To: Members of the Board of Zoning Appeals

From: Tom Vander Woude, Planning Director

Date: April 8, 2020

Re: **CONTINUED PUBLIC HEARING - DEVELOPMENTAL STANDARDS VARIANCES**

BZA 20-002 Community Foundation of Northwest Indiana requesting developmental standards variances from Table 26-6.405.A-7 to exceed the maximum lot size and reduce the frontage buildout in a CD-4.B District, from Section 26-6405.O.1.d to exceed the number of required parking spaces by greater than 10%, and from Section 26-6.122D.2.b to alter a nonconforming sign in order to resubdivide property and expand a parking lot at 541 Otis Bowen Drive.

At the request of the applicant, the Board of Zoning Appeals tabled Docket No. 20-002 at their March 10, 2020 meeting without holding a public hearing. The Chairman should hold the public hearing at the April 14, 2020 meeting.

Since the application has not been changed since March, I have attached the March staff report for the Board's consideration.

To: Members of the Board of Zoning Appeals

From: Tom Vander Woude, Planning Director

Date: March 5, 2020

Re: **PUBLIC HEARING - DEVELOPMENTAL STANDARDS VARIANCES**

BZA 20-002 Community Foundation of Northwest Indiana requesting developmental standards variances from Table 26-6.405.A-7 to exceed the maximum lot size and reduce the frontage buildout in a CD-4.B District, from Section 26-6405.O.1.d to exceed the number of required parking spaces by greater than 10%, and from Section 26-6.122D.2.b to alter a nonconforming sign in order to resubdivide property and expand a parking lot at 541 Otis Bowen Drive.

Applicant:	Community Foundation of Northwest Indiana / Dave Otte
Property Address:	541 Otis Bowen Drive
Current Zoning:	CD-4.B General Urban B Character District
Adjacent Zoning:	North: CD-4.B South: PUD – Hartsfield Village East: CD-4.B West: CD-4.B
Action Requested:	Approval of variances
Additional Actions Required:	Findings of Fact
Attachments:	Hospice Second Addition Plan Set prepared by Torrenga Engineering, dated 03.04.2020. Landscape Plan prepared by Lakeshore Landscaping dated 03.03.2020. Photometric Plan prepared by KSA Lighting, dated 02/19/2020. Community Healthcare System sign rendering prepared by ICU Outdoor Advertising dated 01.14.2020

Background

Community Foundation of Northwest Indiana (CFNI) has purchased two lots at 541 Otis Bowen Drive along with a portion of the property owned by The Gate Church at 9900 Columbia Ave. They are now seeking to expand the parking lot of the existing office building in order to accommodate the Community Healthcare System Patient Financial Services offices. The existing parking lot is built to the edge of the lot line, so they are applying for approval to resubdivide the property to widen the office lot to accommodate additional parking and create two new lots to the east. CFNI is also seeking to reuse an existing non-conforming monument sign located at the south edge of the property. Site and engineering plans have been provided with the application. In addition to the variances, the proposal requires subdivision and development plan approval from the Plan Commission.

Subdivisions, parking lot expansions, and sign alterations are all subject to the standards in the Munster Zoning Code. Because the property has already been developed under the standards of an O-1 zoning district, it is in conflict with some of the standards of its current CD-4.B district.

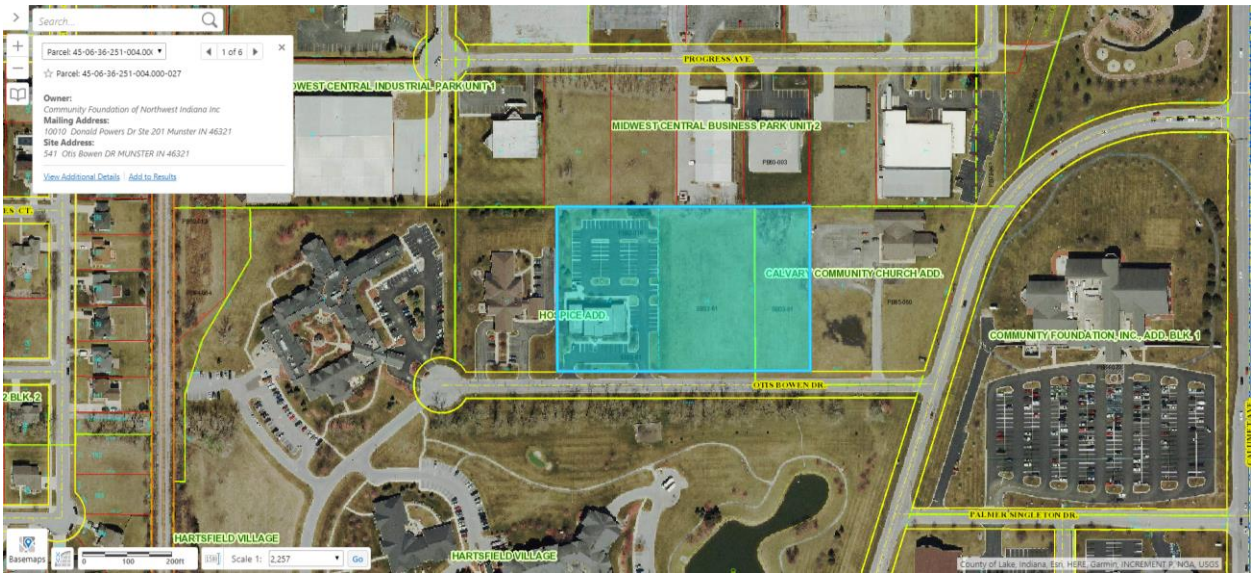


Figure 1: Subject Property

In order to construct the plan as proposed, the petitioner is requesting the following variances:

CODE CITATION	REQUIRED	PROPOSED
Table 26-6.405.A-7 LOT OCCUPATION - MAXIMUM LOT SIZE	180 feet maximum	300.87 feet
Table 26-6.405.A-7 BUILDING STANDARDS – FAÇADE MINIMUM FRONTAGE BUILDOUT Section 26.405.E.2 Frontage Buildout. In each Character District, the Facade of the Principal Building shall be built along the minimum percentage of the Front Lot Line width at the Setback, specified as Frontage Buildout on Tables 26-6.405.A-1 - 26-6.405.A-10 (District Standards). A Streetscreen may be substituted for a Facade for up to twenty percent (20%) of the applicable Frontage Buildout requirement.	60% (181 feet) A street screen may be substituted for up to 20% of the minimum (36 feet)	55% (164 feet including 128 feet of building and 36 feet of street screen)
PARKING Section 26-6.405.O.1.d The number of spaces of parking available to a Lot shall not be less than, nor more than 10% greater than, the number of spaces of parking determined by Table 26-6.405.O-1 (Vehicular Parking Requirements) based on the quantity of Principal Use(s) of the Lot, provided that the minimum number of spaces may be reduced pursuant to Section 26-6.405.O.1.e and Section 26-6.405.O.1.f.	62 - 76 parking spaces	Additional 62 parking spaces proposed for a total of 138 spaces

SIGNS Section 26-6.122D.2.b If a Nonconforming Sign is Altered…, the legal status of such Nonconforming Sign shall terminate and such Sign must conform to this article. Table 26-6701.B Sign Types Specific standards Monument Signs In addition to all other applicable standards, each Monument Sign allowed under this Article: a. shall be located within the 1st Lot Layer and shall be set back at least 10 feet from the public right-of way;	10 foot setback	The existing monument has a 5 foot setback and will be refaced with the Community Hospital

ANALYSIS

In considering the application presented here, the BZA may want to consider the following:

The intent of the recently adopted zoning ordinance was to promote a finer grained, more walkable community. The subject property was developed under zoning standards that were developed to promote a campus like built environment, so it is already non-conforming in a few ways.

Both the lot width and the sign variance requests are simply an expansion or extension of an existing non-conformity. The other variances are a result of the proposal to reuse an existing building for a more intense use, which requires the expansion of the parking lot.

Most of the modifications to the parking lot comply with the Town standards. These include lighting, landscaping, parking lot screeningz, and installation of a new sidewalk. So while the proposal is for an expansion of the non-conformity, the improvements themselves conform to the codes.

A preliminary hearing was held before the Board of Zoning Appeals on February 11, 2020. After the preliminary hearing, the applicant revised the plans. The revisions include:

1. The landscaping plan was revised to comply with the current landscaping ordinance.
2. One parking space was removed to accommodate additional landscaping.
3. One additional ADA space was added.
4. Light fixture spec sheets were added.
5. Miscellaneous corrections were made to the plat.

Members of the Board of Zoning Appeals and Plan Commission requested that the sidewalk be extended along Otis Bowen Drive to Columbia Ave. The plans show a sidewalk is to be installed along Otis Bowen Drive, but not extend east of the subject property.

Staff recognizes that existing buildings and lot may have difficulty complying with the standards of the recently adopted codes and recommends that the BZA, in those instances, consider granting the minimum variance necessary to relieve these difficulties.

Variance Standards

The variance process is established to provide relief to a property owner when, due to unique circumstances, compliance with the zoning code imposes a hardship or practical difficulty on a property owner. The BZA is under no obligation to grant a variance. It is the petitioner's responsibility to prove a hardship or practical difficulty. The BZA should ask the petition to address the criteria listed below.

Sec. 26-6.804.I of the Munster Zoning Code states that the basis for a variance is as follows:

g. General Standards.
A Variance may be granted only if the Decision- Making Authority has made the following determinations for such Variance:

i. the practical difficulties or unnecessary hardships that would be incurred by strict application of the Use or Development standard, as applicable, are unique and not shared by all properties in the vicinity and are not self-imposed;
ii. such Variance is the minimum Variance that will relieve such practical difficulties or unnecessary hardships, as applicable;
iii. such Variance is in the spirit of the general purposes and intent of this Article as stated in Division 1; and
iv. such Variance is so designed as to provide reasonable consideration to, among other things, the character of the neighborhood, District, or Civic Zone, the conservation of property values in the vicinity, and the guidance of Development in accordance with the Comprehensive Plan.

h. Specific to Development standards Variances:

A Variance from Development Standards may be approved or approved with conditions only if:

i. it will not be injurious to the public health, safety, morals, and general welfare of the community;
ii. the use and value of the area Adjacent to the property included in the Variance will not be affected in a substantially adverse manner; and
iii. the strict application of the Development standards will result in practical difficulties in the use of the property.

Recommendation
Staff recommends the following motion:

Motion to approve BZA Docket No. 20-002 granting developmental standards variances from Table 26-6.405.A-7 to exceed the maximum lot size and reduce the frontage buildout in a CD-4.B District, from Section 26-6405.O.1.d to exceed the number of required parking spaces by greater than 10%, and from Section 26-6.122D.2.b to alter a nonconforming sign in order to resubdivide property and expand a parking lot at 541 Otis Bowen Drive.

HOSPICE SECOND ADDITION

MUNSTER, LAKE COUNTY, INDIANA

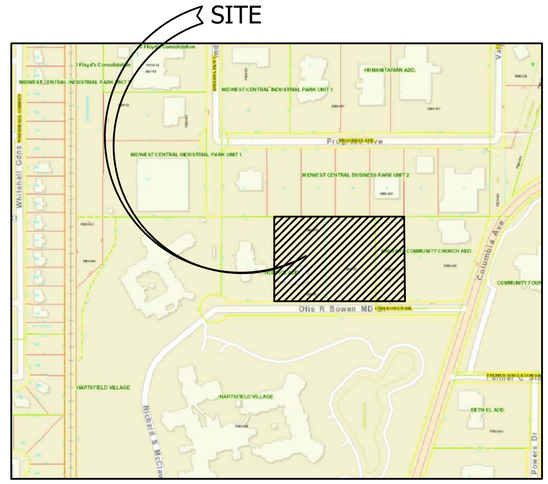
INDEX	
PAGE	DESCRIPTION
COVER	TITLE PAGE
C–1.0	EXISTING TOPOGRAPHY & UTILITIES
C–2.0	SITE PLAN
C–3.0	STORM SEWER & GRADING PLAN
C–4.0	DETAILS & SPECIFICATIONS
C–5.0	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C–6.0 to 6.1	SWPPP DETAILS & SPECIFICATIONS
L1.0	LANDSCAPE PLAN
1 OF 1	PHOTOMETRIC PLAN
1 OF 1	FINAL PLAT

LEGAL DESCRIPTION AS TAKEN FROM CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NUMBER CTNW1900620 DATED FEBRUARY 8, 2019

Parcel A:
The West 125.0 feet of Lot 1, in Calvary Community Church Addition to the Town of Munster, as per plat thereof, recorded in Plat Book 85, page 60, in the Office of the Recorder of Lake County, Indiana.

Parcel B:
Lot 3, Hospice Addition to the Town of Munster, as per plat thereof, recorded in Plat Book 80 page 16, in the Office of the Recorder of Lake County, Indiana.

Parcel C:
Lot 2, Hospice Addition to the Town of Munster, as per plat thereof, recorded in Plat Book 80 page 16, in the Office of the Recorder of Lake County, Indiana.



VICINITY MAP

NOT TO SCALE

NORTH

NOTES:
1. TOTAL SITE AREA = 1.583± ACRES (68,992.86± S.F.)
2. THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AS TAKEN FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR MUNSTER, LAKE COUNTY, INDIANA, MAP NUMBER 18089C0117E, EFFECTIVE DATE JANUARY 18, 2012.
3. ALL VERTICAL DATUM IS BASED ON NAVD88.
4. HYDROLOGIC UNIT CODES: 07120003040040 THORN CREEK–NORTH CREEK
5. LOCATION:
   LATITUDE – 41°31'59" N
   LONGITUDE – 87°30'48" W
6. CURRENT ZONING: CD–4.B

Know what's **below.**
Call before you dig.

"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
811 or 1-800-382-5544
CALL TOLL FREE
PER INDIANA STATE LAW IC8–1–26. IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

DEVELOPER:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

ENGINEER:
Torrenga Engineering, Inc.
907 Ridge Road
Munster, Indiana 46321
(219) 836–8918

DONALD C. TORRENGA REGISTERED No. 19868 STATE OF INDIANA PROFESSIONAL ENGINEER

CERTIFIED BY: DONALD C. TORRENGA
P.E. # 19868

Date and Revisions:

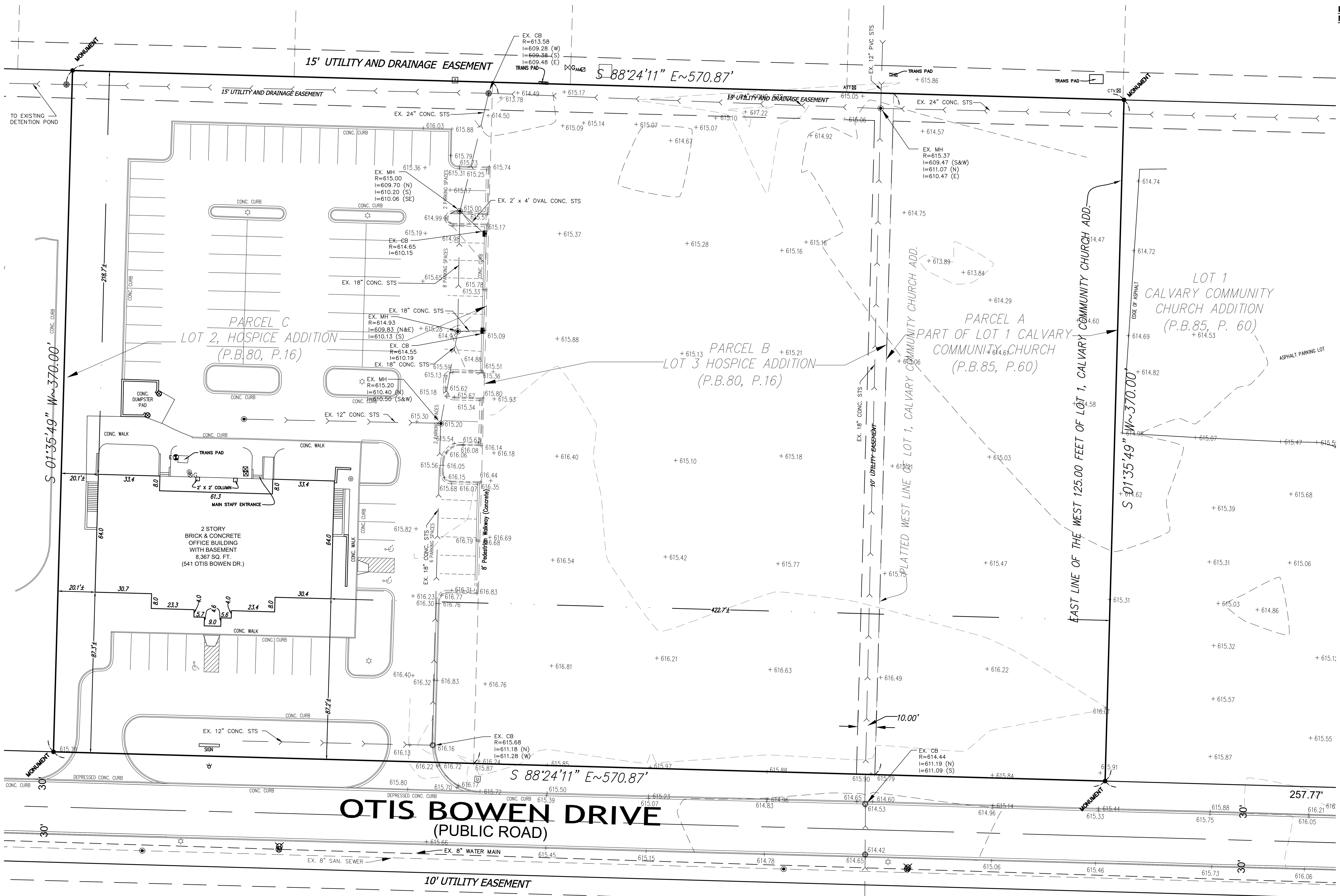
NO.	DATE	DESCRIPTION	BY
5	03-04-2020	Submittal #5	DT
4	02-21-2020	Submittal #4	DT
3	02-04-2020	Lot Size Revision	DT
2	01-31-2020	Submittal #2	DT/RT/MS
1	12-27-2019	Submittal #1	DT/RT/LP

DRAWING SET PROGRESS:

☒ ENGINEERING PLAN - FOR REVIEW / APPROVAL

☐ FINAL ENGINEERING - FOR CONSTRUCTION

Z:\2019-5063 541 Otis Bowen Drive Parking Lot\dwg\2019-5063revised 01-17-2020.dwg 1/30/2020 3:20:20 PM CST



