

Town of Munster SITE PLAN REVIEW APPLICATION

Community Development Department ~ 1005 Ridge Road ~ Munster, IN 46321
Phone (219) 836-6990

PROPERTY INFORMATION

Subject Property Address: 9450 Calumet Ave., Munster IN 46321 Subdivision: Maple Leaf Crossing

Project Name: Maple Leaf Crossing LLC Business Name: First Metropolitan Builders

APPLICANT INFORMATION

Name: Jack C. Lieser Relationship to Project: Developer

Address: 400 Fisher St., Suite J., Munster IN 46321 Phone: (219) 746-0753

Email: jackclieser@aol.com

DESCRIPTION OF OCCUPANCY

Current/Previous Use: Cigar Piano Bar Lounge Proposed Use: 5 Unit Shopping Center

Description: To amend current foundation to accommodate 5 Store Shopping Center

Has this project been reviewed by the Site Plan Review Committee before? Yes If yes, when? October 2021

If any aspect of the proposed project or proposed use changed, please explain: Change a 3 Story to a

1 Story 5 Unit Shopping Center

If any proposed project contact information changed, please explain: _____

SUBMITTAL REQUIREMENTS

- Completed Site Plan Review Application.
- Plat of survey with legal description.
- Detailed site plan drawn to scale indicating present and proposed improvements to the site.
- All supporting documents are to be digitally submitted.
- At a minimum, when applicable, the plat of survey and the site plan should identify the following:

____ Boundary identification	____ Utility location	____ Traffic circulation
____ Fire hydrant locations	____ Building footprints	____ Ingress/egress locations
____ Accessory structures	____ Proposed curb cuts	____ Major topographic information
____ Parking lot design	____ Drainage/detention plans	____ Infrastructure improvements
____ Landscape plan	____ Building materials list	____ Dumpster enclosure details

Application submittals shall be provided at least two weeks (10 business days) prior to the meeting for which review is sought.

ACKNOWLEDGEMENT OF TERMS

The undersigned applicant, as representative for the aforementioned project, acknowledges the application requirements as outlined above, and understands the application will be held until proper receipt of completed application and required materials. Upon proper receipt, the application will be processed, and the applicant will be notified of the date and time of the review of the project as submitted.

Applicant's Signature: _____

Date: 5/14/25

OFFICE USE:

Date Received: _____ Review Date: _____ // _____ Withhold _____ Schedule _____

TOWN OF MUNSTER SITE REVIEW CHECKLIST

Project Address: 9450 Calumet Ave., Munster In 46321

Meeting Date: 6/5/25

Developer/Operator: Jack C. Lieser

Zoning District: PUD

Pursuant to Article 26 Munster Zoning Code, a proposed development project will, and a proposed redevelopment project may require presentation to the Site Review Committee as a condition to the issuance of any building permit or review by the final Decision-Making Authority and prior to the issuance of any preliminary subdivision approval. This checklist is for your convenience, as well as the reviewers. The items listed below will be discussed at the site review meeting, when applicable. Your plan may include all or only part of these items. Any items which apply to your development must be submitted and approved by the town prior to the issuance of any building permit. Please submit a pdf set of plans ten (10) business days prior to the scheduled meeting.

Codes: E (existing) C (complies) P (proposed) R (required) NA (not applicable)

CODE

Section I. SITE PLAN (include the following items)

- | | |
|------------|---|
| <u>E</u> | 1. Date, scale, north arrow, contact information: |
| <u>E</u> | 2. Existing site conditions and uses: |
| <u>P</u> | 3. Proposed site use: |
| <u>E</u> | 4. Vehicular circulation system: |
| <u>E</u> | 5. Pedestrian circulation system: |
| <u>P</u> | 6. Lot lines, numbers, dimensions, building lines: |
| <u>E</u> | 7. Easements and utility locations: |
| <u>E</u> | 8. Parking area and number of spaces: |
| <u>E</u> | 9. Right-of-way dimensions: |
| <u>E</u> | 10. Driveway locations w/in 100' of site: |
| <u>P</u> | 11. Number and type of structures/buildings: |
| <u>E</u> | 12. Percentage of lot coverage: |
| <u>N/A</u> | 13. Types of dwelling units and net density per type: |
| <u>P</u> | 14. Building setbacks and heights: |

