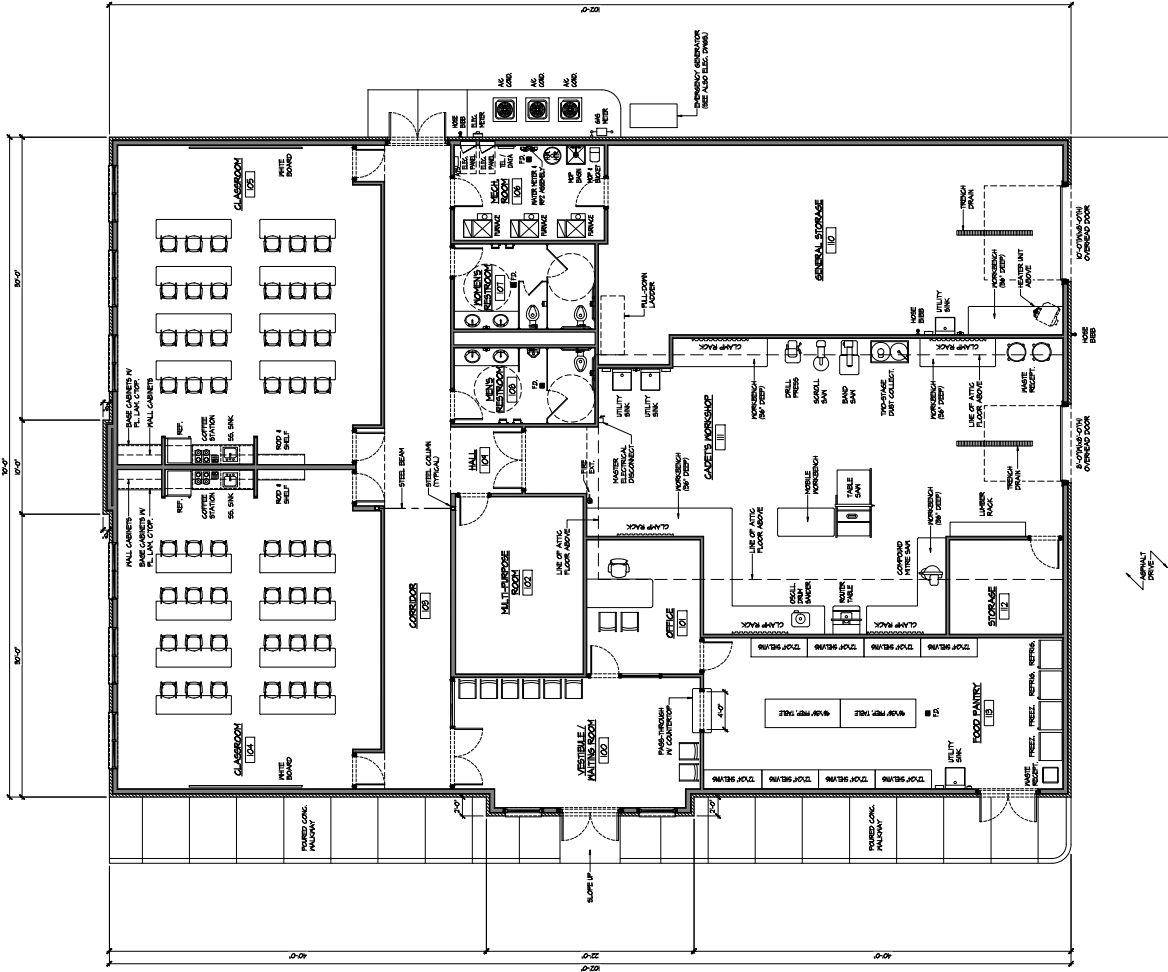


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NOT FOR CONSTRUCTION
REVISIONS REQUIRED**

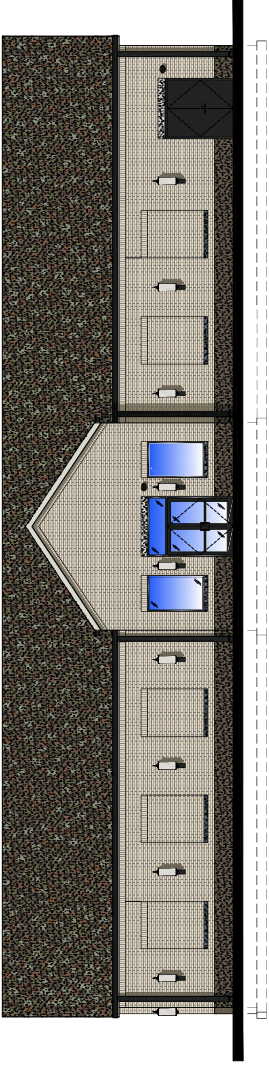
ROHN ASSOCIATES
ARCHITECTS & PLANNERS
13177 RHODE STREET
CEDAR LAKE, IN 46303
PHONE: (708) 906-4670