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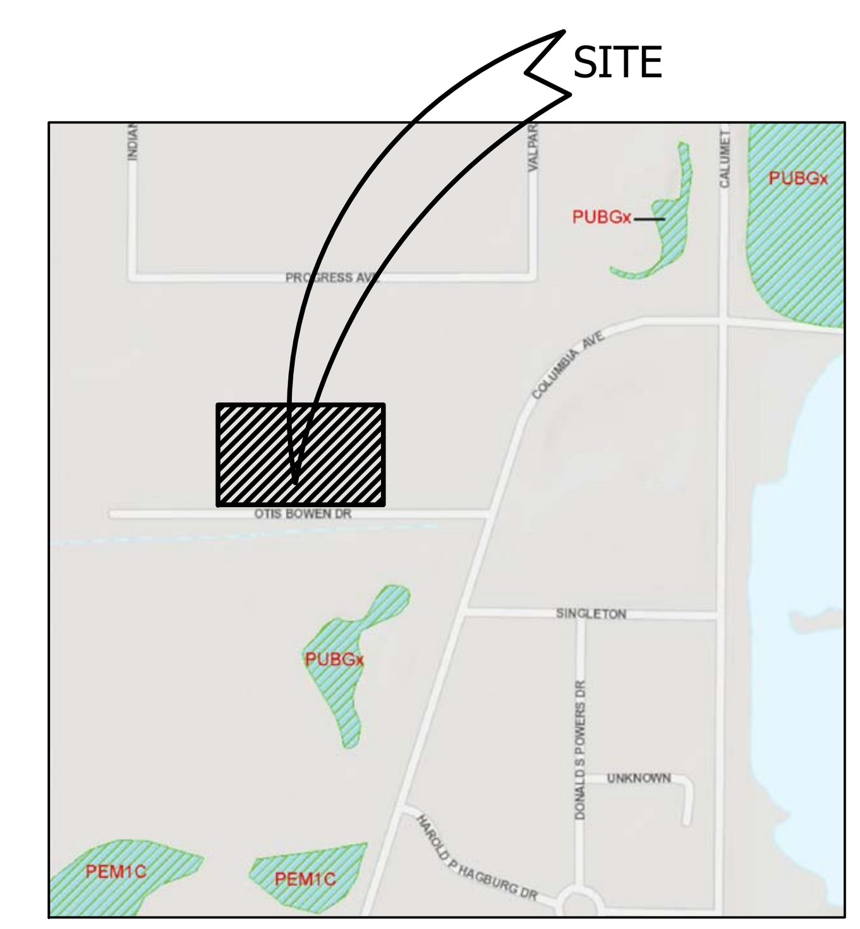
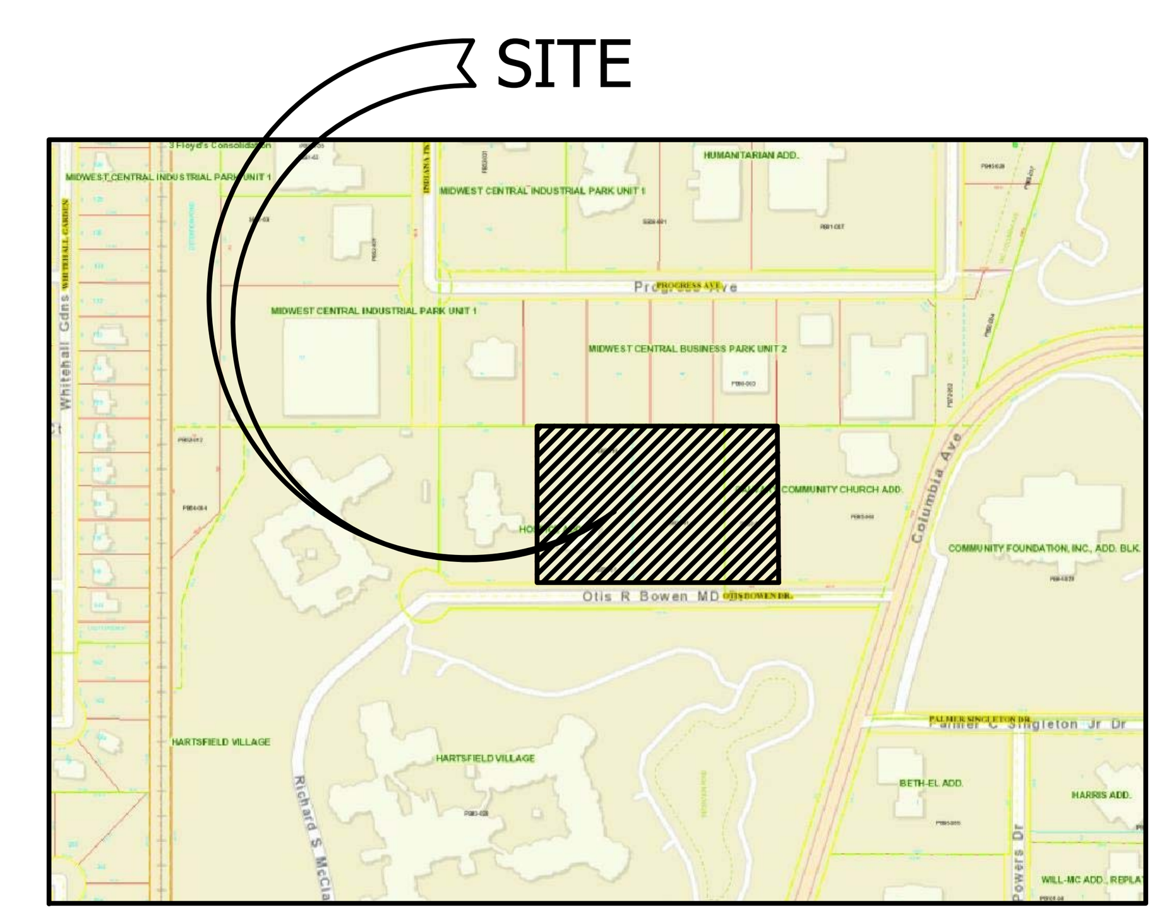
LEGEND:

- LIGHT POLE
- MANHOLE
- CLEAN OUT
- CATCH BASIN
- REAR YARD DRAIN
- WATER VALVE
- FIRE HYDRANT
- 6" STEEL POST
- VOLLEYBALL POST
- G GAS VALVE
- G GAS METER
- E ELECTRIC METER
- U UTILITY VAULT
- SIGN
- CTV CABLE BOX
- T TELEPHONE BOX
- SIGN LIGHT
- A/C UNIT
- AM AMERITECH BOX
- ATT AT&T BOX
- + XXX.XX EXISTING ELEVATION



WETLAND MAP

NOT TO SCALE
Source: National Wetlands Inventory



VICINITY MAP

NOT TO SCALE

NOTES:

1. TOTAL SITE AREA = 4.849± ACRES (211,221± S.F.)
2. THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AS TAKEN FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR MUNSTER, LAKE COUNTY, INDIANA, MAP NUMBER 18089C0117E, EFFECTIVE DATE JANUARY 18, 2012.
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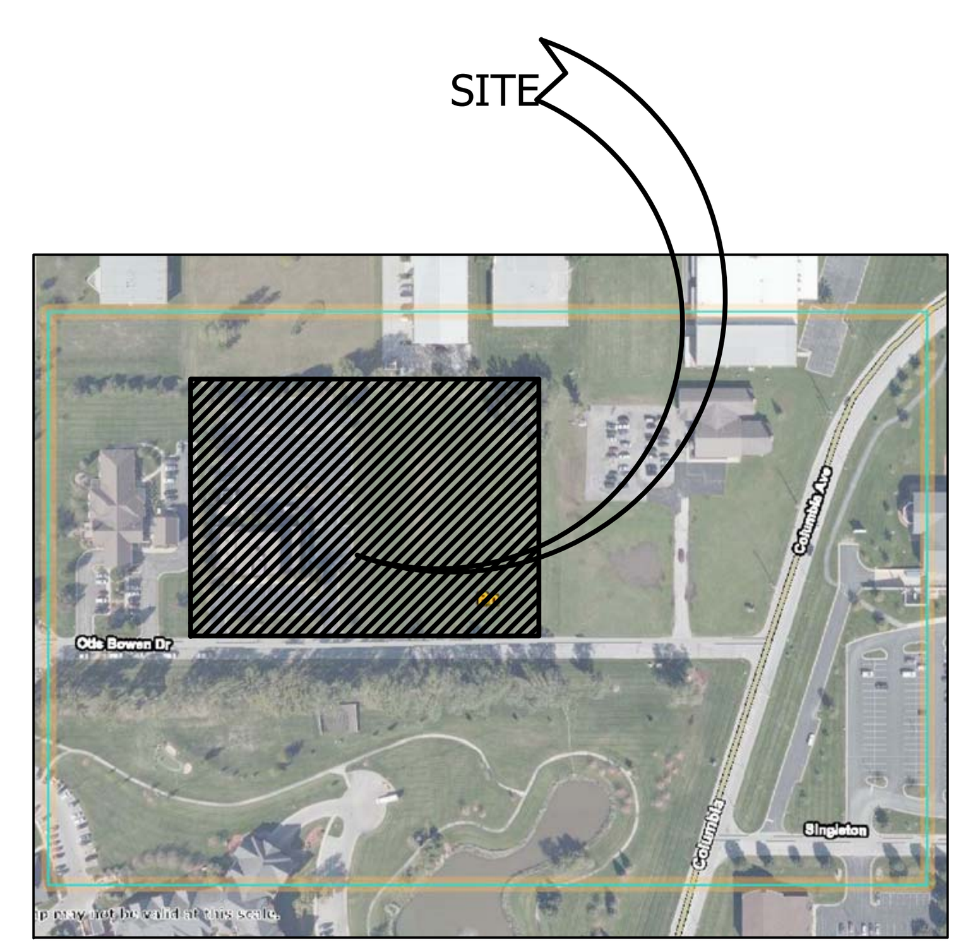


SOIL MAP

NOT TO SCALE

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: http://websoilsurvey.nrcs.usda.gov
Coordinate System: Web Mercator (EPSG:3857)

Soil Survey Area: Lake County, Indiana
Survey Area Data: Version 18, Sep. 10, 2015

Date aerial images were photographed: Mar 13, 2012 –Mar 28,2012

SOIL TYPE LEGEND
Bn – Bono silty clay

DONALD C. TORRENGA REGISTERED No. 19868 STATE OF INDIANA PROFESSIONAL ENGINEER

NORTH

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918 website: www.torrenga.com

HOSPICE SECOND ADDITION
541 OTIS BOWEN DRIVE
MUNSTER, LAKE COUNTY, INDIANA
EXISTING TOPOGRAPHY & UTILITIES

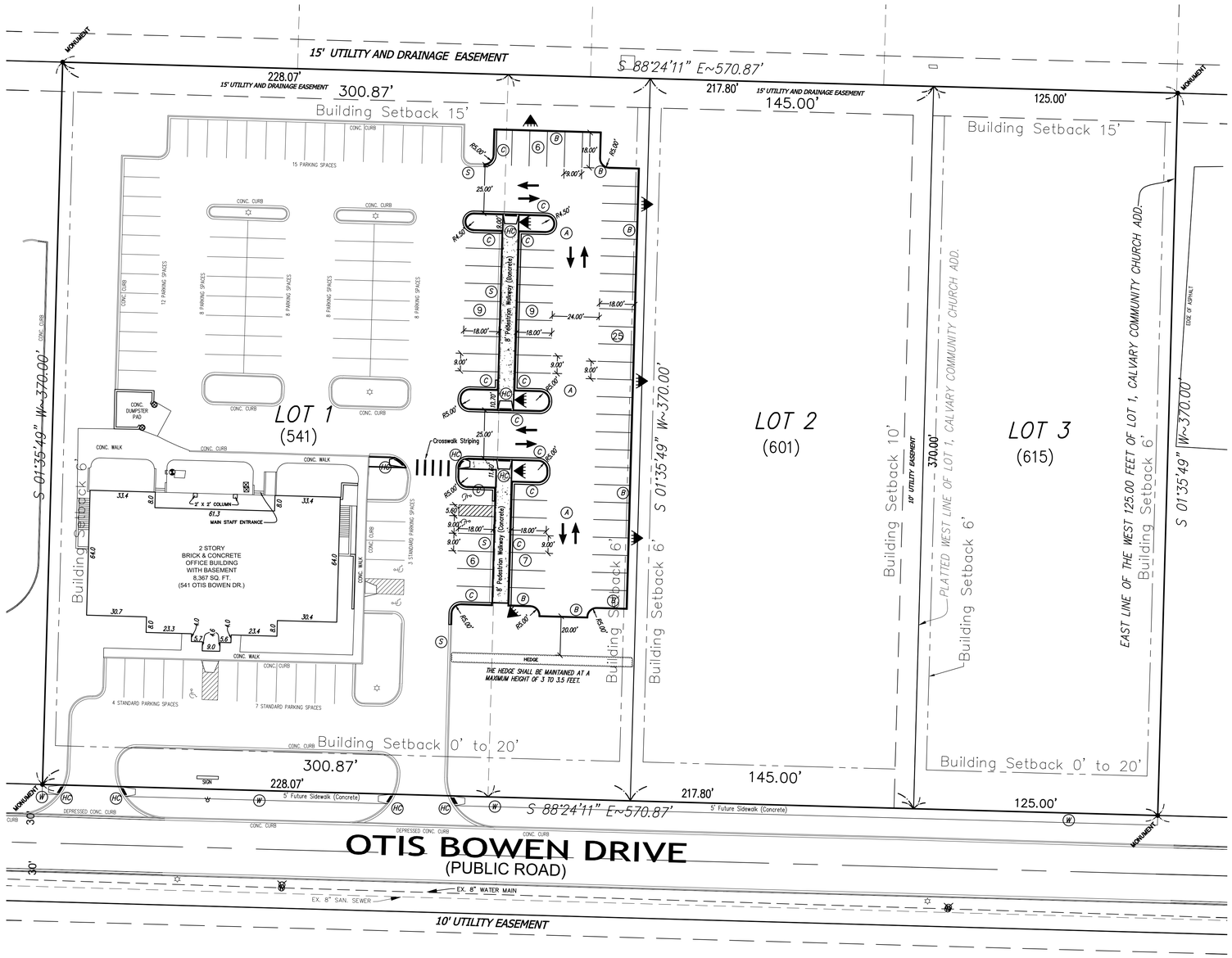
REVISIONS:
03-04-2020
02-21-2020
01-31-2020
DATE: 12-27-2019

CLIENT:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

JOB NO: 2019-5063
SCALE: 1" = 30'

SHEET
C-1.0

FILE NO:Z:\2019-5063 541 Otis Bowen Drive Parking Lot\dwg\2019-5063(revised 01-17-2020).dwg 1/30/2020 3:20:20 PM CST



PAVEMENT AREA COMPUTATION

Pavement Area Existing	51,269 SF
Pavement Area Proposed	16,750 SF
Total Pavement Area	68,019 SF

LEGEND:

- (#) NUMBER OF PARKING SPACES
- (A) PROPOSED ASPHALT PAVEMENT
- (C) HIGH BACK CURB
- (B) BARRIER CURB
- (S) SAVE EXISTING CURB
- (HC) HANDICAP ACCESS
- (W) CONCRETE SIDEWALK WIDTH VARIES
- TRAFFIC FLOW ARROWS
- EXISTING LIGHT POLE
- EXISTING LIGHT POLE

PARKING

EXISTING PARKING SPACES - 73 STANDARD SPACES
- 3 HANDICAP SPACES

PROPOSED PARKING SPACES - 60 STANDARD SPACES
- 2 HANDICAP SPACES

TOTAL PARKING - 133 STANDARD SPACES
- 5 HANDICAP SPACES

DONALD C. TORRENGA REGISTERED No. 19868 STATE OF INDIANA PROFESSIONAL ENGINEER

NORTH

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

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907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrenga.com

HOSPICE SECOND ADDITION
541 OTIS BOWEN DRIVE
MUNSTER, LAKE COUNTY, INDIANA
SITE PLAN

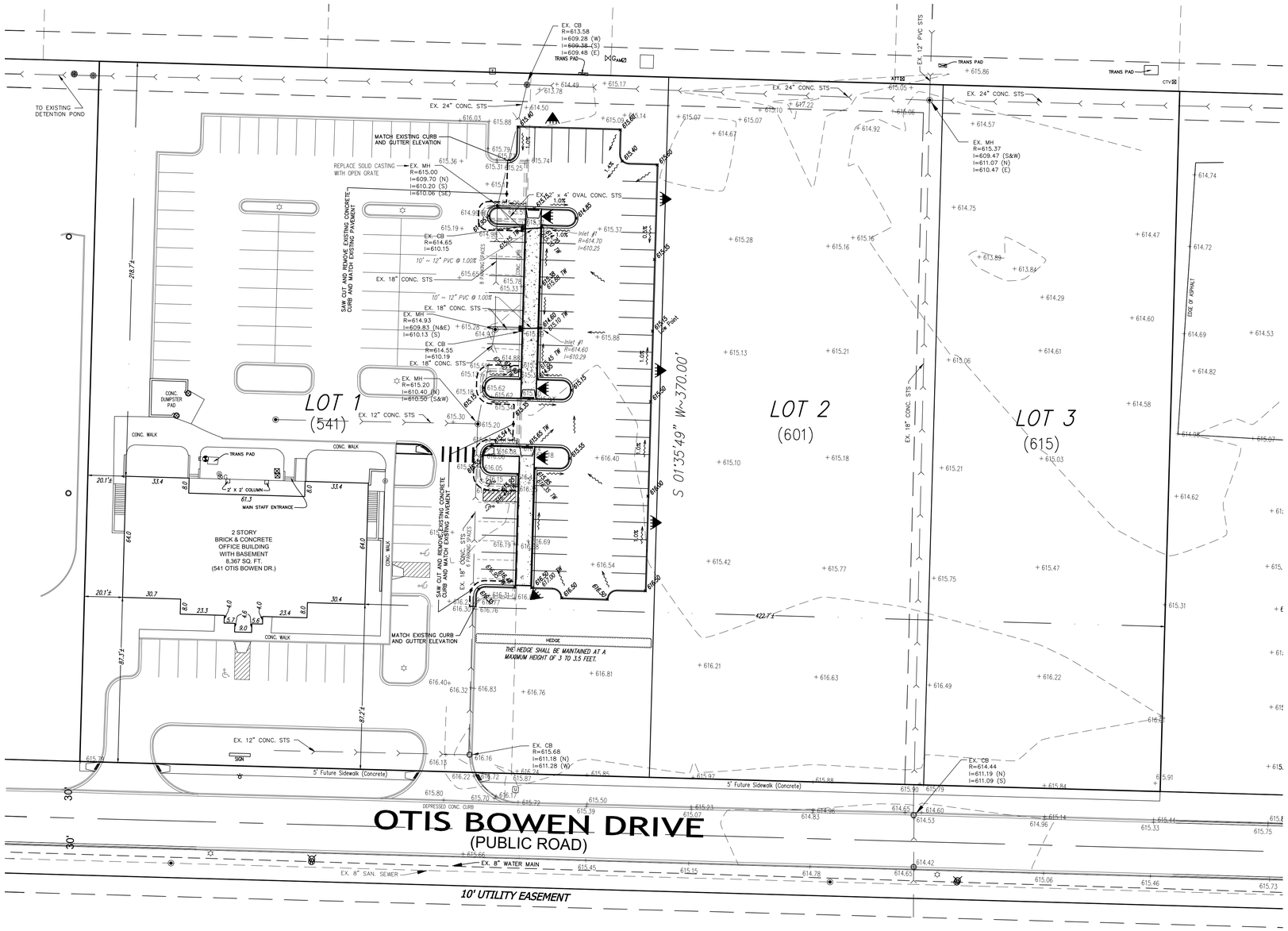
03-04-2020
02-21-2020
02-04-2020
01-31-2020
REVISIONS:
DATE: 12-27-2019

CLIENT:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

JOB NO: 2019-5063
SCALE: 1" = 30'

SHEET
C-2.0

FILE NO:Z:\2019-5063 541 Otis Bowen Drive Parking Lot\dwg\2019-5063revised 01-17-2020.dwg 1/30/2020 3:20:20 PM CST



LEGEND:

- XXX.XX PROPOSED GRADE
- + XXX.XX EXISTING GRADE
- DRAINAGE FLOW
- B–BOX
- SANITARY SEWER
- W WATER MAIN
- STORM SEWER
- SAW CUT LINE
- TW or TC REPRESENTS TOP OF SIDEWALK OR TOP OF CURB ELEVATION

NOTES:

1. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING SITE CONDITIONS AND SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND ALL PROPOSED IMPROVEMENTS IN THE CONSTRUCTION DRAWINGS.

2. ALL PROPOSED ELEVATIONS REPRESENT THE ASPHALT PAVEMENT OR GROUND ELEVATION GRADE UNLESS OTHERWISE NOTED.

DONALD C. TORRENGA REGISTERED No. 19868 STATE OF INDIANA PROFESSIONAL ENGINEER

NORTH

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrenga.com

HOSPICE SECOND ADDITION
541 OTIS BOWEN DRIVE
MUNSTER, LAKE COUNTY, INDIANA
STORM SEWER & GRADING PLAN

03-04-2020
02-21-2020
02-04-2020
01-31-2020
REVISIONS:
DATE: 12-27-2019

CLIENT:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

JOB NO: 2019-5063
SCALE: 1" = 30'

SHEET
C-3.0

GENERAL SPECIFICATIONS FOR STORM SEWERS

1. All work shall be performed in accordance with the Codes, Ordinances and Standards of the Town of Munster, Lake County, Indiana.