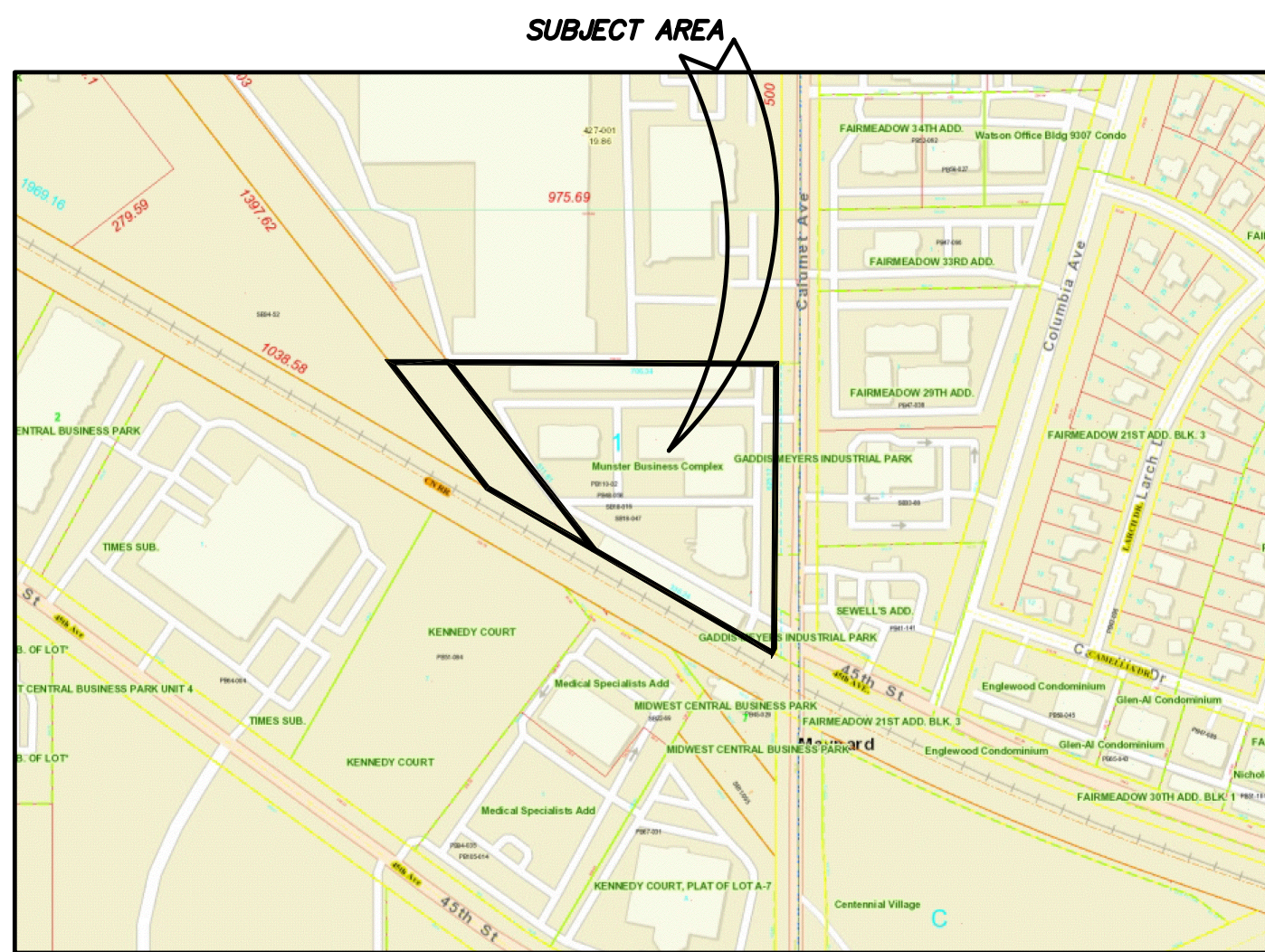
Section II. ZONING

- | | |
|------------|--|
| <u>E</u> | 1. Right-of-way, per (through-fare plan?): |
| <u>E</u> | 2. Right-of-way dedication required: |
| <u>E</u> | 3. Landscape requirements: |
| <u>N/A</u> | 4. Subdivision requirements: |
| <u>E</u> | 5. PUD requirements: |
| <u>E</u> | 6. Development plan: |
| <u>N/A</u> | 7. Buffer requirements: |
| <u>N/A</u> | 8. Signage regulations: |
| <u>E</u> | 9. Parking requirements: |
| <u>P</u> | 10. Building materials and colors: |