MUNSTER CHURCH
214 RIDGE ROAD
MUNSTER, INDIANA 46321



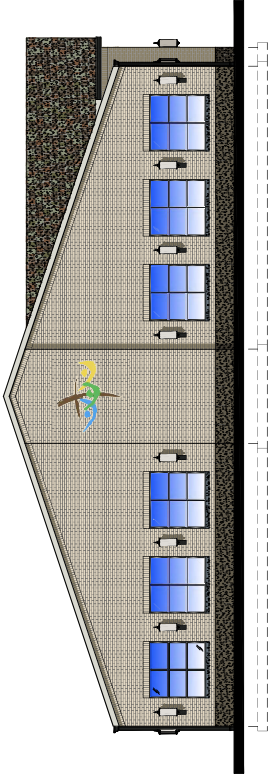
FLOOR PLAN
7,191 SQUARE FEET
SCALE: 3/16" = 1'-0"

DATE FOR:		DATE FOR:
03/22/23	AS-BUILT	
04/22/23	REV. 1	
05/22/23	REV. 2	
06/22/23	REV. 3	
07/22/23	REV. 4	
08/22/23	REV. 5	
09/22/23	REV. 6	
10/22/23	REV. 7	
11/22/23	REV. 8	
12/22/23	REV. 9	
01/22/24	REV. 10	
02/22/24	REV. 11	
03/22/24	REV. 12	
04/22/24	REV. 13	
05/22/24	REV. 14	
06/22/24	REV. 15	
07/22/24	REV. 16	
08/22/24	REV. 17	
09/22/24	REV. 18	
10/22/24	REV. 19	
11/22/24	REV. 20	
12/22/24	REV. 21	
01/22/25	REV. 22	
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05/22/25	REV. 26	
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07/22/25	REV. 28	
08/22/25	REV. 29	
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10/22/25	REV. 31	
11/22/25	REV. 32	
12/22/25	REV. 33	
01/22/26	REV. 34	
02/22/26	REV. 35	
03/22/26	REV. 36	
04/22/26	REV. 37	
05/22/26	REV. 38	
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07/22/26	REV. 40	
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11/22/26	REV. 44	
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01/22/27	REV. 46	
02/22/27	REV. 47	
03/22/27	REV. 48	
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06/22/31	REV. 99	
07/22/31	REV. 100	



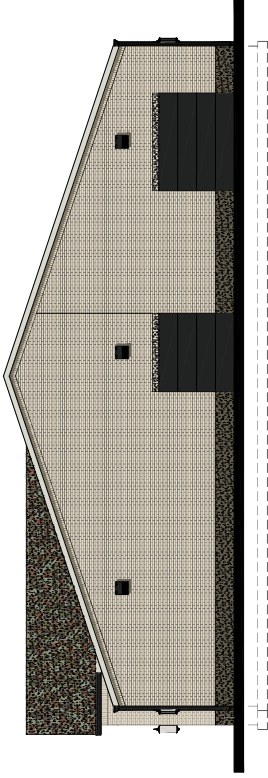
WEST ELEVATION

SCALE: 3/16" = 1'-0"



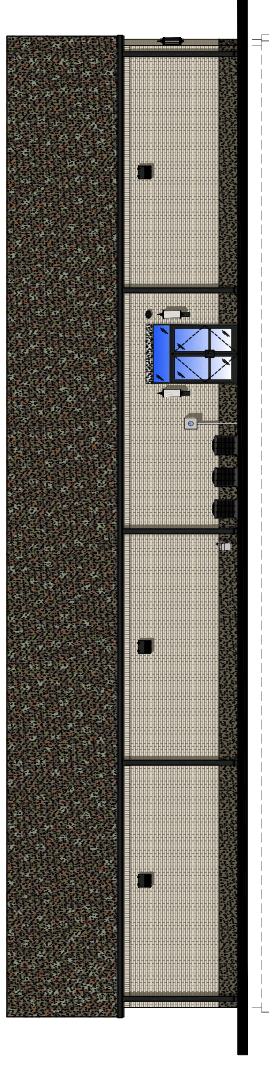
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

Torrenga Engineering, Inc.