2. Each Lot in this Subdivision shall be provided with a 4" diameter storm sewer service tap extended from the main sewer to the street right of way line (or utility easement line) and located as nearly as possible to the center of each lot.

3. All storm sewer pipe, branches and fittings shall conform to either of the following: (A) Poly-vinyl chloride SDR 35 or SDR 26 (ASTM D-3034) with push on rubber gasket joints (ASTM C-3212) for pipe 15" in diameter or under or: (B) High Density Polyethylene corrugated pipe with an integrally formed smooth interior (ASTM D-1248) for pipe 18" or over or: (C) Reinforced concrete pipe (ASTM C-76) with bell and spigot or tongue and groove push-on mastic joints. Class V reinforced concrete pipe shall be used for lines 15" diameter or under and Class III shall be used for lines 18" and over.

4.Gasketed joints shall be used on all storm sewers.

5. Storm sewers 18" to 27" with less than 3' cover shall be Class IV pipe.

6. All storm sewer manholes shall be standard precast concrete units (ASTM C-478) conforming with the standard details sheet of these plans.

7. All improvements installed across paved or future paved areas shall be backfilled with sand or graded stone aggregate to the subgrade line.

8.Dumped Rip-Rap will be provided at all end sections, to produce a surface of approximate regularity. The finished surface shall not vary by more than 9 inches and the depth of Rip-Rap shall not be less than 12 inches nor more than 24 inches.

9. All sewers shall be laid at least 10 feet (3.0m) horizontally from any existing or proposed water main. The distance shall be measured edge to edge. All sewers crossing water mains shall be laid to provide a minimum vertical distance of 18 inches (46 cm) between the outside of the water main and the outside of the sewer. This shall be the case where the water main is either above or below the sewer. The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the water main joints. Where a water main crosses under a sewer, adequate structural support shall be provided for the sewer to prevent damage to the water main. When it is impossible to obtain proper horizontal and vertical separation as stipulated above, the sewer shall be designed and constructed equal to water pipe.

10. The Contractor is responsible for the preparation of "As Built" construction drawings showing actual sizes and lengths of pipe installed (i.e. from manhole to manhole or tee to valve, etc.), location of service taps and any structures added or omitted in comparison with these engineering plans. The Contractor shall supply the Developer (through the Project Engineer) with one set of reproducible original "As-Built" and shall supply the Town of Munster with 2 copies thereof prior to and as a condition of final acceptance.

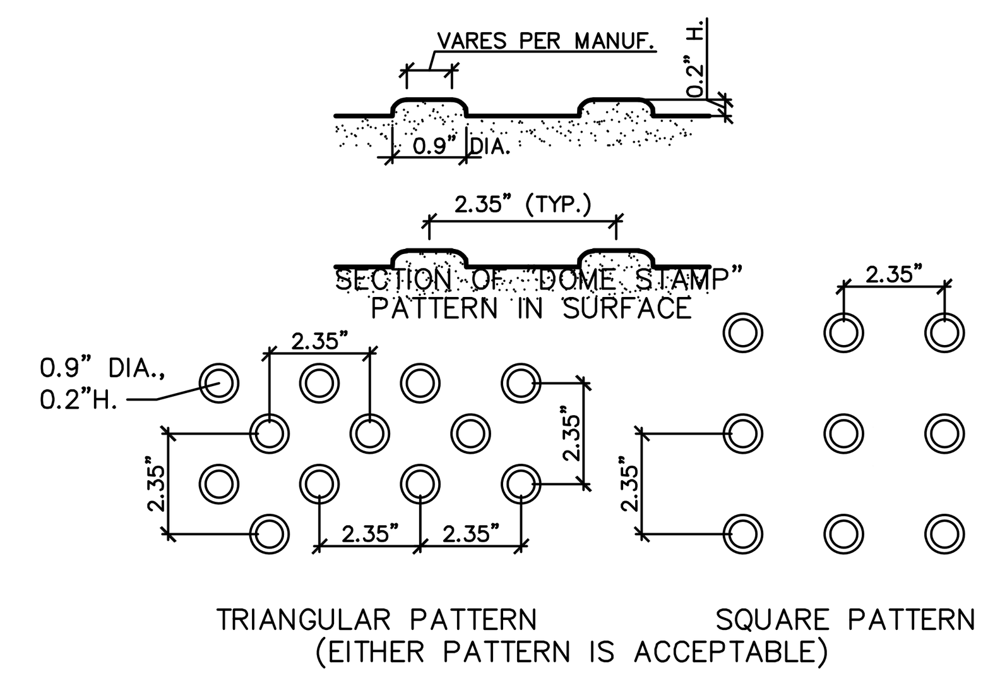
11. No storm sewer manhole, catch basin and inlet shall be within eight (8) feet of a water main as measured from the outside edge of the storm sewer manhole, catch basin and inlet to the outside edge of the water main.

CURB NOTE:
1. Concrete Curb and Gutter shall be constructed in accordance with the state specifications except as herin modified.

a) Expansion joints shall be 3/4" in thickness, using premolded joint filler material and two 3/4" diameter smooth round dowel bars 30" long fully greased, placed in pairs at the ends of all radii, at roadway intersections, at the junction of new and existing curb, at all cold joints, at a minimum 40' interval between said radii locations.

b) Said dowel shall be placed so that half their length is in either side of the joint. On the same end of each bar, there shall be placed a plastic, premolded expansion tip, which will allow lateral and expansion movement. The dowel bars shall be placed such that they shall be encased in concrete, a minimum of 3" in any direction.

INFRASTRUCTURE NOTE:
1. All infrastructures being constructed shall be in accordance with the Town of Munster Proposed Infrastructure Specifications. Any difference Munster's Specification and these engineering drawings shall be brought to the attention of the Engineer immediatelty for review.

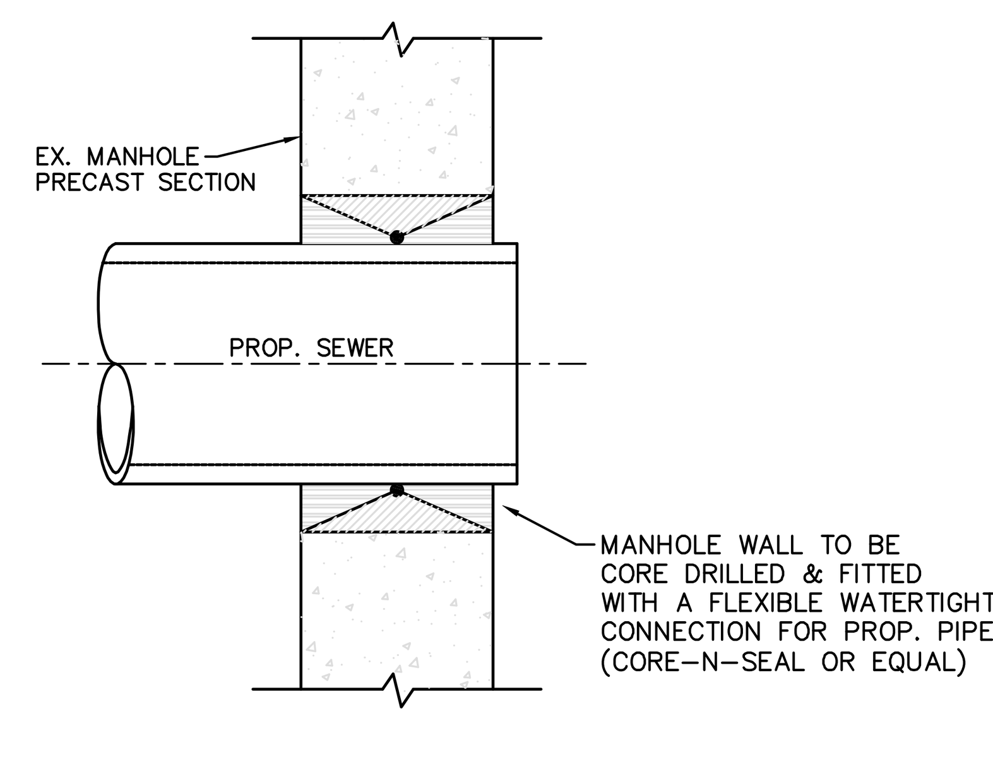


(EITHER PATTERN IS ACCEPTABLE)

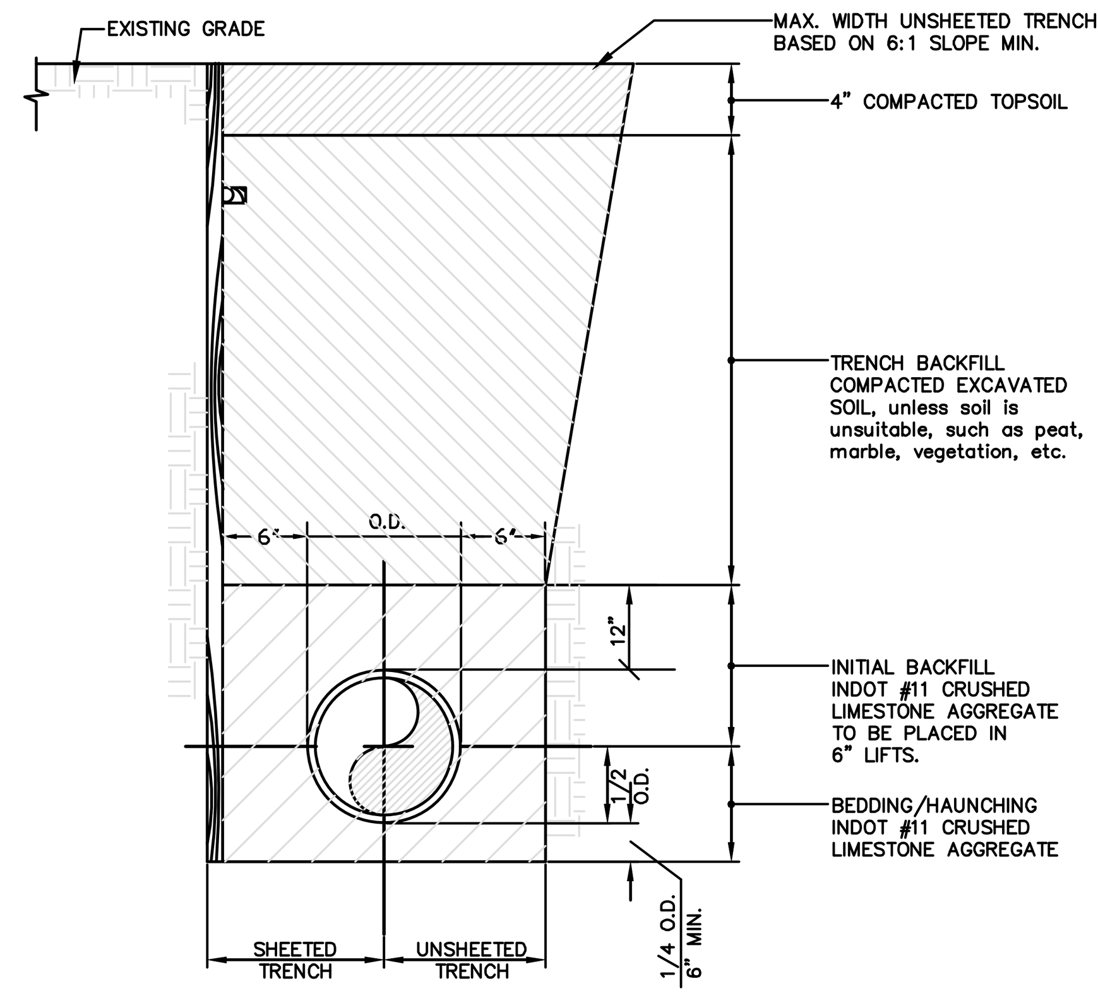
PLAN OF "DOME STAMP" PATTERN IN SURFACE

CURB RAMPS MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP (MID-WALK "IN-LINE" RAMPS ONLY NEED DETECTABLE WARNINGS AT WALK/PARKING TRANSITION). THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT). SEE ABOVE.
ACCEPTABLE PAVER MANUFACTURERS:
-HANOVER ARCHITECTURAL PRODUCTS, DETECTABLE WARNING PAVERS,
www.hanoverpavers.com/html/detectable.html
-TekWay™ - DETECTABLE WARNING SYSTEM
www.strongo.com/ourproducts.html
-NuWay, CAST IN TACT, DETECTABLE WARNING PAVERS
www.nuwayinc.com/CAST_IN_TACT_1.pdf