Section III. DRAINAGE

- | | |
|------------|--|
| <u>E</u> | 1. Existing and proposed grade elevations: |
| <u>E</u> | 2. Existing and proposed drainage structures: |
| <u>P</u> | 3. Details of proposed structures: |
| <u>E</u> | 4. Pipe sizes, lengths, % of slope, existing and proposed inverts: |
| <u>N/A</u> | 5. Detention pond location: |
| <u>E</u> | 6. Drainage calculations: |
| <u>E</u> | 7. Erosion control plan: |
| <u>N/A</u> | 8. Rule 5 (sites affecting =>5 acres): |
| <u>E</u> | 9. Water shed affected: |
| <u>E</u> | 10. Existing/Proposed impervious area: |

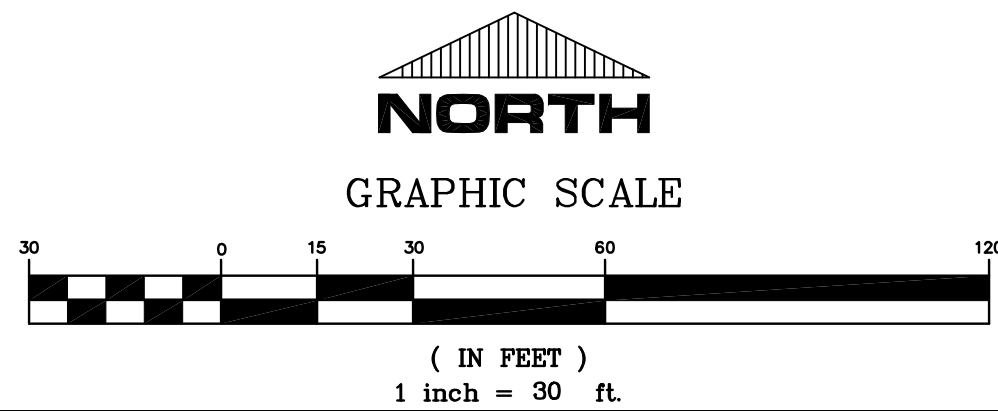
FILE NO:Z:\2025-5023 Maple Leaf - Lot 7 Munster (Lieser)\dwg\2025-5023.dwg 5/14/2025 3:31:14 PM CDT



VICINITY MAP
NOT TO SCALE



DESCRIPTION: LOT 7 IN SECOND PLAT OF AMENDMENT OF MAPLE LEAF CROSSING, A PLANNED UNIT DEVELOPMENT TO THE TOWN OF MUNSTER, LAKE COUNTY, INDIANA, AS SHOWN IN PLAT BOOK 117, PAGE 39, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.



CALUMET AVENUE

EAST LINE OF SEC. 25-36-10

TRASH ENCL.

N 00°17'51" E
~10.46'
L=12.08'
R=11.50'

CANADIAN NATIONAL RAILROAD

PHASE ONE
0.644 AC.
LOT 2
(9420 CALUMET AVENUE)
EX. HYATT PLACE
4 STORY HOTEL
18,068 SF FOOTPRINT
102 ROOMS

PHASE ONE
2.379 AC.
OUTLOT A
COMMON AREA

PHASE ONE
0.485 AC.
LOT 1
(9410 CALUMET AVENUE)
EX. 4 STORY OFFICE BLDG
15,375 SF FOOTPRINT

PHASE TWO
0.335 AC.
LOT 7
(9450 CALUMET AVENUE)
PROPOSED BUILDING

PHASE TWO
0.163 AC.
LOT 4
(9440 CALUMET AVENUE)

PHASE TWO
0.282 AC.
LOT 3
(9430 CALUMET AVENUE)

PHASE TWO
0.250 AC.
LOT 6
(9460 CALUMET AVENUE)

PHASE TWO
1.445 AC.
OUTLOT B

PHASE TWO
0.277 AC.
LOT 5
(9470 CALUMET AVENUE)

1' WIDE NO ACCESS
EASEMENT

1' WIDE NO ACCESS EASEMENT

1' WIDE NO ACCESS
EASEMENT

CLIENT:
First Metropolitan Builders
400 Fisher Avenue, Suite J
Munster, Indiana 46321
Merrillville, IN 46410