REGISTERED PROFESSIONAL ENGINEERS

**907 RIDGE ROAD
MUNSTER, INDIANA 46321**

www.torrenga.com

Office (219) 836-8918

Fax (219) 836-1138

June 3, 2022

Tom Vander Woude, Planning Director
Town of Munster
1005 Ridge Road
Munster, IN 46321

Subject: Munster Church Addition
Zoning Review Comments

The following are responses to the comments per the May 17, 2022 email:

Parking

1. TABLE 26-6.405.O-1 VEHICULAR PARKING REQUIREMENTS Place of Worship: 1 per 3 auditorium seats + adequate bus space for activities of institution + passenger loading space. **Number of seats in church not shown on plans. This is needed to determine required parking.**

Response: The number of seats in the sanctuary has been added to the Site Plan, Sheet C-2.0, and the required number of spaces has been added as well.

2. TABLE 26-6.405.O-1 VEHICULAR PARKING REQUIREMENTS Place of Assembly: .3 spaces per capacity determined by Town Fire Chief. **Occupancy of accessory building not shown on plans. This is needed to determine required parking.**

Response: The number of seats in the new accessory building has been added to the Site Plan, Sheet C-2.0, and the required number of spaces has been added as well.

3. TABLE 26-6.405.O-6 BICYCLE PARKING REQUIREMENTS 1 bike parking space required per 5000 sf of floor area. **No bike parking shown.**

Response: A 5' x 9' bike rack area has been added near the south east corner of the new building addition at the edge of the sidewalk as can be seen on the Site Plan, Sheet C-2.0.

Additional Note: Accessory Structure Standards

1. My interpretation of the Munster zoning ordinance is that the CIVIC DISTRICT building standards do not apply to the Munster CRC Outbuilding if it is classified as an Accessory Building. The Plan Commission may rule that these standards do apply to accessory buildings, in which case the only applicable standard is the requirement that the roof pitch be 8:12 – 14:12.

Response: A note has been added to the Site Plan, Sheet C-2.0, that notes that the pitch of the new accessory building's roof is to be 8:12.

*Every effort has been made to meet the requirements stated in the comments.
Enclosed are the revised Engineering Plans and other information pertaining to the project.*

Sincerely,

A handwritten signature in black ink, reading "Donald C. Torrenge". The signature is fluid and cursive, with the first name "Donald" and last name "Torrenge" clearly legible.

Donald C. Torrenge, P.E.
Torrenge Engineering, Inc.

SENT VIA EMAIL



To: Don Torrenga
From: Tom Vander Woude, Planning Director
Date: May 17, 2022
Re: Munster Church Addition
Cc: Jill DiTommaso, Town Engineer

I've conducted a zoning review of the plan set for the Munster Christian Reformed Church addition submitted via email on April 22, 2022. Additional engineering comments may be forthcoming. Please address the following:

CIVIC ZONE BUILDING AND LOT STANDARDS

1. TABLE 26-6.405.B CIVIC ZONE STANDARDS Façade Position – required to be parallel to straight Frontage Line or to tangent of curved Frontage Line. ***Building does not meet standard.***
VARIANCE REQUESTED
2. TABLE 26-6.405.B CIVIC ZONE STANDARDS Façade Design Proportions - Must be based approximately either on (a) proportions that can be expressed as a fraction using whole numbers (e.g. 1:1, 2:1, 3:2, 4:3, etc) or (b) the following proportions: 1.414:1 or 1.618:1.
Building proportions are not identified on drawings. This is needed to determine if standard is met. Proportion added to exterior elevation sheet
3. TABLE 26-6.405.B CIVIC ZONE STANDARDS Facade Void Area – required to be 20-60% of total Facade area. ***Façade void area calculation is not shown on drawings. This is needed to determine if standard is met.*** Calculations added to exterior elevation sheets. Accessory building compliance is not regulated
4. TABLE 26-6.405.B CIVIC ZONE STANDARDS Roof Type and Pitch - Pitch, if any 8:12 - 14:12. ***Roof pitch of church building addition is not identified on the plans. This is needed to determine if standard is met.*** VARIANCE REQUESTED FOR MULTI-PURPOSE PITCH ROOF. Roof pitches added to the exterior elevations. The roof pitch on the multi-purpose needs to be as drawn so that the roof ridge is not taller than the main north/south roof ridge. Accessory building not regulated.
5. TABLE 26-6.405.B CIVIC ZONE STANDARDS Main Entrance must be in Facade of Principal Frontage. ***There is no pedestrian access from Ridge Road to the entrances on the north side of the building.*** VARIANCE REQUESTED. The existing main entry has stairs leading to the existing walkway at Ridge Road. The church stated that nobody uses this entry and is somewhat dangerous because the walk is up against the road. They want to beautify this area by removing the existing stairs and replacing with a patio that can be used for safe gathering space for the members and for people attending special events such as a wedding. A new walk on the east

side of the addition has been added to give ADA access from Ridge Road to the rear and side entrances.