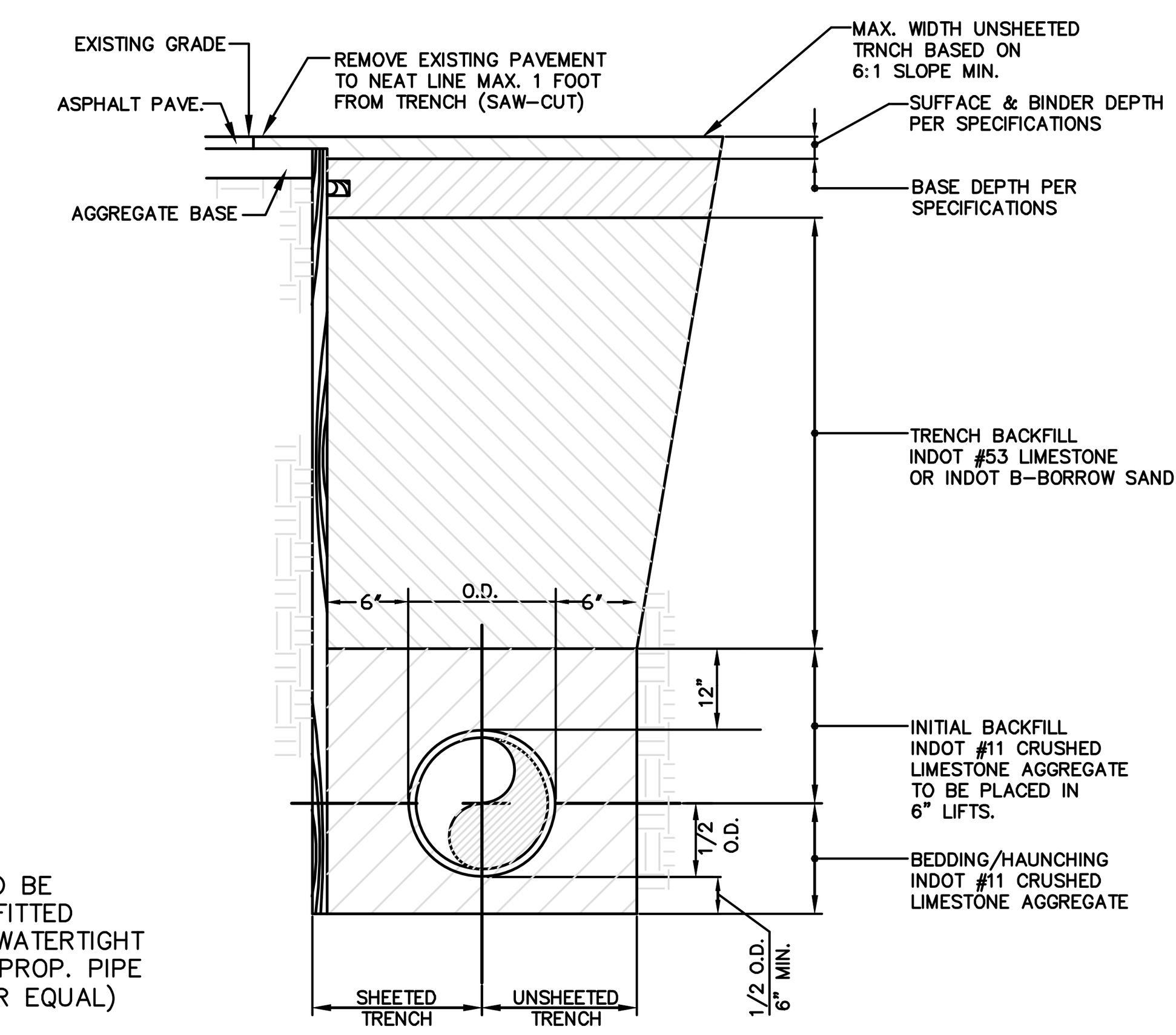
DETECTABLE WARNING SURFACE
NOT TO SCALE



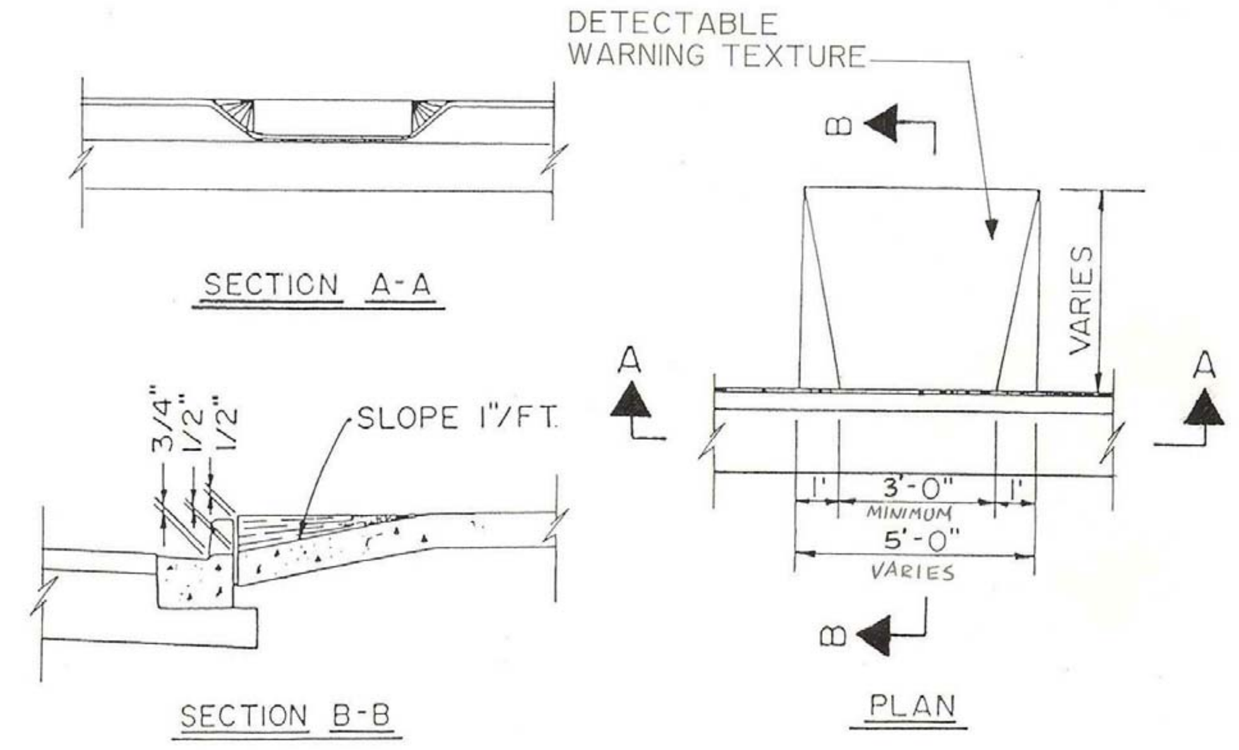
PIPE CONNECTION DETAIL TO EXISTING MANHOLE
NOT TO SCALE



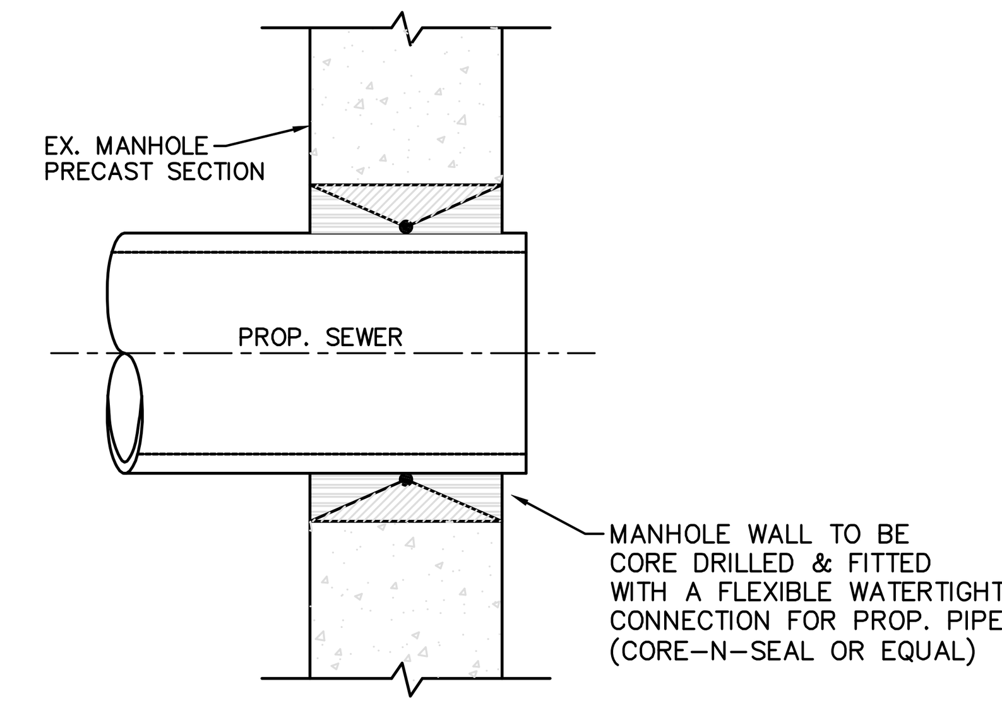
PIPE BEDDING DETAIL FOR TRENCH IN GRASS AREAS
NOT TO SCALE



PIPE BEDDING DETAIL FOR TRENCH IN PAVED AREAS
NOT TO SCALE



STANDARD WHEELCHAIR RAMP DETAIL
NOT TO SCALE



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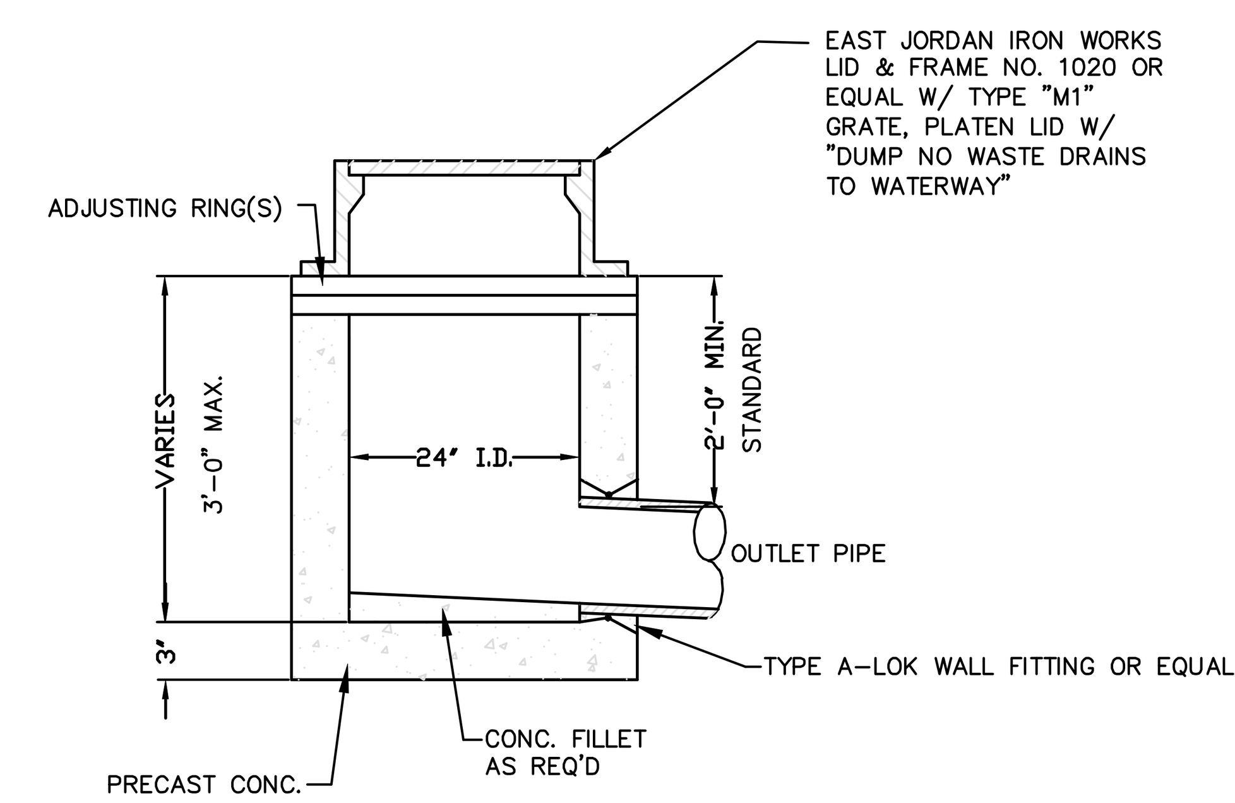
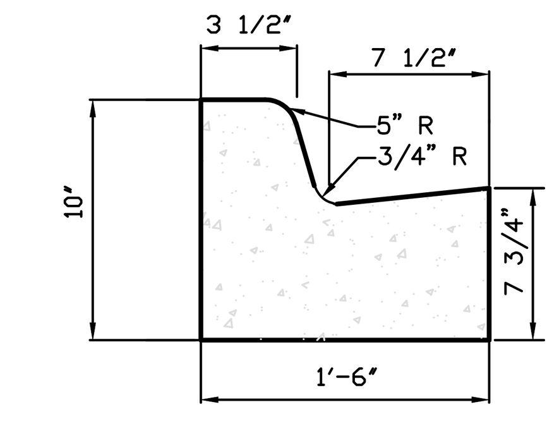
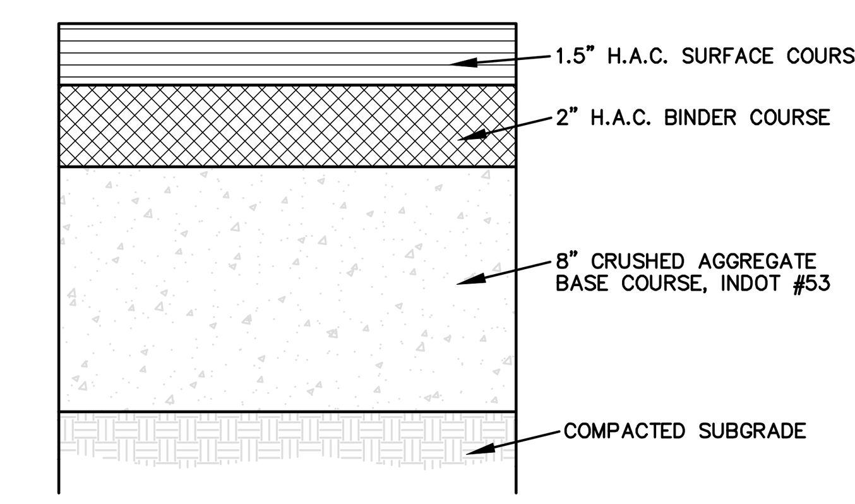


NOTES:
1. ALL CATCH BASINS SHALL BE CONSTRUCTED WITH PRECAST REINFORCED CONCRETE RISERS 5" THICK.

STANDARD INLET
NOT TO SCALE

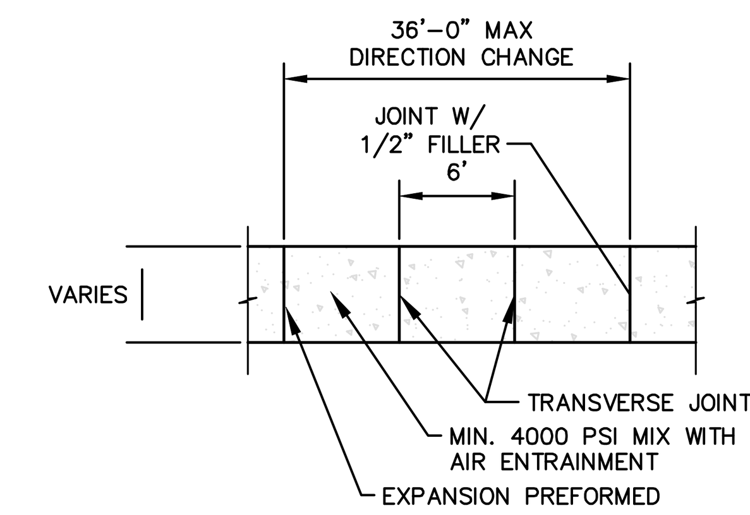


COMBINED CONCRETE HIGH BACK CURB AND GUTTER
NOT TO SCALE

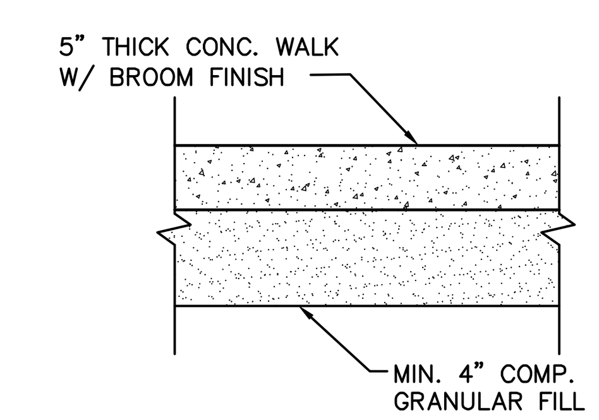


NOTES:
1. WHERE FILL IS REQUIRED, SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 METHOD OF TESTING.

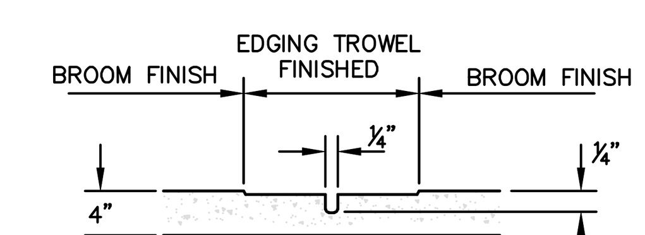
TYPICAL PAVEMENT SECTION
NOT TO SCALE



SIDEWALK PLAN



SIDEWALK SECTION



TYPICAL SIDEWALK DETAIL
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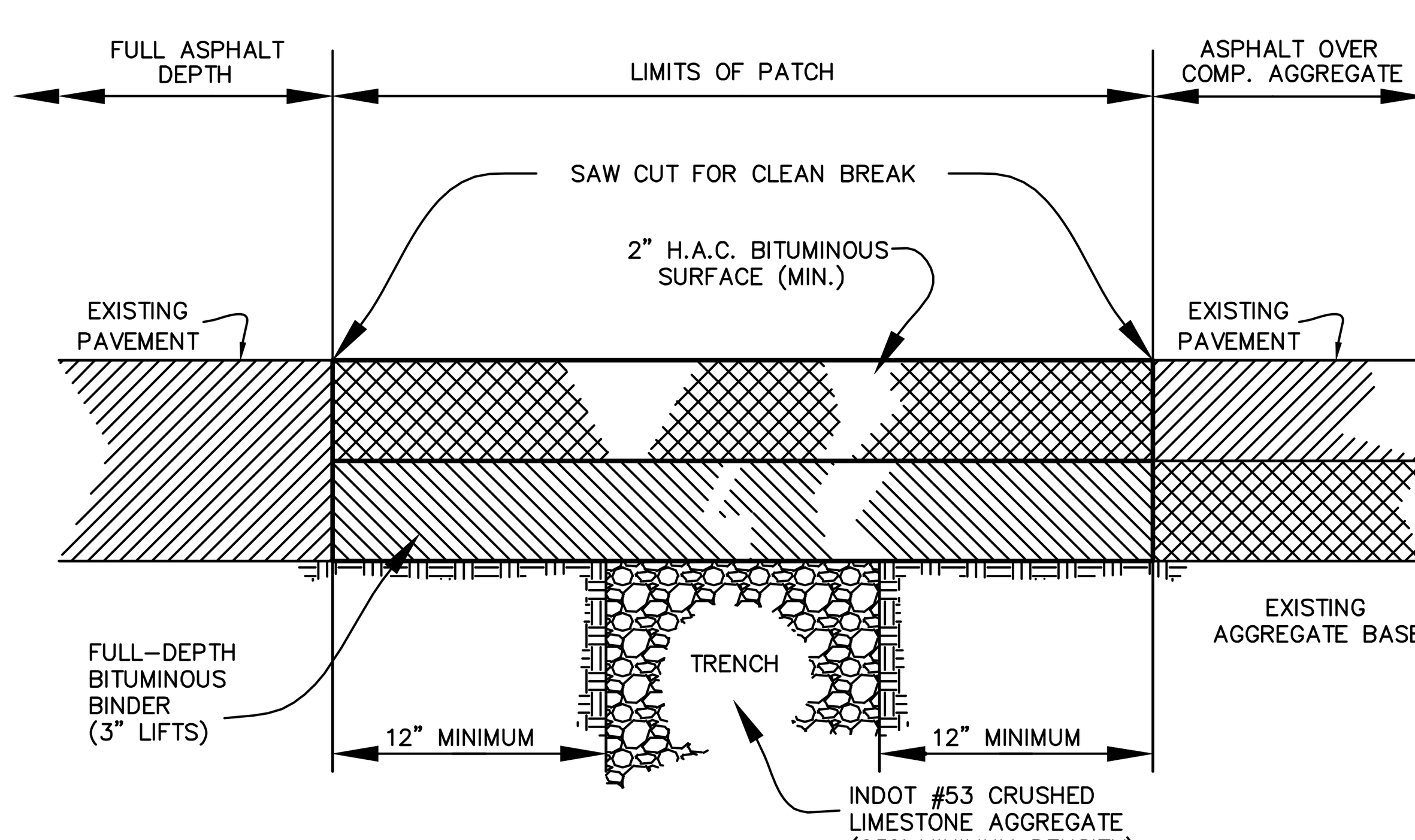
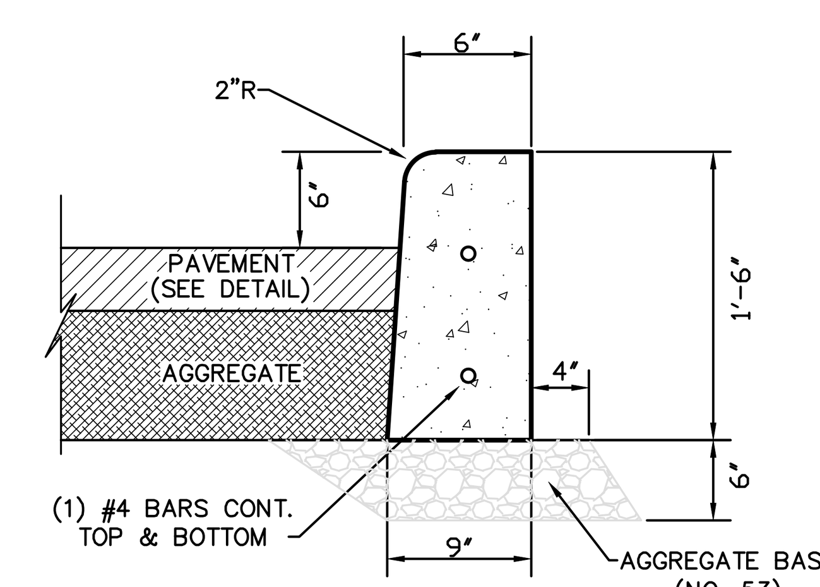
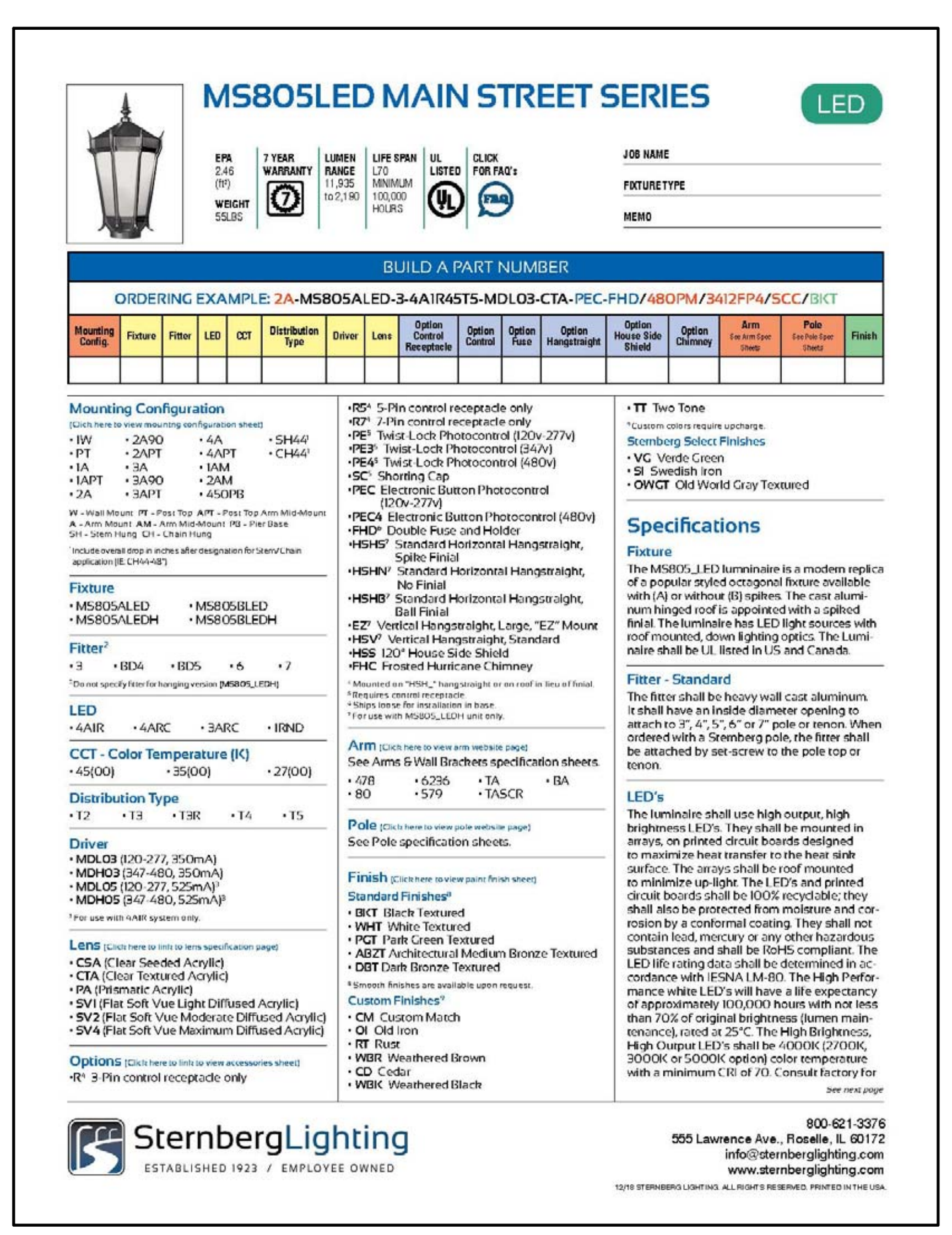
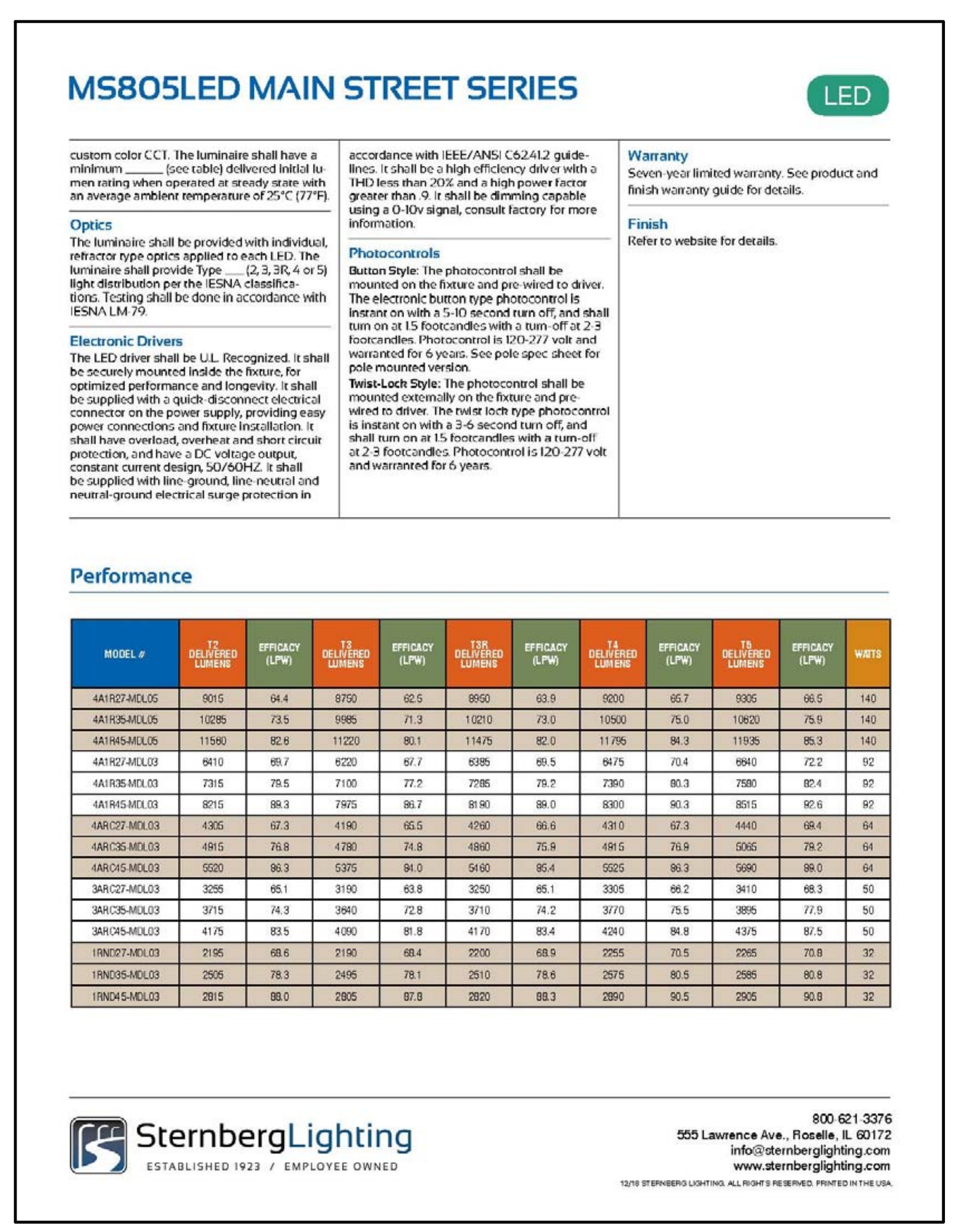