JOB NO: 2025-5023

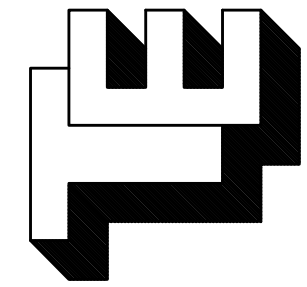
SCALE: 1" = 30'

SHEET
C-2.0

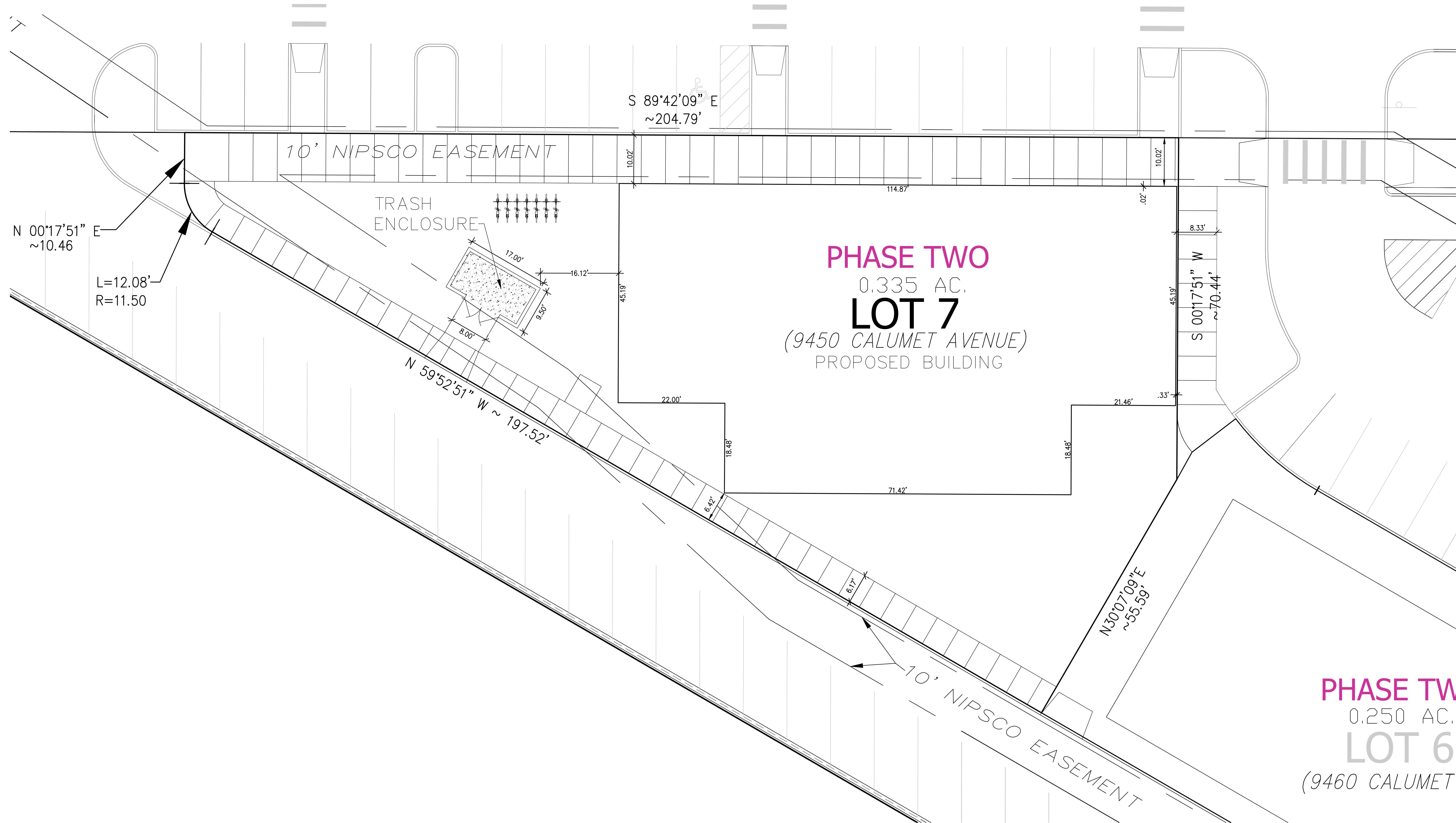
LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO., INDIANA
MASTER SITE PLAN