LIGHTING

1. SECTION 26-6.405.Q.2.b A lighting standard shall be of a height and design consistent with the surrounding area Buildings but in no event higher than twenty feet (20'). **New or relocated light poles are shown to be 25 feet tall. Light poles have been reduced in height to 20 ft.**
2. SECTION 26-6.405.Q.3.a Illumination of Parking Areas, Parking Lots, Parking Structures, and all pedestrian ways shall be provided at an average of 1.0-2.5 footcandles and a minimum of 0.4 foot-candles. **Areas of the parking lot and the sidewalk do not meet the minimum illumination standard. Lighting plan adjusted to comply with item 6 below. There are a few locations that fall slightly under the .4 foot-candle minimum near the rear of the parking lot. This is the only way to keep the light from bleeding over the property line.**
3. SECTION 26-6.405.Q.3.c Color temperature of lighting shall not exceed 3000K. **New wall sconces and new or relocated parking lot lights exceed the maximum color temperature at 3500K and 4000k, respectively. Light fixture specs and colors adjusted to comply**
4. SECTION 26-6.405.Q.4 Lighting fixtures must be full cut off or fully shielded and directed down. **New wall sconces and new or relocated parking lot lights are not full cut off and are not directed down. Light fixture spec adjusted to comply**
5. Illumination at lot line. **The photometric plan shows light bleeding into the residential properties to the south. Lighting plan adjusted to comply**
6. TABLE 26-6.26-6.405.Q-1 Head/Luminaire Types. Colonial, Coach, and Acorn types permitted. **New or relocated parking lot lights are not a permitted type. VARIANCE REQUESTED**

LANDSCAPING

1. SECTION 26-6.405.O.1.h.vii.l.1) Parking Areas and Parking Lots shall contain at least one landscape island for every ten (10) parking spaces. Parking Lots with more than one landscape island shall have such islands distributed throughout the Parking Lot. **Only three parking lot islands are provided. VARIANCE REQUESTED.. Adding the amount of islands required for compliance within an existing parking lot would reduce the number of parking spaces and result in non-conformance. Additionally, it would be cost prohibitive to redesign the entire parking lots**
2. SECTION 26-6.405.O.1.h.vii.l.2) Interior parking rows shall be terminated at both ends with landscape islands. **Only three parking lot islands are provided. VARIANCE REQUESTED**
3. SECTION 26-6.405.O.1.h.vii.l.3) Each parking island shall be of a minimum size equal to a standard parking space; provided that each parking island abutting two rows of head to head parking spaces shall be of a minimum size and length equal to two (2) parking spaces. **One of the three parking lot islands does not meet the minimum size. Island size changed to comply**
4. SECTION 26-6.405.O.1.h.vii.l.7) For every 2,000 square feet of Parking Area or Parking Lot, at least one Tree shall be installed or preserved within the Parking Area or Parking Lot except to the extent that Trees outside of the Lot containing the Parking Area or Parking Lot are allowed to satisfy this requirement as set forth below.) Trees outside of the Parking Area or Parking Lot located within twenty feet (20') of the closest portion of such Parking Area or Parking Lot, including but not limited to Trees within Thoroughfare Rights-of-Way and Civic Spaces, may be

counted toward satisfying the requirements. **Calculation not provided. This is needed to determine if standard is met.** Reference revised landscape drawing

5. SECTION 26-6.405.O.1.h.vii.II Any Parking Area or Parking Lot in the First or Second Lot Layer shall be Screened from view in accordance with the following: The Parking Area or Parking Lot shall be Screened from the public right-of-way with a perimeter planting strip a minimum of 7 feet in width from front to back planted adjacent to the public right-of-way containing all of the following:
- a. A hedge screen between 3 feet and 3.5 feet in height adjacent to the edge of the public right-of-way.
 - b. Shade trees planted at a rate of one per 30 feet of linear frontage (where overhead utility conflicts prohibit shade trees, small or medium trees shall be planted at intervals equal to their mature canopy).
 - c. An ornamental metal fence screen or a wall screen between 3 feet to 3.5 feet in height installed a minimum of two feet from the inside of the parking area or parking lot curb.