ROADWAY CUT PATCHING DETAIL
NOT TO SCALE



BARRIER CURB
NOT TO SCALE

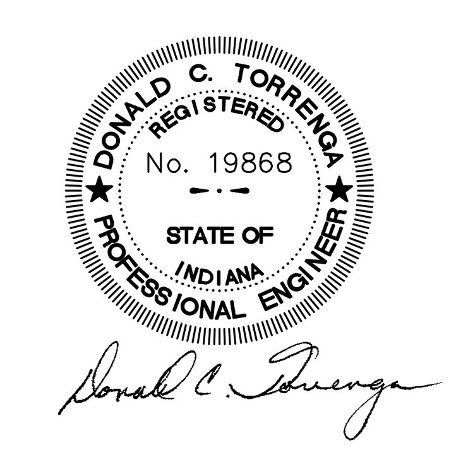




TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrenga.com

PARKING LOT EXPANSION
5411 OTIS BOWEN DRIVE
MUNSTER, LAKE COUNTY, INDIANA
DETAILS AND SPECIFICATIONS

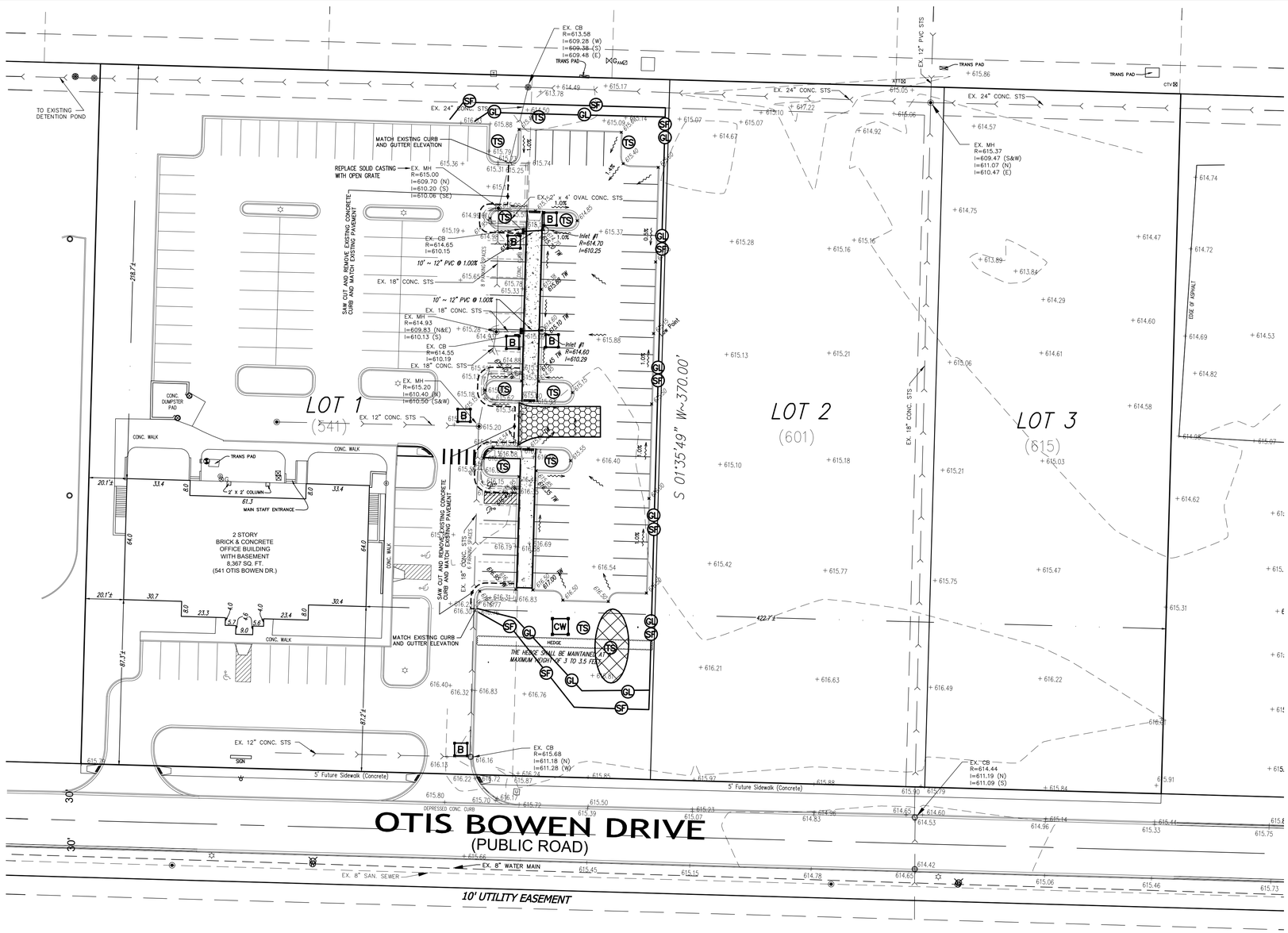
02-21-2020
REVISIONS:
DATE: 01-31-2020

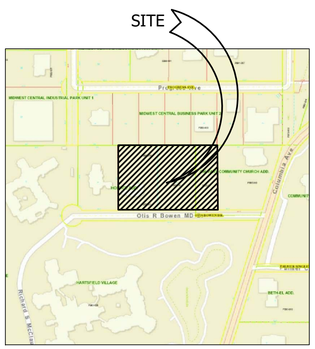


CLIENT:
CFNI
901 MacArthur Blvd.
Munster, Indiana 46321
JOB NO: 2019-5063
SCALE: NTS

SHEET
C-4.0

FILE NO: Z:\2019-5063 541 Otis Bowen Drive Parking Lot\dwg\2019-5063 Details.dwg 1/31/2020 11:32:48 AM CST





VICINITY MAP
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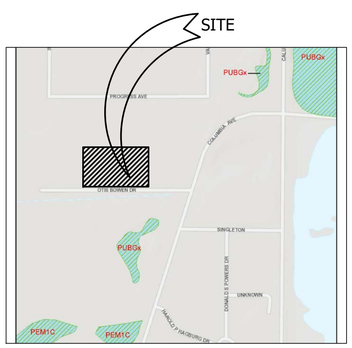
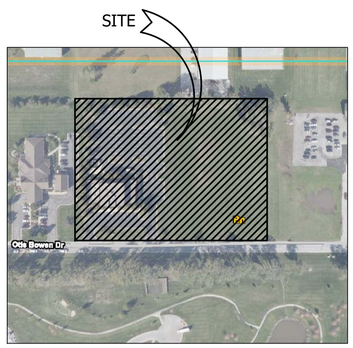


WETLAND MAP
NOT TO SCALE



SOIL MAP
NOT TO SCALE

SOIL TYPE LEGEND
Bn – Bono silty clay

Physical and Chemical Properties of Soils

Soil series and map symbols	Depth to seasonal high water table	Depth from surface	Classification: Dominant USDA texture	Unified	AASHO	Permeability	Available moisture capacity	Reaction	Frost-heave potential	Shrink swell potential
Bono: Bn	0-1	0 - 21	Silty Clay	OL,M or CH	A-7	0.20 - 0.63	.20	6.1 - 6.5	High	High
		21 - 9	Silty Clay	CH	A-7	<0.06	.18	5.6 - 6.0	Moderate	High
		39 - 60	Silty Clay	CL	A-7	<0.06	.18	7.1 - 7.8	Moderate	High

SWPPP LEGEND:

- TEMPORARY ENTRANCE/EXIT (GRAVEL OR MAT)
- SOIL STOCK PILE
- B – BASKET INLET/CATCH BASIN PROTECTION
- GL – GRADE LIMITS
- SF – SILT FENCE (SEDIMENT FENCE)
- CW – CONCRETE WASH OUT AREA
- TS – TEMPORARY SEEDING
- XXX.XX – GRADES (PROPOSED)

GENERAL NOTES:

1. THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" (SHADED) AREA OF 0.2% ANNUAL CHANCE FLOOD; AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH OF LESS THAN 1 FOOT OR WITH DRAINAGE AREA LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE MUNSTER, LAKE COUNTY, INDIANA, MAP NUMBER 18089C0119E, EFFECTIVE DATE JAN. 18, 2012. NO FLOODWAYS OR FLOODPLAINS FRINGES EXIST ON THIS PROPERTY.
2. HYDROLOGIC UNIT CODES: 07120003040040 THORN CREEK - NORTH CREEK.
3. STATE OR FEDERAL WATER QUALITY PERMITS ARE NOT REQUIRED FOR THE PROJECT, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) IDEM RULE 5 WATER QUALITY PERMIT IS NOT REQUIRED, DISTURBED AREA IS UNDER 1.00 AC.
4. THE SITE CONSISTS PRIMARILY OF OPEN AREA COVERED BY SEVERAL VARIETIES OF UPLAND GRASSES.
5. THERE IS PRESENCE OF HYDRIC SOILS ON THIS PROPERTY BONO SILTY CLAY(Bn).
6. THERE ARE NO EXISTING WETLAND AREAS ON THIS PROPERTY, AND ITS SURROUNDING AREAS AS CLASSIFIED BY THE U.S. FISH AND WILDLIFE SERVICE, NATIONAL WETLANDS INVENTORY, AND THE UNITED STATES DEPARTMENT OF THE INTERIOR. THERE ARE NO LAKES, PONDS OR WATER COURSES ON THE PROJECT SITE OR ON ADJACENT PROPERTY. THORN CREEK (NORTH CREEK) IS THE WATER COURSE WHICH THE STORMWATER FROM THE PROPOSED SITE WILL ULTIMATELY DISCHARGE INTO, ITS LOCATED APPROXIMATELY ½ MILE EAST OF THE PROJECT SITE, AND IS CLASSIFIED AS A WATER OF THE U.S., WITH A NWL = 589±.
7. POTENTIAL SOURCE OF STORM WATER DISCHARGE ENTERING THE GROUNDWATER FROM THIS DEVELOPMENT WILL BE THROUGH NATURAL GROUND ABSORPTION ONLY. THERE ARE NO ABANDONED WELLS OR SINKHOLES ON THE PROPERTY.
8. THERE ARE NO SENSITIVE AREAS ASSOCIATED WITH THIS PROPERTY, AND ITS SURROUNDING AREAS.
9. THERE ARE NO REGULATED DRAINS WITHIN THIS PROPERTY, OR ON ADJACENT PROPERTIES. THERE IS NO RECORD OR KNOWLEDGE OF EXISTING FARM DRAINS OR FIELD TILE, INLETS AND OUTFALLS LOCATED WITHIN THE EXISTING PROPERTY LIMITS.
10. SOIL STOCKPILES, BORROW AND DISPOSAL AREAS ARE LOCATED WITHIN THE PROJECT SITE. SOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCING AT ALL TIMES TO PREVENT EXCESSIVE EROSION, AND IF LEFT UNDISTURBED FOR A PERIOD OF MORE THAN 14 DAYS, IT SHALL BE TEMPORARY SEEDED.
11. AREA WHERE THE PROPOSED PARKING LOT EXPANSIONS, AND DRIVES AS WELL AS AREAS WHERE PROPOSED UTILITIES ARE LOCATED WILL BE DISTURBED DURING CONSTRUCTION. IN ALL OTHER AREAS, EXISTING VEGETATIVE COVER WILL BE PRESERVED.
12. FUEL STORAGE AREA IF REQUIRED SHALL BE WITHIN THE CONSTRUCTION STAGING AREA, FUEL SHALL BE STORED IN APPROVED MOBILE REFUELING TANK LOCATED AWAY FROM DRAINAGE STRUCTURES AND CHANNELS. FIRE EXTINGUISHERS SHALL BE LOCATED NEAR FUEL STORAGE AREA AND BE OF SUITABLE TYPE, POSTED, AND BE MAINTAINED IN GOOD CONDITION.
13. TEMPORARY SEED ALL AREAS OF BARE SOIL (WITH THE ADDITION OF A BLANKET WHERE SLOPES ARE GRATER THAN 3:1) THAT WILL REMAIN UNDISTURBED FOR A PERIOD OF MORE THAN 14 DAYS. SEEDING: OPTIMUM SEEDING DATED ARE MARCH 1 - MAY 10 AND AUGUST 10 - SEPTEMBER 30. SEEDING DATES BETWEEN MAY 10 AND AUGUST 10, MAY NEED TO BE IRRIGATED. FOR SEEDING RECOMMENDATIONS SEE PRACTICE 3.12, INDIANA STORM WATER QUALITY MANUAL.
14. ALL SOIL STOCKPILES, AREAS THAT ARE DISTURBED DURING CONSTRUCTION, AND DRAINAGE SWALES WHICH ARE SCHEDULED OR LIKELY TO BE LEFT INACTIVE FOR FOURTEEN (14) CALENDAR DAYS OR MORE MUST BE TEMPORARILY OR PERMANENTLY SEEDED WITH MEASURES APPROPRIATE FOR THE SEASON.
15. IF REQUIRED LOCATION OF ON-SITE POSTING, OF THE COMPLETE RULE 5 NOI AND NOS LETTERS, SHALL BE AVAILABLE AT THE ENTRANCE TO THE SITE AND VISIBLE TO THE PUBLIC.
16. SITE ELEVATIONS ARE BASED ON NAVD 88, AND HORIZONTAL DATUM IS BASED ON INDIANA STATE PLANE COORDINATES NAD 83.

Temporary stabilization plans and sequence of implementation.

a. Installation of all erosion/sedimentation controls including stabilized construction entrance, silt fences, etc... per the engineering plans.
b. Clearing and grubbing.
c. Topsoil stockpile surrounded with silt fencing.
d. Rough cut and fill of all proposed parking lot, Building pad, and other major grading per the engineering plans shall be done to rough grades at start of construction to prevent excessive soil erosion due to construction.
e. Implementation of storm sewer inlet protection at each open-grate structure (fabric drop inlet protection, basket inlet protection, etc., as per engineering plans).
f. Regrade and construct parking lot, expansion.
g. Finish grading of all disturbed areas with permanent seeded, mulched, and landscaping, when no additional disturbance is anticipated.
h. Complete permanent erosion control and restoration of site vegetation. Erosion control measures are to be removed upon permanent vegetative cover being established.

RESPONSIBLE INDIVIDUAL FOR SWPPP

COMPANY: COMMUNITY FOUNDATION OF NW INDIANA
NAME: DAVE OTTE
ADDRESS: 10010 DONALD S. POWERS DRIVE
MUNSTER, IN 46321
PHONE: (219) 836-1600
E-MAIL: dotte@comhs.org

DONALD C. TORRENGA REGISTERED No. 19868 STATE OF INDIANA PROFESSIONAL ENGINEER

NORTH

GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
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HOSPICE SECOND ADDITION
541 OTIS BOWEN DRIVE
MUNSTER, LAKE COUNTY, INDIANA
STORM POLLUTION PREVENTION PLAN

REVISIONS:
03-04-2020
02-21-2020
01-31-2020

DATE: 12-27-2019

CLIENT:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

JOB NO: 2019-5063

SCALE: 1" = 30'

SHEET
C-5.0

FILE NO:Z:\2019-5063 541 Otis Bowen Drive Parking Lot\dwg\2019-5063revised 01-17-2020).dwg 1/30/2020 3:20:20 PM CST

TEMPORARY CONSTRUCTION ENTRANCE/EXIT

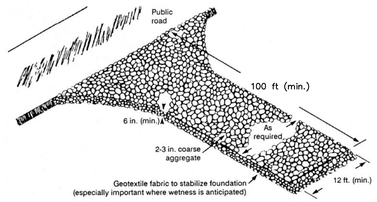
Purpose: To provide a stable entrance/exit condition from the construction site, and to keep mud and sediment off public roads.

"GRAVEL"

Requirements:
Width: 12 feet minimum or full width of entrance
Length: 100 feet minimum
Material: 2-3 inch diameter washed stone (INDOT CA No. 2), with Geotextile Fabric Underliner.
Thickness: 6 inch minimum

Installation:
1. Remove all vegetation and other objectionable material from the foundation area.
2. Install pipe under the stone if needed to provide proper public road drainage.
3. Install Geotextile fabric on the graded foundation area prior to stone placement.
4. Divert all surface runoff and drainage from the stone to sediment trap.

Maintenance:
1. Inspect entrance pad for sediment deposits weekly and after storm events or heavy use.
2. Reshape pad as needed for drainage and runoff control.
3. Topdress with clean stone as needed.
4. Remove mud and sediment tracked or washed onto public road by brushing or sweeping. No flushing of sediment off the street
5. Repair any broken road pavement immediately.



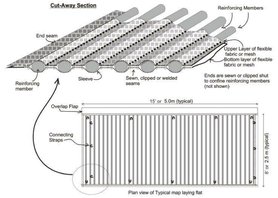
Plans of a temporary gravel construction entrance/exit pad.

"MAT"

Requirements:
Width: 12 feet minimum or full width of entrance
Length: 50 feet minimum
Material: Geotextile-Type mats, **AGES Mud Mat** or approved equal

Installation:
1. Install pipe under mat if needed to provide proper site drainage.
2. Install Geotextile-Type mat on the graded foundation area.
3. Divert all surface runoff and drainage from the mat to sediment trap.