REVISIONS:
DATE: 05-15-2025

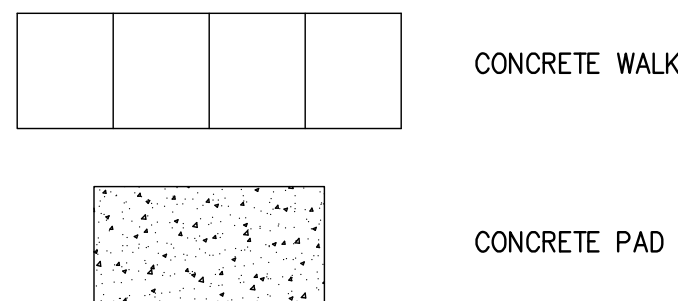
TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrengea.com



FILE NO: Z:\2025-5023 Maple Leaf - Lot 7 Munster (Lieser)\dwg\2025-5023.dwg 5/14/2025 3:31:14 PM CDT



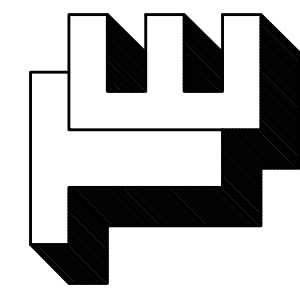
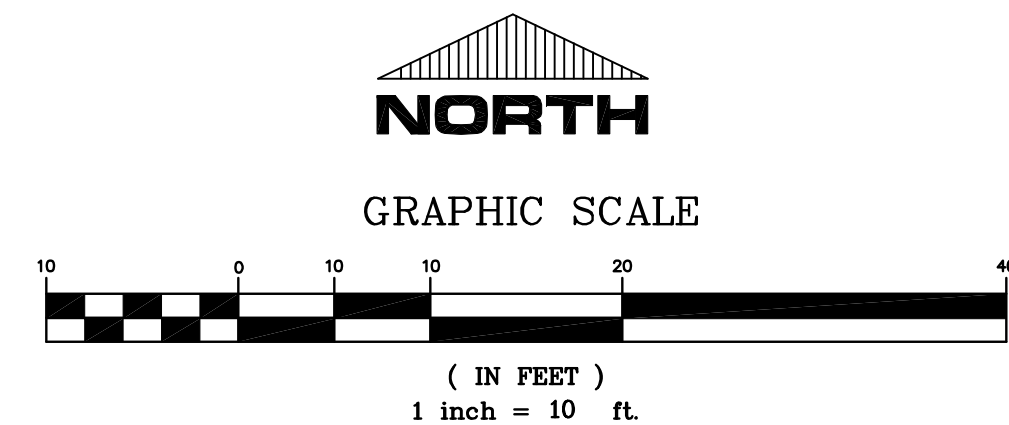
LEGEND
PROPOSED



NOTES:

- 1: TOTAL SITE AREA : 14,634.83± SF. (0.335± ACRES)
- 2: IMPERVIOUS AREA : 10,111.64± SF. (0.232± ACRES)
3. SEE ARCHITECTUAL PLAN FOR ACTUAL DIMENSIONS AND DETAILS OF THE PROPOSED BUILDING AND DUMPSTER ENCLOSURE

DESCRIPTION: LOT 7 IN SECOND PLAT OF AMENDMENT OF MAPLE LEAF CROSSING, A PLANNED UNIT DEVELOPMENT TO THE TOWN OF MUNSTER, LAKE COUNTY, INDIANA, AS SHOWN IN PLAT BOOK 117, PAGE 39, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.



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LOT 7, MAPLE LEAF CROSSING
9450 CALUMET AVE.
MUNSTER, LAKE CO., INDIANA
SITE PLAN

CLIENT:
First Metropolitan Builders
400 Fisher Avenue, Suite J
Munster, Indiana 46321
Merrillville, IN 46410
JOB NO: 2025-5023
SCALE: 1" = 10'
REVISIONS:
DATE: 05-15-2025

SHEET
C-2.1

LIMITATION OF WARRANTY OF ARCHITECT/ENGINEER WORK PRODUCT
DRAWINGS) BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKE, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE OPPORTUNITY TO TAKE WHATEVER STEPS ARE NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITH OUT THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANTY OR GUARANTEE (DRAWINGS, ENGINEERING, SPECIFICATIONS AND REVIEW OF SHOP THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT HEREIN KNOWLEDGE AND/OR CONSENT OF THE ARCHITECT OR IN CONTRADICTION TO THE ARCHITECT'S WORK PRODUCT OR RECOMMENDATIONS SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT.