The plans do not show any screening of the west parking lot. The Planning Director may modify the amount of landscaping required by this Section for existing parking areas or parking lots, including exempting existing parking areas or parking lots from providing landscaping, if such landscaping would reduce the number of parking spaces and result in a nonconformity. VARIANCE REQUESTED. See response to item 1 above

6. SECTION 26-6.405.S.2 2. Streetscape Repairs, Replacements & Improvements. Prior to the issuance of any Certificate of Occupancy for a Building or Improvement, the following Streetscape improvements, repairs, or replacements shall be provided by the Lot Owner with respect to each Building or Improvement and the Streetscape that Enfronts the applicable Lot:
- b. If the Public Frontage Adjacent to the applicable Lot does not include a Sidewalk, Thoroughfare Trees, or street lights, any such absent element that would have been required pursuant to Section 26-6.502 if the Building or Lot were within a Development Parcel shall be provided by the Lot Owner in accordance with the following standards and requirements:
 - i. If there is no planter strip or plant well, planting accommodations shall be constructed along the entire Front Lot Line which planting accommodations shall match any existing planter strip or plant well Enfronting an Adjacent Lot, or if there is none, shall conform to Thoroughfare standards for the applicable District or Civic Zone, as set forth in Section 26-6.502 as if such Thoroughfare standards were applicable.
 - iii. If there is no Thoroughfare Tree within the Frontage Adjacent to the Lot, one or more Thoroughfare Trees shall be installed along the Front Lot Line, which Trees shall meet the tree shape, spacing, and size standards for the applicable District or Civic Zone as set forth in Section 26-6.502, as if such standards were applicable.
 - c. If there is not sufficient public right-of-way area for all or any of the required Streetscape repairs, replacements, or improvements as set forth in this Section 26-6.405.S, such element or elements shall be provided within the Lot Adjacent to the public right-of-way and the property owner shall grant a perpetual non-exclusive easement for public use of such elements.

The planting strip adjacent to the sidewalk should include shade trees planted 30 feet on center. See revised landscape drawing. There are some existing utilities located along Ridge Road that prohibit meeting the standard completely.

PARKING

1. TABLE 26-6.405.O-1 VEHICULAR PARKING REQUIREMENTS Place of Worship: 1 per 3 auditorium seats + adequate bus space for activities of institution + passenger loading space. **Number of seats in church not shown on plans. This is needed to determine required parking. The number of sanctuary seats has been added to the architectural floor plan and the civil site plan.**
2. TABLE 26-6.405.O-1 VEHICULAR PARKING REQUIREMENTS Place of Assembly: .3 space per capacity determined by Town Fire Chief. **Occupancy of accessory building not shown on plans. This is needed to determine required parking. Refer to the occupant load calculation below for the accessory building as governed by the state building code. I have also listed the number of seats within the multi-purpose room. The sanctuary seats, multi-purpose seats and accessory building would never be fully occupied all at the same time. We chose to use the multi-purpose room seat count for our parking calculation, which would require the larger number of parking spaces (74 spaces). The parking tabulations shown on the civil site plan shows the worst case scenario and indicates compliance.**

Accessory Building Occupant Load (based on IBC sf per person)

92	20.	Classroom
27	50.	Shop area
2	100.	Office
23	15.	Waiting (seems excessive)
1	300.	Mechanical
6	300.	Storage (including food drive area)
17	15.	Meeting room (seems excessive)
166		Total Occupants

$$166 \times .3 = 50 \text{ spaces}$$

Multi-Purpose Room Seat Count (based on IBC sf per person)

181	15.	Main Building Multi-purpose Room Sq. Ft. = 2,709 (minus storage closets)	
1		Storage Room Sq. Ft. (x2)	= 196
		Total Sq. Ft.	= 2,905
182		Total Occupants	

$$182 \times .3 = 55 \text{ spaces}$$

$$222 \text{ seats divided by } 3 = 74 \text{ spaces}$$

3. TABLE 26-6.405.O-6 BICYCLE PARKING REQUIREMENTS 1 bike parking space required per 5000 sf of floor area. **No bike parking shown. Refer to revised civil site plan and response**

SIGNS

1. *All signs will be approved administratively under a sign permit.*

Additional Note: ACCESSORY STRUCTURE STANDARDS

My interpretation of the Munster zoning ordinance is that the CIVIC DISTRICT building standards do not apply to the Munster CRC Outbuilding if it is classified as an Accessory Building. The Plan Commission may rule that these standards do apply to accessory buildings, in which case the only applicable standard is the requirement that the roof pitch be 8:12 – 14:12. I agree with your assessment. Please help us convince the Plan Commission. The new building replaces a few cruddy looking accessory buildings and is set far back off the road with new green space in front of it. Even so, we have designed an all masonry building with a great looking front facing Ridge Road.