Maintenance:
1. Inspect entrance mat for sediment deposits weekly and after storm of a minimum of 1/2 inch rainfall events or heavy use.
2. Reshape pad as needed for drainage and runoff control.
3. Repair or replace mats as needed.
4. Remove mud and sediment tracked or washed onto public road by brushing or sweeping. No flushing of sediment off the street.



PLANS OF TEMPORARY CONSTRUCTION INGRESS/EGRESS PAD

TEMPORARY SEEDING

Purpose: To stabilize disturbed areas especially along both sides of the streets and courts after final grading work is completed and where additional work is not scheduled.

Requirements:
Site and seedbed preparation: Graded, and lime and fertilizer applied

Seed Selected:
Selected on the basis of quick germination, growth, and time of year, see Table for temporary seeding recommendations.

Fertilize: According to soil test or use 600 lbs/acre 12-12-12 analysis or equivalent.

Mulch: 1.5 - 2 tons/acre straw. Straw must be dry, unchopped and free of undesirable seeds.

Application:
1. Fertilize and lime as recommended by the soil test.
2. Till the soil to obtain a uniform seedbed, working the fertilizer and lime into the soil 2-4" deep with a disk or rake operated across the slope.
3. Apply seed uniformly with a drill or cultipacker-seeder, or broadcasting, and cover to a depth as shown on Table for temporary seeding recommendations.
4. If drilling or broadcasting, firm the seedbed with a roller or cultipacker.
5. Mulch all seeded areas. (Note: If seeding is done with a hydroseeder, fertilizer and mulch can be applied with the seed in a slurry mixture.)

Maintenance:
1. Inspect periodically after planting to see that vegetative stands are adequately established; re-seed if necessary.
2. Check for erosion damage after storm events and repair; re-seed and mulch if necessary.

Notes:
1. Vegetative Filter Strip: permanent or temporary, shall be done on all disturbed areas along both sides of the streets and courts to reduce erosion where additional work is not scheduled.
2. Permanent Seeding: or sodding shall be done at the time of final landscaping.

Exhibit 3.11-B. Temporary Seeding Recommendations.

Seed species*	Rate/acre	Planting depth	Optimum dates**
Wheat or rye	150 lbs.	1 to 1½ in.	9/15 to 10/30
Spring oats	100 lbs.	1 in.	3/1 to 4/15
Annual ryegrass	40 lbs.	1/4 in.	3/1 to 5/1 8/1 to 9/1
German millet	40 lbs.	1 to 2 in.	5/1 to 6/1
Sudangrass	35 lbs.	1 to 2 in.	5/1 to 7/30

* Perennial species may be used as a temporary cover, especially if the area to be seeded will remain idle for more than a year (INDIANA PERMANENT SEEDING)
** Seeding done outside the optimum dates increases the chances of seeding failure.

PERMANENT SEEDING

Purpose: To stabilize disturbed areas especially along both sided of the streets and courts after final grading work is completed and where additional work is not scheduled.

Requirements:
Site and seedbed preparation: Graded, and lime and fertilizer applied.

Seed Selected:
Selected on the basis of Site Conditions, Soil PH, intended land use, and expected level of maintenance see Table for permanent seeding recommendations.

Fertilize: According to soil test or use 600 lbs/acre 12-12-12 analysis or equivalent.

Mulch: 1.5 - 2 tons/acre straw. Straw must be dry, unchopped and free of undesirable seeds.

Application:
1. Fertilize and line as recommended by soil test.
2. Till the soil to obtain a uniform seedbed, working the fertilizer and lime into the soil 2-4" deep with a disk or rake operated across the slope.
3. Apply seed uniformly with a drill or cultipacker-seeder, or broadcasting, and cover to a depth of ¼ to ½ inch.
4. If drilling or broadcasting, firm the seedbed with a roller or cultipacker.
5. Mulch all seeded areas. (Note: If seeding is done with a hydroseeder, fertilizer and mulch can be applied with the seed in a slurry mixture.)

Maintenance:
1. Inspect periodically, especially after storm events, until the stand is successfully established. (Characteristics of a successful stand include: vigorous dark green or bluish-green seedling; uniform density with nurse plants, legumes, and grasses well intermixed; green leaves; and the perennials remaining green throughout the summer, at least at the plant base.)
2. Plan to add fertilizer the following seasons according to soil test recommendations.
3. Repair damaged, bare or sparse areas by filling any gullies, refertilizing, over- or re-seeding, and mulching.
4. If plant cover is sparse or patchy, review the plant materials chosen, soil fertility, moisture condition, and mulching; then repair the affected area either by over-seeding or by re-seeding, and mulching.
5. If vegetation fails to grow, consider soil testing to determine acidity or nutrient deficiency problems. (Contact your SWCD or Cooperative Extension office for assistance.)
6. If additional fertilization is needed to get a satisfactory stand, do so according to soil test recommendations.

Notes:
1. Permanent seeding optimum dates are March 1 to May 10 and August 10 to September 30, seeding done between May 10 to August 10 may require irrigation. Temporary seeding may be used as an alternative until preferred date for Permanent Seeding.
2. Retention/Detention area walls and base will be seeded as soon as possible using permanent seeding when possible, mulch or erosion control blankets are to be used on seeded areas to protect the soil from wind and water impact. Install silt fences around Retention/Detention area until seed is established.

Seeding Recommendations.
This table provides several seeding options. Additional seed species and mixtures are available commercially. When selecting a mixture, consider site conditions, including soil properties (e.g., soil pH and drainage), slope aspect and the tolerance of each species to shade and droughtiness.

Seed species and mixtures	Rate per acre: Permanent	Rate per acre: Dormont or frost	Optimum soil pH
OPEN AND DISTURBED AREAS (REMAINING IDLE MORE THAN 1 YR.)			
1. Perennial ryegrass	35 to 50 lbs.	50 to 75 lbs.	5.6 to 7.0
+ white or ladino clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
2. Kentucky bluegrass	20 lbs.	30 lbs.	5.5 to 7.5
+ smooth bromegrass	10 lbs.	15 lbs.	
+ switchgrass	3 lbs.	5 lbs.	
+ timothy	4 lbs.	6 lbs.	
+ perennial ryegrass	10 lbs.	15 lbs.	
+ white or ladino clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
3. Perennial ryegrass	15 to 30 lbs.	22 to 45 lbs.	5.6 to 7.0
+ tall fescue**	15 to 30 lbs.	22 to 45 lbs.	
4. Tall fescue**	35 to 50 lbs.	50 to 75 lbs.	5.5 to 7.5
+ ladino or white clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
STEEP BANKS AND CUTS, LOW MAINTENANCE AREAS (NOT MOWED)			
1. Smooth bromegrass	25 to 35 lbs.	35 to 50 lbs.	5.5 to 7.5
+ red clover*	10 to 20 lbs.	15 to 30 lbs.	
2. Tall fescue**	35 to 50 lbs.	50 to 75 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
3. Tall fescue**	35 to 50 lbs.	50 to 75 lbs.	5.5 to 7.5
+ red clover* (Recommended north of US 40)	10 to 20 lbs.	15 to 30 lbs.	
4. Orchardgrass	20 to 30 lbs.	30 to 45 lbs.	5.6 to 7.0
+ red clover*	10 to 20 lbs.	15 to 30 lbs.	
+ ladino clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
5. Crownvetch*	10 to 12 lbs.	15 to 18 lbs.	5.6 to 7.0
+ tall fescue** (Recommended south of US 40)	20 to 30 lbs.	30 to 45 lbs.	
LAWNS AND HIGH MAINTENANCE AREAS			
1. Bluegrass	105 to 140 lbs.	160 to 210 lbs.	5.5 to 7.0
2. Perennial ryegrass (turf-type)	45 to 60 lbs.	70 to 90 lbs.	5.6 to 7.0
+ bluegrass	70 to 90 lbs.	105 to 135 lbs.	
3. Tall fescue (turf-type)**	130 to 170 lbs.	195 to 250 lbs.	5.6 to 7.5
+ bluegrass	20 to 30 lbs.	30 to 45 lbs.	
CHANNELS AND AREAS OF CONCENTRATED FLOW			
1. Perennial ryegrass	100 to 150 lbs.	150 to 225 lbs.	5.6 to 7.0
+ white or ladino clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
2. Kentucky bluegrass	20 lbs.	30 lbs.	5.5 to 7.5
+ smooth bromegrass	10 lbs.	15 lbs.	
+ switchgrass	3 lbs.	5 lbs.	
+ timothy	4 lbs.	6 lbs.	
+ perennial ryegrass	10 lbs.	15 lbs.	
+ white or ladino clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
3. Tall fescue**	100 to 150 lbs.	150 to 225 lbs.	5.5 to 7.5
+ ladino or white clover*	1 to 2 lbs.	1 ½ to 3 lbs.	
4. Tall fescue**	100 to 150 lbs.	150 to 225 lbs.	5.5 to 7.5
+ Perennial ryegrass	15 to 20 lbs.	22 to 30 lbs.	
+ Kentucky bluegrass	15 to 20 lbs.	22 to 30 lbs.	

* For best results: (a) legume seed should be inoculated; (b) seeding mixtures containing legumes should preferably be spring-seeded, although the grass may be fall-seeded and the legume frost-seeded; and (c) if legumes are fall-seeded, do so in early fall.
** Tall fescue provides little cover for, and may be toxic to, some species of wildlife. The IDNR recognizes the need for additional research on alternatives to tall fescue, such as buffalograss, orchardgrass, smooth bromegrass, and switch-grass. This research, in conjunction with demonstration areas, should focus on erosion control characteristics, wildlife toxicity, turf durability, and drought resistance.

DORMANT AND FROST SEEDING

Purpose:
1. To provide early germination and soil stabilization in the spring.
2. To reduce sediment runoff to downstream areas.
3. To repair previous seedings.

Requirements:
Site and seedbed preparation: Graded, lime and fertilizer applied.

Seed Selected:
Selected on the basis of Site Conditions, Soil PH, intended land use, and expected level of maintenance. See Table for dormant or frost seeding recommendations.

Fertilize: According to soil test or use 400-600 lbs/acre 12-12-12 analysis or equivalent.

Application:
Dormant seeding is a temporary or permanent seeding application at a time when soil temperatures are too low for germination to occur (less than 50 °F) Frost seeding is a temporary or permanent seeding application in early spring when soils are in the freeze-thaw stage.

For Dormant Seeding: (Seeding dates: Dec. 1-Feb. 28)
1. Site preparation and mulching can be done months ahead of actual seeding, apply mulch upon completion of grading (Practice 3.15)
2. Broadcast fertilizer as recommended by soil test.
3. Broadcast seeding on top of the mulch and/or into existing ground cover at the rate shown on table. (if site preparation occurs within the recommended dates, fertilize and lime, seed, and mulch at the time.)

For Frost Seeding: (Seeding dates: Feb. 28 - Mar. 28)
1. Broadcast fertilizer as recommended by a soil test.
2. Select an appropriate seed species or mixture from table for temporary seeding or table for permanent seeding, and broadcast on to the seedbed or into the existing ground cover at the rate shown. (Do not work the seed into the soil.)

Maintenance:
1. Apply 200-300 lbs./acre of 12-12-12 or equivalent fertilizer between Apr. 15 and May 10 or during periods of vigorous growth.
2. Re-seed and mulch any areas that have inadequate cover by mid- to late April. For best results, re-seed within the recommended dates shown for temporary seeding or for permanent seeding.

Temporary Dormant or Frost Seeding Recommendations.

Seed species*	Rate per acre
Wheat or rye	150 lbs.
Spring oats	150 lbs.
Annual ryegrass	60 lbs.

*Perennial species may be used as temporary cover, especially if the area to be seeded will remain idle for more than a year.

MULCHING

Purpose: To promote seed germination and seedling growth, a temporary surface stabilization, and protecting the soil from wind and water impact.

Requirements:
Material: Straw, hay, wood fiber or excelsior, see table for Mulch Materials, Rates, and comments.
Comments:
Coverage: 75% of the soil surface
Anchoring: Required to prevent displacement by wind or water, see table for Mulch Anchoring Methods.

Application:
1. Apply mulch at the recommended rate.
2. Spread uniformly by hand, hay fork, mulch blower, or hydromulcher with no more than 25% of the surface visible.
3. Anchor immediately if using straw or hay, using one of the folliwing methods:
- Crimp with mulch anchoring tool.
- Hydromulch with short cellulose fibers.
- Apply liquid tackifier.
- Cover with netting secured with metal staples..

Maintenance:
1. Inspect after storm events to check for movement of mulch or for erosion.
2. If washout, breakage, or erosion is present, repair the surface, then re-seed, re-mulch.
3. Continue inspections until vegetation is firmly established.

Exhibit 3.15-B. Mulch Materials, Rates, and Comments.

Material	Rate	Comments
Straw or hay	1½-2 tons/acre	Should be dry, unchopped, free of undesirable seeds. Spread by hand or machine. Must be crimped or anchored (see *Exhibit 3.15-D*).
Wood fiber or cellulose	1 ton /acre	Apply with a hydromulcher and use with tacking agent.
Long fiber wood (excelsior)	1/2-3/4 ton/acre	Anchor in areas subject to wind.

Exhibit 3.15-D. Mulch Anchoring Methods.

Anchoring method	How to apply
Mulch anchoring tool OR Farm disk (dull, serrated, and set straight)	Crimp or punch the straw or hay into the soil 2-4 in. Operate machinery on the contour of the slope.
Cleating with dozer tracks	Operate dozer up and down slope, not across, or else the tracks will form rills.
Wood hydromulch fibers	Apply 1-2 tons/acre using a hydromulcher at a rate of 750 lbs./acre with a tacking agent (or according to contractor specifications). Do not use in areas of concentrated flow.
Asphalt emulsion	Emulsified asphalt should conform to the requirements of ASTM Spec. #977. Apply with suitable equipment at a rate of 0.05 gal./sq. yd. Do not use in areas of concentrated flow.
Synthetic tackifier, binder or soil stabilizer	Apply according to manufacturer's recommendation.
Biodegradable netting (polypropylene or similar material)*	Apply over mulch and staple with 6-8 in. wire staples. Follow manufacturer's recommendations for installation. Best suited to slope application.

* Install the netting immediately after applying the mulch. In areas of concentrated water flow, lay it parallel to the direction of flow; on other slopes, lay it either parallel or perpendicular to direction of flow. Edges of adjacent netting strips should overlap 4-6 in., with the strip on the upgrade side of any lateral water flow on top. Installation details are site specific, so follow manufacturer's directions.

SELF-MONITORING PROGRAM

A self-monitoring program that includes the following must be implemented at all permitted project sites:

1. A trained individual shall perform a written evaluation of the project site a minimum of one (1) time per week and by the end of the next business day following each measurable storm event.
2. The evaluation must address the maintenance of existing storm water quality measures to ensure they are functioning properly and identify additional measures necessary to remain in compliance with all applicable statutes and rules.
3. Written evaluation reports must include:
   a. the name of individual performing the evaluation;
   b. the date of evaluation;
   c. problems identified at the project site; and
   d. details of corrective actions recommended and completed.
4. All evaluation reports for the project site must be made available to the MS4 Operator or other designated entity within forty-eight (48) hours of a request.
5. Evaluation reports must be maintained for a period of two (2) years from date of NOT.
6. All evaluation reports will be submitted to the Town of Munster when requested.

Date:
Project:
Inspected by:
Type of Inspection: ☐ Scheduled Weekly ☐ Rain Event

CONSTRUCTION SITE INSPECTION AND MAINTENANCE LOG
(To be Completed by Property Owner or Agent)

All stormwater pollution prevention BMPs shall be inspected and maintained as needed to ensure continued performance of their intended function during construction and shall continue until the entire site has been stabilized and a Notice of Termination has been issued. An inspection of the project site must be completed by the end of the next business day following each measurable storm event. If there are no measurable storm events within a given week, the site should be monitored at least once in that week. Maintenance and repair shall be conducted in accordance with the accepted site plans. This log shall be kept as a permanent record and must be made available to Town of Munster Engineer, in an organized fashion, within forty-eight (48) hours upon request.

Yes	No	N/A	
			1. Are all sediment control barriers, inlet protection and silt fences in place and functioning properly?
			2. Are all erodible slopes protected from erosion through the implementation of acceptable soil stabilization practices?
			3. Are all dewatering structures functioning properly?
			4. Are all discharge points free of any noticeable pollutant discharges?
			5. Are all discharge points free of any noticeable erosion or sediment transport?
			6. Are designated equipment washout areas properly sited, clearly marked, and being utilized?
			7. Are construction staging and parking areas restricted to areas designated as such on the plans?
			8. Are temporary soil stockpiles in approved areas and properly protected?
			9. Are construction entrances properly installed and being used and maintained?
			10. Are "no-build" areas designated on plan sheets clearly marked on-site and avoided?
			11. Are public roads at intersections with site access roads being kept clear of sediment, debris, and mud?
			12. Is spill response equipment on-site, logically located, and easily accessed in an emergency?
			13. Are emergency response procedures and contact information clearly posted?
			14. Is solid waste properly contained?
			15. Is a stable access provided to the solid waste storage and pick-up area?
			16. Are hazardous materials, waste or otherwise, being properly handled and stored?
			17. Have previously recommended corrective actions been implemented?

If you answered 'no' to any of the above questions, describe any corrective action which must be taken to remedy the problem and when the corrective actions are to be completed.

REPORT SAMPLE

SPILL PREVENTION AND RESPONSE

Purpose: Procedures and practices to prevent and control spills in a manner that minimizes or eliminates the discharge of spilled material to the drainage system or watercourses.

Hazardous Waste Products:
- Petroleum Products,
- Asphalt Products,
- Concrete Curing Compounds,
- Pesticides,
- Acids,
- Paints,
- Stains,
- Solvents,
- Wood Preservatives,
- Roofing Tar, or

Other Waste Products:
- Soil stabilizers/binders
- Dust palliatives
- Herbicides
- Growth inhibitors
- Fertilizers
- Deicing/anti-icing chemicals
- Fuels
- Lubricants
- Other petroleum distillates

Any materials deemed a hazardous waste in 40 CFR Parts 110, 117, 261, or 302

Spill Prevention Practices:
The following are management practices used for reduction of spills and other accidental exposure of materials and substances to storm water runoff:
a. The contractors and subcontractors shall refer to the Material Safety Data Sheet (MSDS) for information on the proper storage, use, and clean-up methods for all materials anticipated being on the project site.
b. All required materials for spill clean up and disposal of all onsite materials shall be kept on site in a project trailer with easy access for all users of associated materials.
c. All disposals of spilled materials shall be done in accordance with Federal, State and Local waste disposal regulations. All contractors and subcontractors shall be responsible for any and all spills associated with their work.
d. Prompt cleanup of any spills that may occur of liquid or dry materials.
e. Cleanup of sediments that have been tracked by vehicles or have been transported by wind or storm water about the site or onto nearby roadways.

Response Practices:
In the event that a large spill occurs (that which requires extensive cleanup actions, refer to MSD sheets for information), the following procedures shall be followed to minimize exposure of the material.

a. Immediate action shall be taken to control and contain the spill to prevent it from entering any nearby storm sewer structures or open waters.
b. Notify the Town of Munster Fire Department at 911 for all combustible and flammable materials.
c. Notify: for local contact, the Lake County Emergency Management at Phone: 219-755-3549, and/or Fax: 219-755-3559; the Federal Emergency Spill Hotline at 1-800-424-8802 within 2 hours for spills above the reported allowable quantity, or if the material enters any nearby storm sewer structures or open waters.
d. Notify: for local contact, the Lake County Emergency Management at Phone: 219-755-3549, and/or Fax: 219-755-3559; the Indiana Emergency Response Hotline at 1-888-233-7745.
e. The spill area shall be isolated from all surrounding areas with absorbent pads, booms, and pillows designed for the use of spill containment and absorption.
f. The spill kits that are required to be on site shall be utilized.
g. Emergency Response teams shall be contacted for extensive spills above and beyond the containment by available methods.