SCOPE DOCUMENT
THESE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. AS SCOPE DOCUMENTS, THESE DRAWINGS AND SPECIFICATIONS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE CONTRACT DOCUMENTS ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED. THE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF THE ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT SHALL BE FINAL.

A.D.A. COMPLIANCE STATEMENT
TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT & INDIANA ACCESSIBILITY CODE

LICENSED ARCHITECTS CERTIFICATION

PLANS AND SPECIFICATIONS FOR NEW CONSTRUCTION

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS, DATED 12/18/2023, FOR CONSTRUCTION OF KARMA CIGAR BAR, 3-STORY BUILDING LOCATED AT 9450 CALUMET AVE, MUNSTER, INDIANA WERE PREPARED UNDER MY SUPERVISION.

ARCHITECTS NAME: MICHAEL E. STANULA
LICENSE NUMBER: AR-19600117
LICENSE EXPIRES: 12-31-25
SIGNATURE:
DATE:

NEW 1 STORY IIB TENANT BUILDING

MAPLE LEAF DEVELOPMENT
9450 CALUMET AVE
MUNSTER, IN 46321

OWNER / DEVELOPER
1ST METROPOLITAN DEVELOPMENT CORP.
400 FISHER ST. - SUITE J
MUNSTER, IN 46321
(ph) (219)836-8282

ARCHITECT
MICHAEL E. STANULA, ARCHITECT
31800 STATE LINE RD.
BEECHER, IL 60401
(ph) (708) 567-3362

ARCHITECT CONSULTANT
BORDERLINE DESIGN, LLC
150 DEANNA DRIVE - SUITE 121
LOWELL, IN 46356
(ph) (815)277-7173

INDEX OF DRAWINGS:

T-1: COVER SHEET
T-2: GENERAL NOTES
T-3: ARCHITECTURAL SITE PLAN

ARCHITECTURAL:

A-0: ACCESSIBILITY NOTES & DETAILS
A-0.1: ACCESSIBILITY NOTES & DETAILS
A-0.2: ACCESSIBILITY PLANS
A-1: FOUNDATION PLAN
A-2: FIRST FLOOR PLAN
A-3: ROOF PLAN
A-4: ELEVATIONS
A-5: BUILDING SECTIONS
A-6: WALL SECTIONS
A-7: WALL/FLOOR/CLG ASSEMBLIES
A-8: DETAILS
A-9: ROOF DETAILS
A-10: ROOF DETAILS
A-11: DOOR SCHEDULE
A-12: WINDOW SCHEDULE
A-13: FINISH SCHEDULE
A-14: FINISH PLANS
A-15: TRASH ENCLOSURE

LIFE SAFETY:

LS-1 LIFE SAFETY PLANS

STRUCTURAL:

S-101:
S-201:

MECHANICAL:

M-1: FIRST FLOOR MECHANICAL PLAN
M-2: ROOF MECHANICAL PLAN
M-3: MECHANICAL SCHEDULES

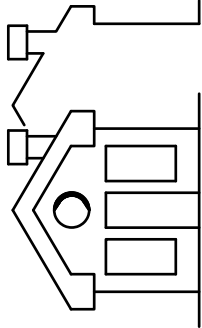
ELECTRICAL:

E-1: FIRST FLOOR LIGHTING PLAN
E-2: FIRST FLOOR POWER PLAN
E-3: ROOF POWER PLAN
E-4: ELECTRICAL SCHEDULES

PLUMBING:

P-1: FIRST FLOOR PLUMBING PLAN
P-2: ROOF PLUMBING PLAN
P-3: PLUMBING SCHEDULES
P-4: RISER DIAGRAMS AND DETAILS
P-5: DOMESTIC WATER RISER DIAGRAM