Waste Disposal Management Practices:
All solid waste associated with the construction and development of this project shall be removed and disposed of properly with in all applicable state and federal laws associated with the waste generated. Developer and/or contractor are to provide on-site dumpsters, rented from a licensed solid waste management company, to ensure waste is collected and disposed of properly. All trash and construction debris from the site will be deposited in a dumpster. No construction waste will be buried onsite. All personnel will be instructed regarding the correct procedure for waste disposal.

a. Select a designated waste collection area onsite.
b. Provide an adequate number of containers with lids or covers throughout the site, and frequent pickups
c. Provide immediate cleanup of any container spills.
d. Make sure that construction waste is collected, removed, and disposed of only at authorized areas.

DONALD C. TORRENGA REGISTERED No. 19868 STATE OF INDIANA PROFESSIONAL ENGINEER

Donald C. Torrenga

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Tel. No.: (219) 836-8918
website: www.torrenga.com

HOSPICE SECOND ADDITION
541 OTIS BOWEN DRIVE
MUNSTER, LAKE COUNTY, INDIANA
SWPPP DETAILS

01-31-2020 REVISIONS:
DATE: 12-27-2019

CLIENT:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

JOB NO: 2019-5063
SCALE: NTS

SHEET
C-6.0

FILE NO: Z:\2019-5063 541 Otis Bowen Drive Parking Lot\dwg\2019-5063_SWPPP Details.dwg 12/26/2019 2:37:29 PM CST

SILT FENCE

Purpose: To retain sediment from small sloping disturbed areas by reducing the velocity of sheet flow.

Requirements:

Trench: 8" minimum depth, flat bottom or v-shaped, filled with compacted soil or gravel to bury lower portion of support wire and/or fence fabric.

Support posts: 2" x 2" hardwood posts set at lease 1 foot deep.

Spacing of Posts: 8-foot maximum if fence supported by wire, otherwise 6 foot for extra strength fabric without wire backing.

Fence height: A 3 feet minimum or high enough so depth of impounded water does not exceed 1.5 feet at any point along fence line.

Support wire : (optional) 14 gauge, 6" mesh wire fence. (needed if using standard-strength fabric

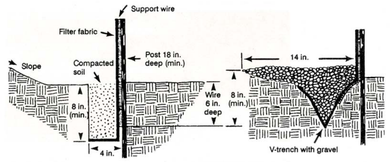
Fence Fabric: Woven or non-woven Geotextile fabric with specified filtering efficiency and tensile strength and containing UV inhibitors and stabilizers to ensure 6 months minimum life at temperatures 0-120 degrees F.

Installation:

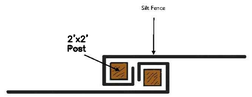
1. Along the entire intended fence line, maintain contour as much as possible, dig an 8" deep flat bottom or v-shaped trench.
2. On the downslope side of the trench, drive the post at least 1 foot into the ground. (Note: If the fence has pre-attached posts or stakes, drive them deep enough so the fabric is satisfactorily in the trench per step 6)
3. Fasten support wire fence to the upslope side of the posts, extending it 8" into trench. (use only if required by manufacturer)
4. Run a continuous length of Geotextile fabric along upslope side of posts.
5. If a joint is necessary, nail the overlap to the nearest post with a wood lath.
6. Place the bottom 1' of fabric in the 8" deep trench, extending the remaining 4" of fabric toward the upslope side.
7. Backfill the trench with compacted earth.

Maintenance:

1. Inspect silt fence periodically and after each storm event.
2. If fence fabric tears, starts to decompose, or becomes ineffective, replace the affected portion.
3. Remove deposited sediment when it reaches half the height of the fence at its lowest point or is causing the fabric to bulge.
4. Take care to avoid undermining the fence during clean out.
5. After watershed has been stabilized, remove fence and sediment deposits, bring the disturbed area to grade and stabilize.



Detailed example of silt fence installation (showing flat-bottom and v-shaped trenches).



Silt Fence Wrap Joint Detail

BASKET INLET / CATCH BASIN PROTECTION

Purpose: To prevent excessive sediment from entering storm sewers at inlet/catch basin, allowing full use of the storm drain system during the construction period.

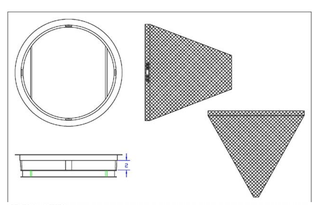
Requirements: Steel Frame with top width-length dimensions such that the basket fits into the inlet and/or catch basin (circular and/or rectangular), and a replaceable Geotextile fabric bag attached with a steel band locking cap that is suspended from the frame, **Catch -all Inlet Protector Hancor Flo-Gard bt Nyloplast** or approved equal.

Installation:

1. Install protection to existing and newly installed inlet/catch basin in a new development before land disturbing activities begin in a stabilized area.
2. Remove the grate, and place the basket assembly under the grate on the lip of the structure frame.
3. Replace the inlet/catch basin grate.

Maintenance:

1. Inspect weekly during construction and after each storm event of a minimum of 1/2 inch rainfall, and remove built-up sediment.
2. Replace bag every six (6) months.
3. Replace the Geotextile fabric bag if there is a hole and/or won't pass water.
4. Replace the Geotextile fabric bag after any oil, gasoline or solvent spill.



TYPICAL INLET/CATCH BASIN PROTECTION
INSERT DETAIL

CONCRETE WASHOUT

Purpose: To reduce the discharge of pollutants associated with concrete waste through consolidation of solids and retention of liquids.

Requirements:

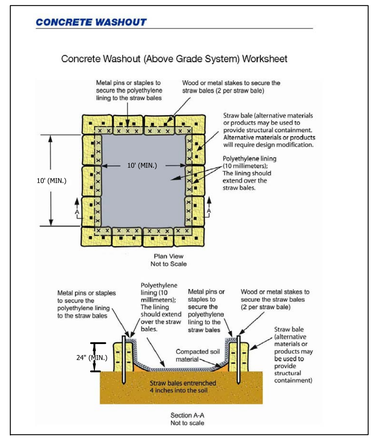
1.) Locate concrete washout systems at least 50 feet from any creeks, wetlands, ditches, karst features, or storm drains/manmade conveyance systems.
2.) Locate concrete washout systems in relatively flat areas with established vegetative cover and do not receive runoff from adjacent land areas.
3.) Locate in areas that provide easy access for concrete trucks and other construction equipment.
4.) Locate away from other construction traffic to reduce the potential for damage to the system.
5.) Minimum of ten millimeter polyethylene sheeting that is free of holes, tears, and other defects. The sheeting selected should be of an appropriate size to fit the washout system without seams or overlap of the lining.
6.) Signage.
7.) Orange safety fencing or equivalent.
8.) Straw bales, sandbags (bags should be ultraviolet-stabilized geotextile fabric), soil material, or other appropriate materials that can be used to construct a containment system (above grade systems).

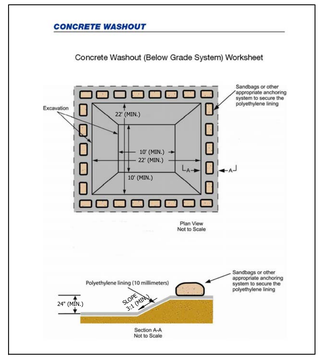
Installation:

1.) Dependent upon the type of system, either excavate the pit or install the containment system.
2.) A base shall be constructed and prepared that is free of rocks and other debris that may cause tears or punctures in the polyethylene lining.
3.) Install the polyethylene lining. For excavated systems, the lining should extend over the entire excavation. The lining for bermed systems should be installed over the pooling area with enough material to extend the lining over the berm or containment system. The lining should be secured with pins, staples, or other fasteners.
4.) Place flags, safety fencing, or equivalent to provide a barrier to construction equipment and other traffic.
5.) Place a non-collapsing, non-water holding cover over the washout facility prior to a predicted rainfall event to prevent accumulation of water and possible overflow of the system (optional).
6.) Install signage that identifies concrete washout areas.
7.) Post signs directing contractors and suppliers to designated locations.

Maintenance:

1.) Inspect daily and after each storm event.
2.) Inspect the integrity of the overall structure including, where applicable, the containment system.
3.) Inspect the system for leaks, spills, and tracking of soil by equipment.
4.) Inspect the polyethylene lining for failure, including tears and punctures.
5.) Once concrete wastes harden, remove and dispose of the material.
6.) Excess concrete should be removed when the washout system reaches 50 percent of the design capacity. Use of the system should be discontinued until appropriate measures can be initiated to clean the structure. Prefabricated systems should also utilize this criterion, unless the manufacturer has alternate specifications.
7.) Upon removal of the solids, inspect the structure. Repair the structure as needed or construct a new system.
8.) Dispose of all concrete in a legal manner. Reuse the material on site, recycle, or haul the material to an approved construction/demolition landfill site. Recycling of material is encouraged. The waste material can be used for multiple applications including but not limited to roadbeds and building. The availability for recycling should be checked locally.
9.) The plastic liner should be replaced after every cleaning; the removal of material will usually damage the lining.
10.) The concrete washout system should be repaired or enlarged as necessary to maintain capacity for concrete waste.
11.) Concrete washout systems are designed to promote evaporation. However, if the liquids do not evaporate and the system is near capacity it may be necessary to vacuum or remove the liquids and dispose of them in an acceptable method. Disposal may be allowed at the local sanitary sewer authority provided their National Pollutant Discharge Elimination System permits allow for acceptance of this material. Another option would be to utilize a secondary containment system or basin for further dewatering.
12.) Prefabricated units are often pumped and the company supplying the unit provides this service.
13.) Inspect construction activities on a regular basis to ensure suppliers, contractors, and others are utilizing designated washout areas. If concrete waste is being disposed of improperly, identify the violators and take appropriate action.
14.) When concrete washout systems are no longer required, the concrete washout systems shall be closed. Dispose of all hardened concrete and other materials used to construct the system.
15.) Holes, depressions and other land disturbances associated with the system should be backfilled, graded, and stabilized.





TOPSOIL SALVAGE & UTILIZATION

Purpose: To provide a method of preserving topsoil for use in establishing vegetation to achieve final site stabilization.

Specifications:

Material

Typically the darker, friable, loamy surface layer of soil found immediately below vegetation.

Storage Area

1. Free of stumps, rock, and construction debris.
2. Stockpile covered with vegetation or a tarp.
3. Surrounded by a sediment barrier or sediment filter.
4. Stockpile outside rooting zone of trees to be protected.

Application:

Salvaging and Stockpiling Topsoil

1. Determine depth and suitability of topsoil at site.
2. Prior to stripping topsoil, install any site-specific down slope measures needed to control storm water runoff and sedimentation.
3. Remove soil material no deeper than the "surface soil".
4. Stockpile the material in accessible locations that will not interfere with other construction activities or block drainage.
5. Stockpiled soil should be temporarily seeded and surrounded by a sediment control measure.

Spreading Topsoil

1. Prior to applying topsoil, grade the subsoil and roughen the top three to four inches by disking.
2. Apply topsoil evenly to a depth of a minimum of four inches, then compact slightly to improve contact with the subsoil.
3. Do not apply topsoil when the site is wet, muddy, or frozen.
4. After spreading the topsoil, grade and stabilize the site.

Maintenance:

1. Inspect daily.
2. Check for damage to perimeter barrier; repair immediately.
3. Check for erosion or damage to newly spread topsoil; repair immediately and revegetate.

DONALD C. TORRENGA REGISTERED No. 19868 STATE OF INDIANA PROFESSIONAL ENGINEER

TORRENGA ENGINEERING, INC.
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Tel. No.: (219) 836-8918
website: www.torrenga.com

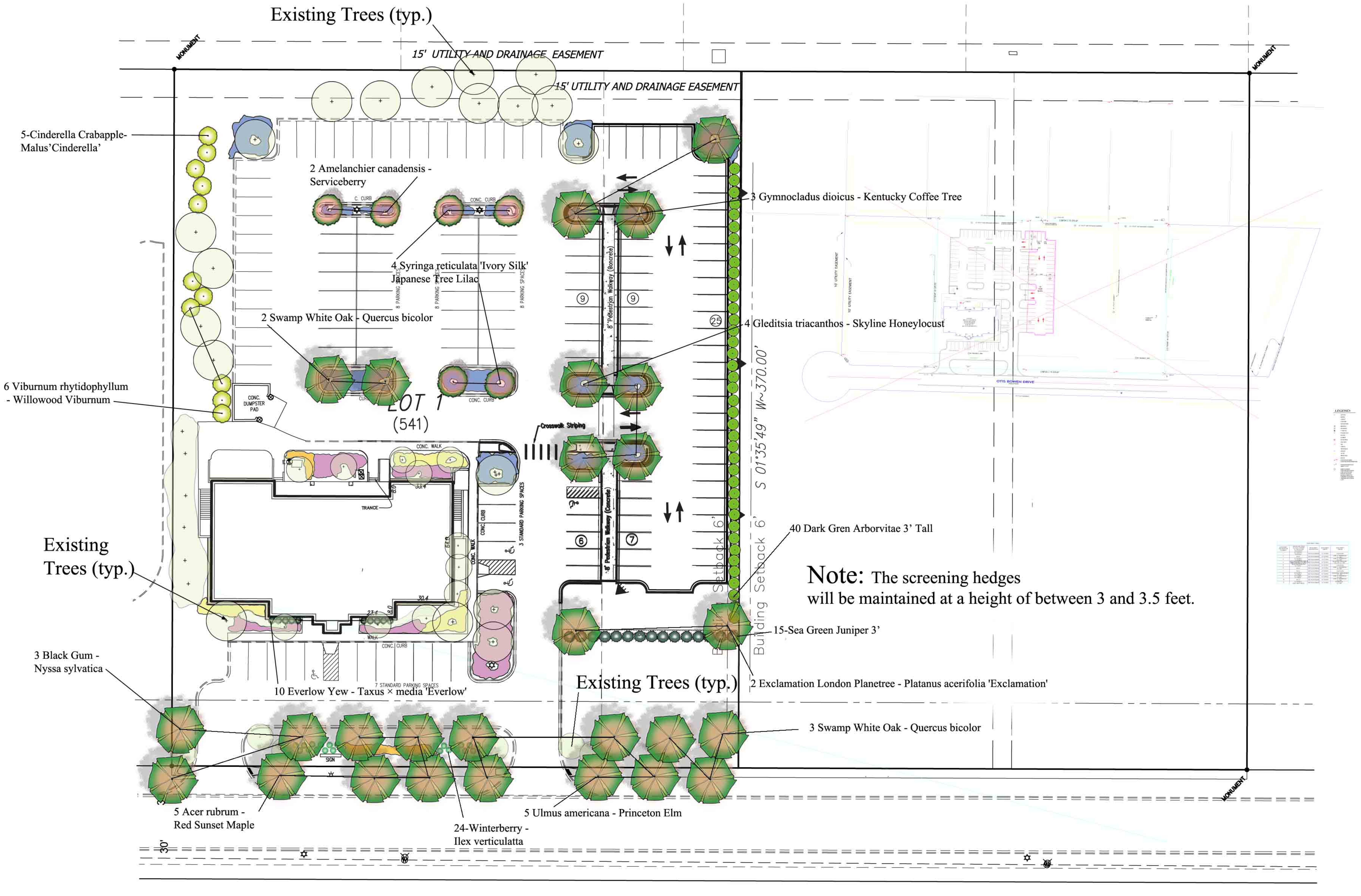
HOSPICE SECOND ADDITION
541 OTIS BOWEN DRIVE
MUNSTER, LAKE COUNTY, INDIANA
SWPPP DETAILS

01-31-2020 REVISIONS:
DATE: 12-27-2019

CLIENT:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

JOB NO: 2019-5063
SCALE: NTS

SHEET
C-6.1



Note: The screening hedges
will be maintained at a height of between 3 and 3.5 feet.

Plant Legend

Shade Trees - 2.5 to 3" caliper : Swamp White Oak, Kentucky Coffee Tree, Red Maple, Honeylocust, Black Gum

Ornamental Trees - 2 to 3" caliper: Serviceberry, Tree Lilac, Eastern Redbud

Dwarf Trees - 4-5' tall : Japanese Maple, Cinderella Crabapple, Blackhaw Viburnum, Leather-Leaf Viburnum

Dwarf Evergreen Shrubs - 18": Everlow Yews, Bird's Nest Spruce

Parking Lot Screening Shrubs - 24" height: Sea Green Juniper, Bayberry, Winterberry

🟪 **Flowering Perennials** (1gallon containers 18" o.c.)

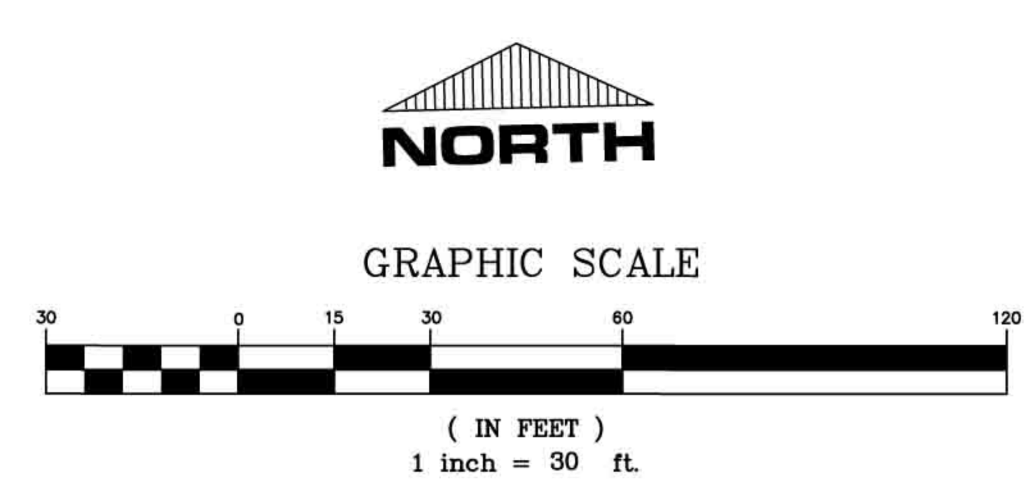
🟦 **Salt -Tolerant Perennials** (1gallon containers 18" o.c.)

🟧 **Ornamental Grasses** (2gallon containers 24" o.c.)

🟨 **Low Profile Groundcover and Flowering Perennials** (1gallon containers 18" o.c.)

Hospice 2nd Addition

Landscape Renovation Plan 03-03-20



All Landscape areas to be irrigated

The undersigned landscape architect, registered in the State of Indiana, acknowledges that the landscape planting plan and construction details shown on the attached landscape plans for the property at :
541 OTIS BOWEN DRIVE
Town of Munster, Indiana has been designed in accordance with the requirements of the Town of Munster Municipal Code, the landscaping standards of the Town of Munster Zoning Ordinance, and the Guide to the Town of Munster Landscape Ordinances.

ROBERT P. STROM
REGISTERED
No.
5012
STATE OF
INDIANA
LANDSCAPE ARCHITECT

[illegible]

LAKESHORE
LANDSCAPING, INC.

Schedule

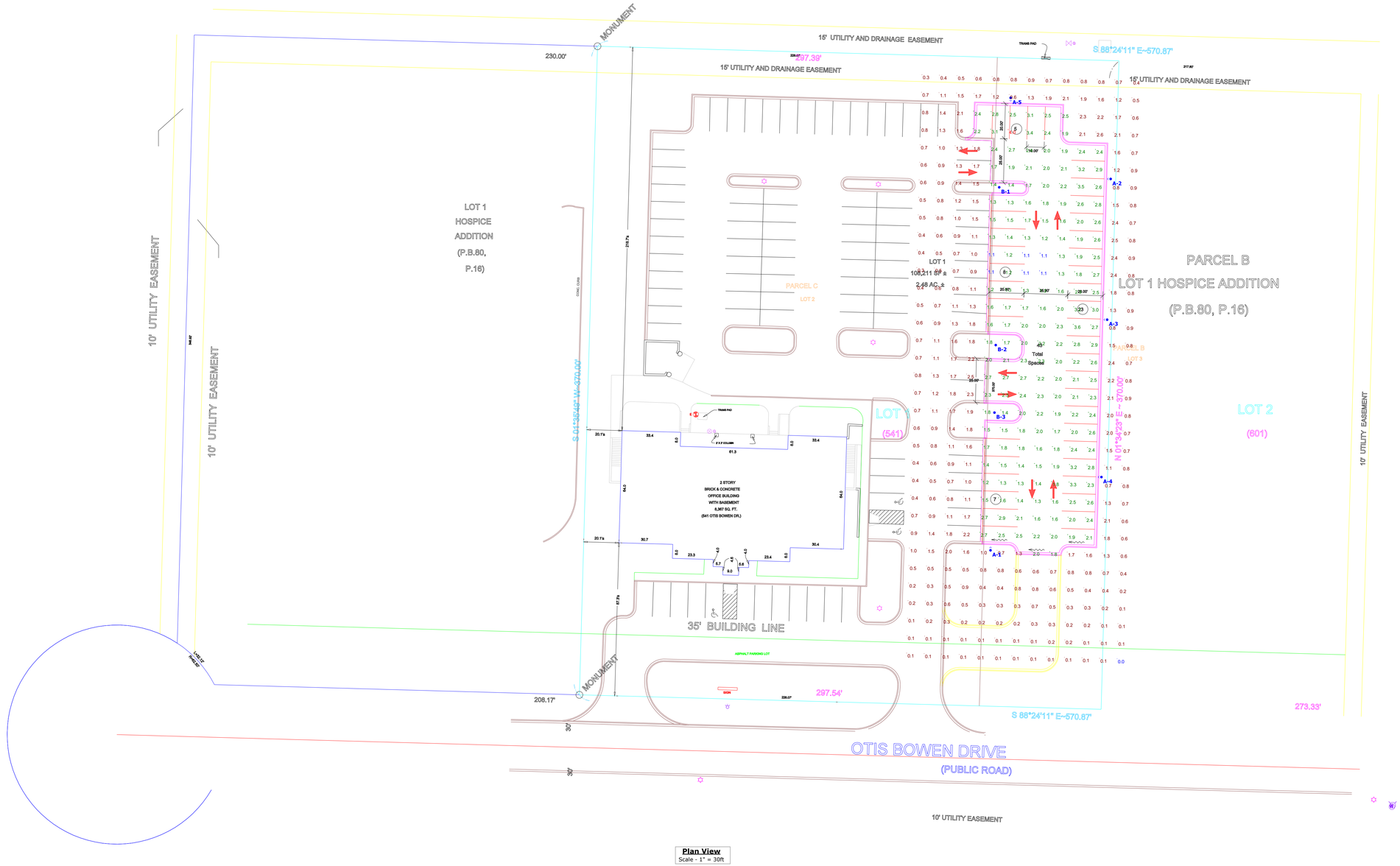
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	5	Sternberg Lighting	MS805B LED-4A1R45T3-MD_03-CA	Main Street Series, MS805 Post Top, Type 3 Optic, Clear Acrylic	82 LEDs	1	MS805_LED-4A1R45T3-MD_05-CA.IES	9220	0.95	142.7
	B	3	Sternberg Lighting	MS805B LED-4A1RC45T5-MD_05-CA	MAIN STREET Series, Post Top, Type 5 Optic, Clear Acrylic Lens	82 LEDS	1	MS805_LED-4A1R45T5-MD_05-CA.IES	9974	0.95	141.8

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone Entire Area	+	1.4 fc	4.0 fc	0.0 fc	N/A	N/A
Calc Zone New Parking	X	2.0 fc	4.0 fc	1.1 fc	3.6:1	1.8:1

Luminaire Locations

No.	Label	Location X	Location Y	MH	Orientation	Tilt
1	A	453.00	77.00	18.00	0.00	0.00
2	A	521.50	288.75	18.00	270.00	0.00
3	A	519.50	208.50	18.00	270.00	0.00
4	A	516.25	118.75	18.00	270.00	0.00
5	A	464.50	335.00	18.00	180.00	0.00
1	B	458.00	284.00	18.00	180.00	0.00
2	B	456.00	194.00	18.00	180.00	0.00
3	B	455.25	155.50	18.00	180.00	0.00



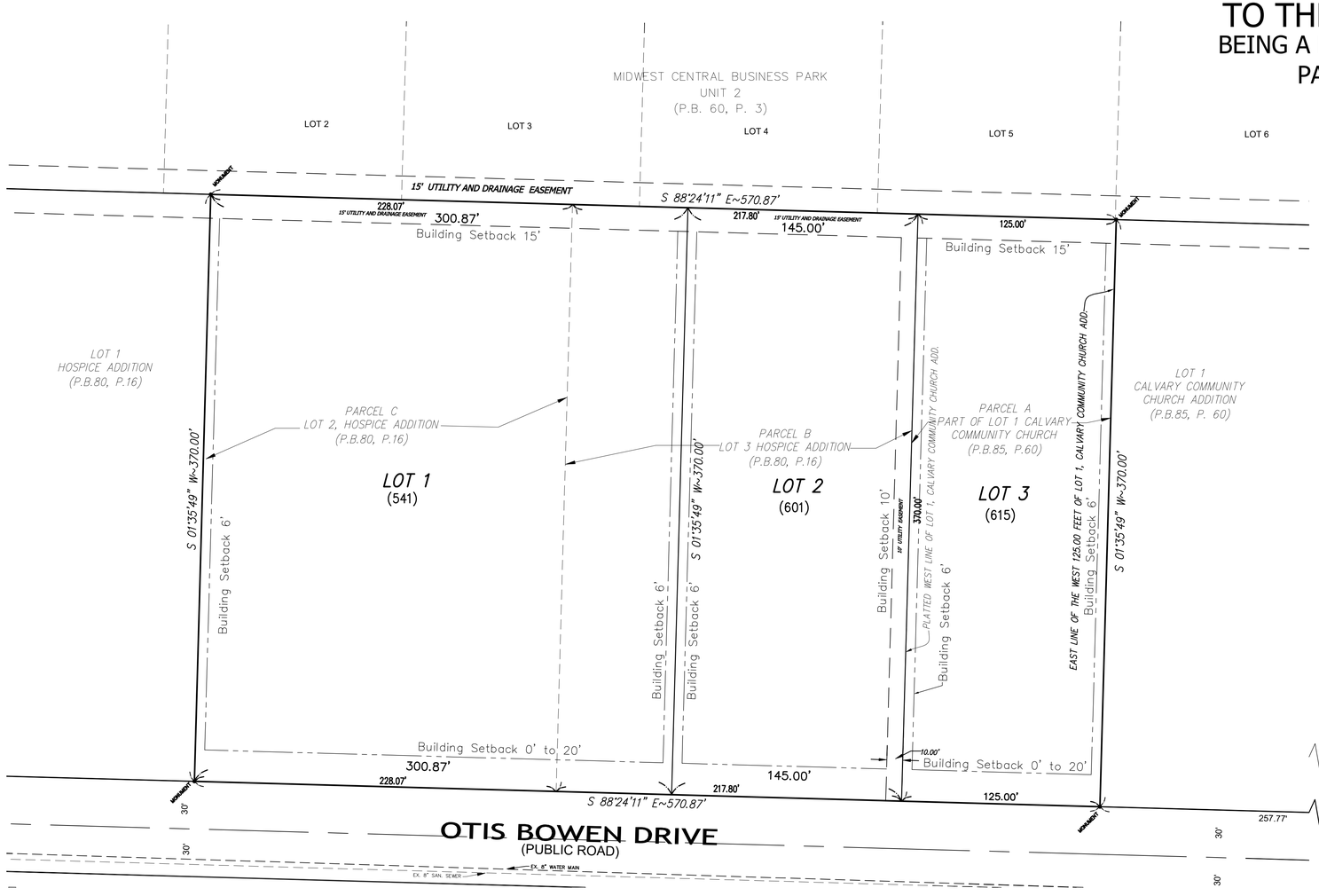
Plan View
Scale - 1" = 30ft

KSA LIGHTING & CONTROLS

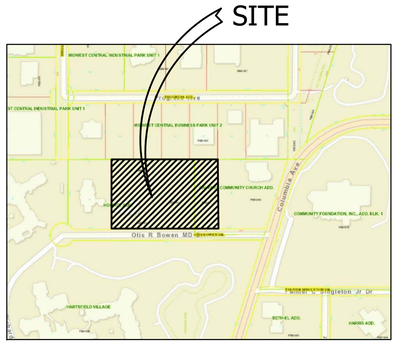
OTIS BOWEN DRIVE
PARKING EXPANSION

Designer	
D. MIROW	
Date	
02/19/2020	
Scale	
Scale as shown	
Drawing No.	
Summary	

HOSPICE SECOND ADDITION
TO THE TOWN OF MUNSTER, LAKE COUNTY, INDIANA
BEING A RESUBDIVISION OF LOTS 2 AND 3 IN HOSPICE ADDITION, AND PART OF LOT 1 CALVARY COMMUNITY CHURCH ADDITION



MONUMENT REPRESENTS 5/8"
IRON BAR FOUND



VICINITY MAP
NOT TO SCALE

NORTH

NORTH
GRAPHIC SCALE
40 0 20 40 80 160
(IN FEET)
1 inch = 40 ft.

LEGAL DESCRIPTION AS TAKEN FROM CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NUMBER CTNW1900620 DATED FEBRUARY 8, 2019

Parcel A:
The West 125.0 feet of Lot 1, in Calvary Community Church Addition to the Town of Munster, as per plat thereof, recorded in Plat Book 85, page 60, in the Office of the Recorder of Lake County, Indiana.

Parcel B:
Lot 3, Hospice Addition to the Town of Munster, as per plat thereof, recorded in Plat Book 80 page 16, in the Office of the Recorder of Lake County, Indiana.

Parcel C:
Lot 2, Hospice Addition to the Town of Munster, as per plat thereof, recorded in Plat Book 80 page 16, in the Office of the Recorder of Lake County, Indiana.

STATE OF INDIANA)
) §
COUNTY OF LAKE)

We, the undersigned, Community Foundation of Northwest Indiana, Inc., owner of the real estate shown and described hereon, do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the plat hereon. This subdivision shall be known and designated HOSPICE SECOND ADDITION, Lake County, Indiana.

Dated this _____ day of _____, 20_____.

Community Foundation of Northwest Indiana, Inc.:

_____
Donald P. Fesko President & CEO

STATE OF INDIANA)
) §
COUNTY OF LAKE)

Before me, the undersigned Notary Public, in and for the County and State aforesaid, personally appeared Donald P. Fesko, on behalf of Community Foundation of Northwest Indiana, Inc. personally known to me to be the same persons who signed the certificate hereon, who acknowledged that they signed and delivered the said instrument as their free and voluntary acts for the uses and purposes herein set forth.

Witness my hand and Notarial Seal this _____ day of _____, 20_____.

My Commission Expires: _____ _____

County of Residence: _____ Notary Public

STATE OF INDIANA)
) §
COUNTY OF LAKE)

Submitted to, approved and accepted by the Plan Commission of the Town of Munster, Lake County, Indiana, this _____ day of _____, 20_____.

PLAN COMMISSION OF THE TOWN OF MUNSTER, LAKE COUNTY, INDIANA.

_____ ATTEST: _____
Chairman: Executive Secretary:

STATE OF INDIANA)
) §
COUNTY OF LAKE)

I, Gary P. Torrenga, hereby certify that I am a Registered Professional Land Surveyor licensed under the Laws of the State of Indiana; that I have prepared this document in accordance with a survey of the land performed by John Stuart Allen, L.S. # 20000205 and subdivided same as shown on the plat hereon drawn; that this plat correctly represents said survey and that all dimensions, linear and angular are correctly shown, and that all monuments or markers shown thereon actually exist, and that their locations, size, type and description are accurately shown.

Witness my hand and Seal this _____ day of _____, 20_____.

TORRENGA ENGINEERING, INC.

_____
Gary P. Torrenga - Registered L.S. #S0514

FLOOD STATEMENT:
As per the National Flood Insurance Rate Map, Community-Panel Number 18089C0119E, Effective Date January 18, 2012, shown parcel appears to be in Zone "X-Shaded", areas of 0.2 % annual chance flood; areas of 1 % annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1 % annual chance flood.

UTILITY EASEMENTS:
An easement is hereby granted to the Town of Munster, Indiana, SBC, AT&T, Northern Indiana Public Service Company and other companies identified by the Munster Town Council as supplying public service needs severally and their respective successors and assigns to install, lay, erect, construct, renew, operate, repair, replace and maintain sewers, water mains, gas mains, conduits, cables, poles and wires, underground with all necessary braces, guys, anchors and other appliances, in, upon, along and over the strip or strips of land designated by dotted lines on the plat and marked " easements for public utilities" for the purpose of serving the public in general with sewer, water, gas, electric, telephone and television service, including aerial right as to streets where necessary with aerial service wires to adjacent lots, together with the right to enter upon the said easements for public utilities at all times for any and all of the purposes aforesaid and to trim and keep trimmed any trees, shrubs, or saplings that interfere with any such utility equipment. Any fences, trees, black toppings, vegetation improvements or other potential obstacles to the use of easements shown upon the subdivision plat shall be placed at the risk of the property owner and may be subject to removal in the event of any interference with the use of said easements or drainage of other lots. Changes of yard elevations in easements from those established upon the subdivision plat or noted on plats submitted and approved when building permits are issued that adversely impact drainage of adjoining lots shall be subject to regrading at the owner's expense. All designated utility easements are also hereby dedicated as drainage easements.

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrenga.com

HOSPICE SECOND ADDITION
TO THE TOWN OF MUNSTER, LAKE COUNTY, INDIANA
FINAL PLAT

02-21-2020
02-04-2020 Lot Sizes
01-31-2020
REVISIONS:
DATE: 12-27-2019

CLIENT:
CFNI
901 MacArthur Blvd.
Munster, IN 46321

JOB NO: 2019-5063

SCALE: 1" = 40'

SHEET
1 OF 1

FILE NO: Z:\2019-5063 541 Otis Bowen Drive Parking Lot\dwg\2019-5063revised 01-17-2020.dwg 1/30/2020 3:20:20 PM CST

NEW FACE for Existing Single Face Non-Illuminated Monument Sign

Scale: 1"=1'-0"

Ext. pfd Aluminum copy & logo

SIGN SPECIFICATIONS:

(1) NEW .125" FLAT ALUMINUM BACKER PANEL PAINTED WHITE WITH 1/4" FLAT CUT OUT LETTERS AND LOGO
COLORS TO MATCH PMS 208 BURGUNDY AND PMS 654 DARK BLUE AS SHOWN

BEFORE

AFTER

ICU OUTDOOR ADVERTISING
icuoutdooradvertising.com

OFFICE: 219.464.0420
FAX: 219.464.0490

555 Eastport Centre Drive
Suite D
Valparaiso, IN 46383

DRAWING NUMBER: LY-0619-1B

COMMUNITY HEALTHCARE SYSTEM® Patient Financial Services

JOB LOCATION:
541 OTIS BOWEN DRIVE
MUNSTER, IN

CLIENT APPROVAL:

LANDLORD APPROVAL:

By signing the Customer Acceptance on this print, I understand that I am accepting all aspects of this drawing. This includes Artwork, Specifications, Dimensions, Spelling and all other representations herein. I also understand that color reproductions on this print are approximate, and may not match manufacturers samples exactly.

ICU SALES REP.:
LARRY YURKO

DESIGNER:
JEFF FOGG

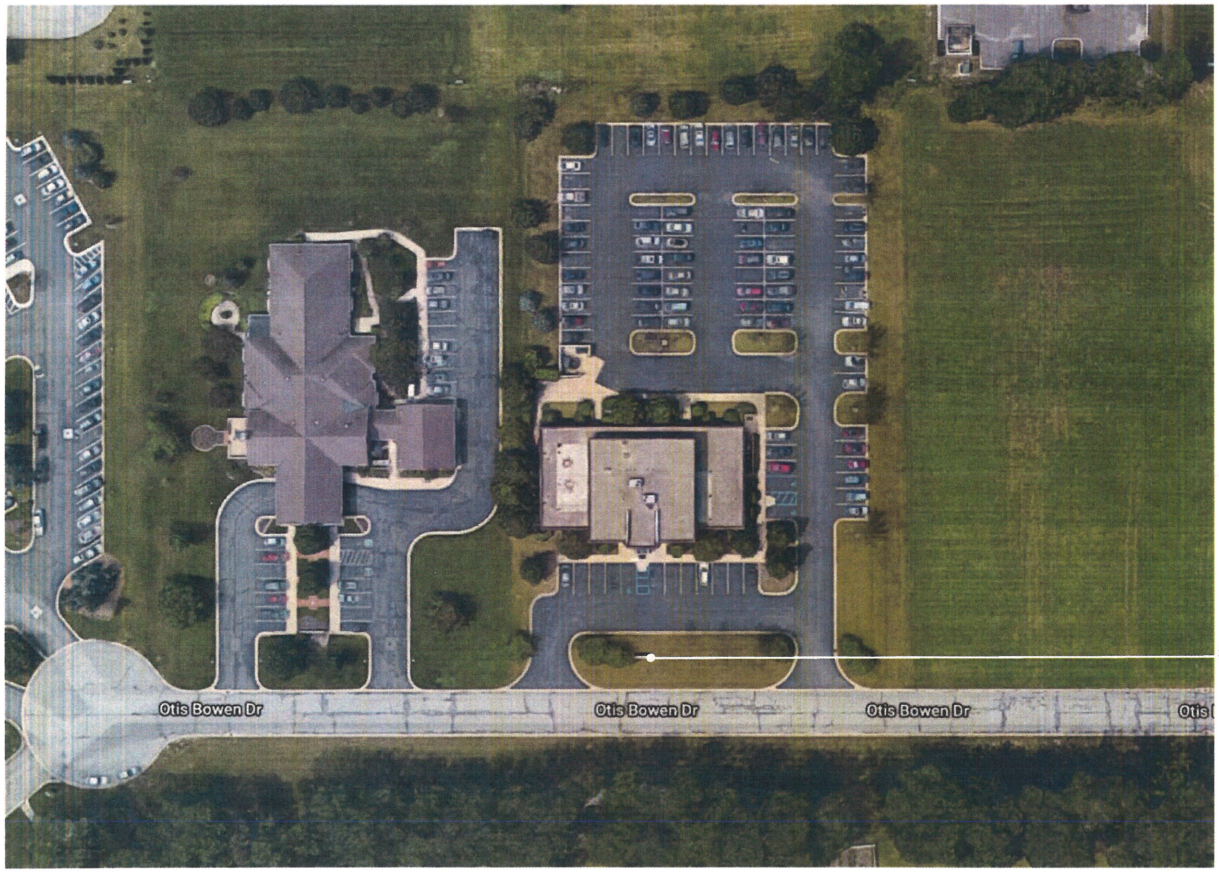
REVISIONS:

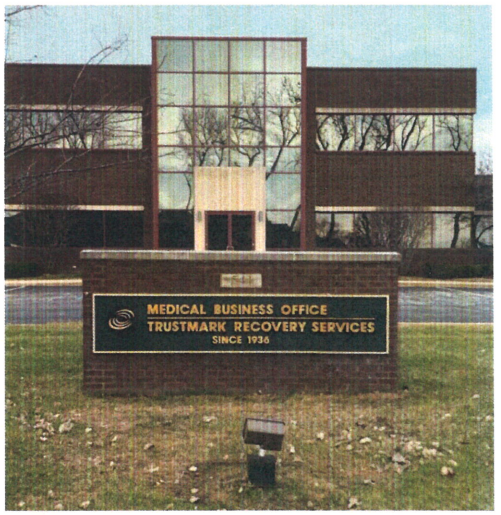
SCALE:
1"=1'-0"

DATE:
1.14.20

Aerial Plan View

Scale: NTS





BEFORE

AFTER

ICU OUTDOOR ADVERTISING
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OFFICE: 219.464.0420
FAX: 219.464.0490

555 Eastport Centre Drive
Suite D
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DRAWING NUMBER: LY-0619-PLAN

COMMUNITY HEALTHCARE SYSTEM® Patient Financial Services

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ICU SALES REP.:
LARRY YURKO

DESIGNER:
JEFF FOGG

REVISIONS:

SCALE:
NTS

DATE:
1.14.20