REVISIONS	BY
Design Review	04/24/25
Design Review	05/06/25

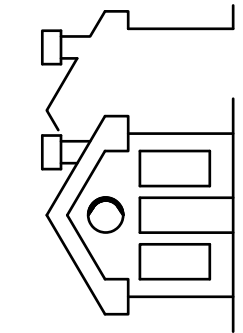


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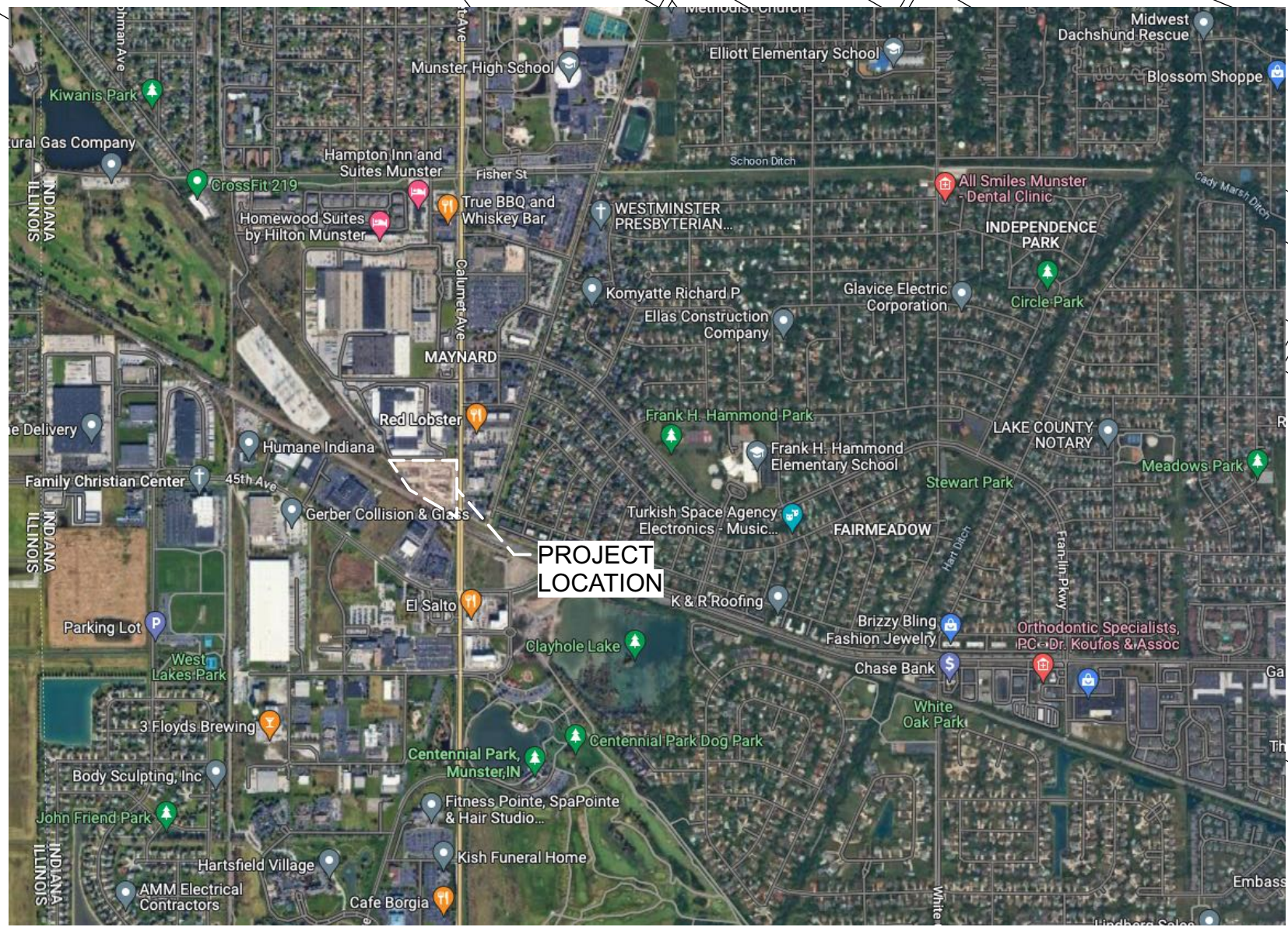
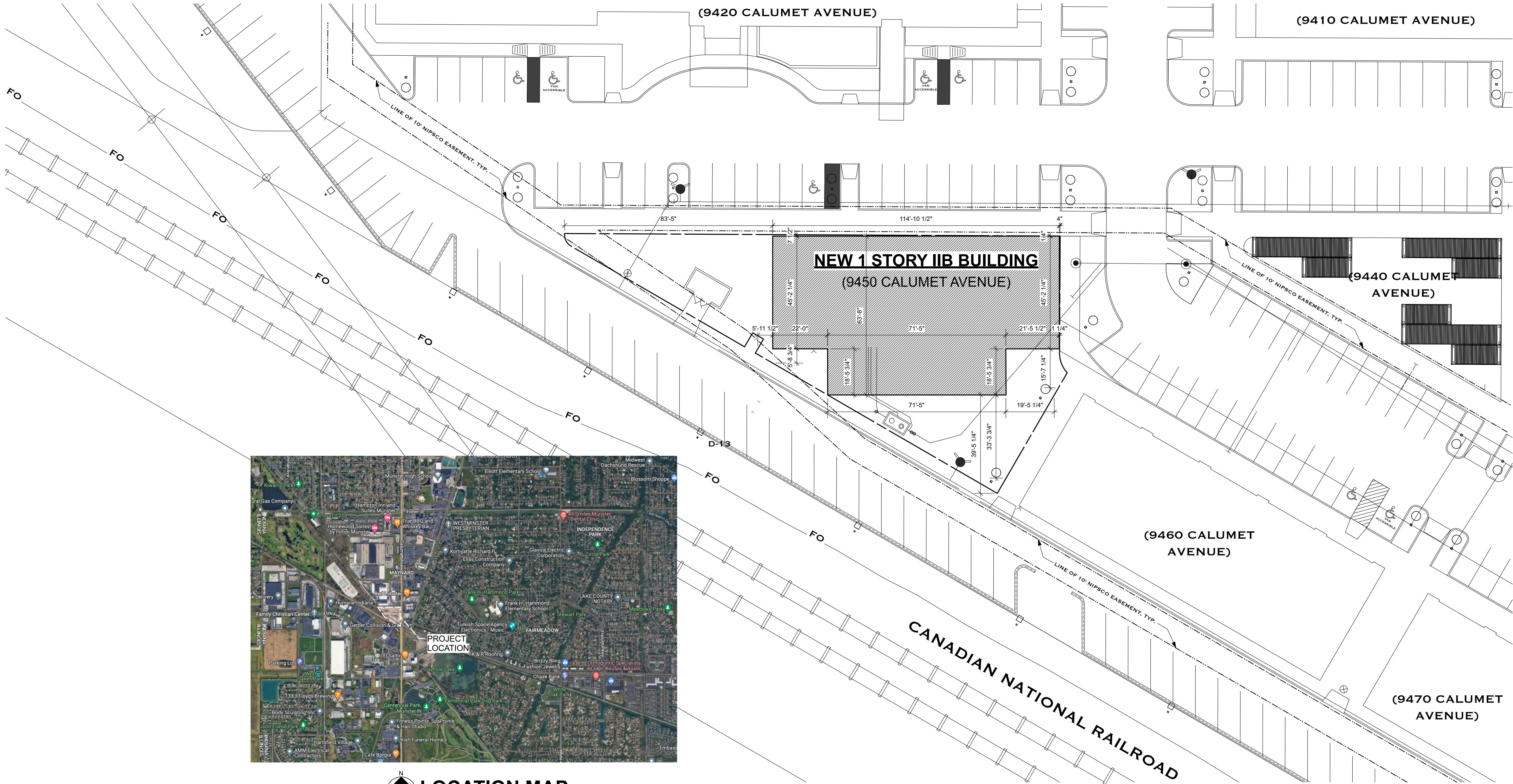
NEW 1 STORY IIB TENANT BUILDING
DATE: 04/20/2025
SCALE: AS NOTED
JOB NO. 25015
SHEET T-1
1 OF 31 SHEETS

REVISIONS	BY
Design Review	04/24/25
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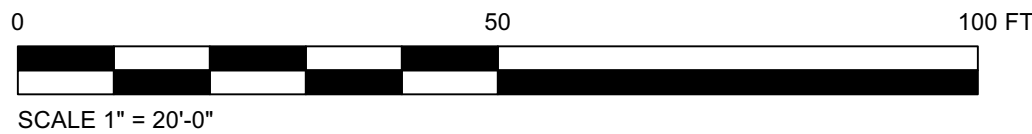
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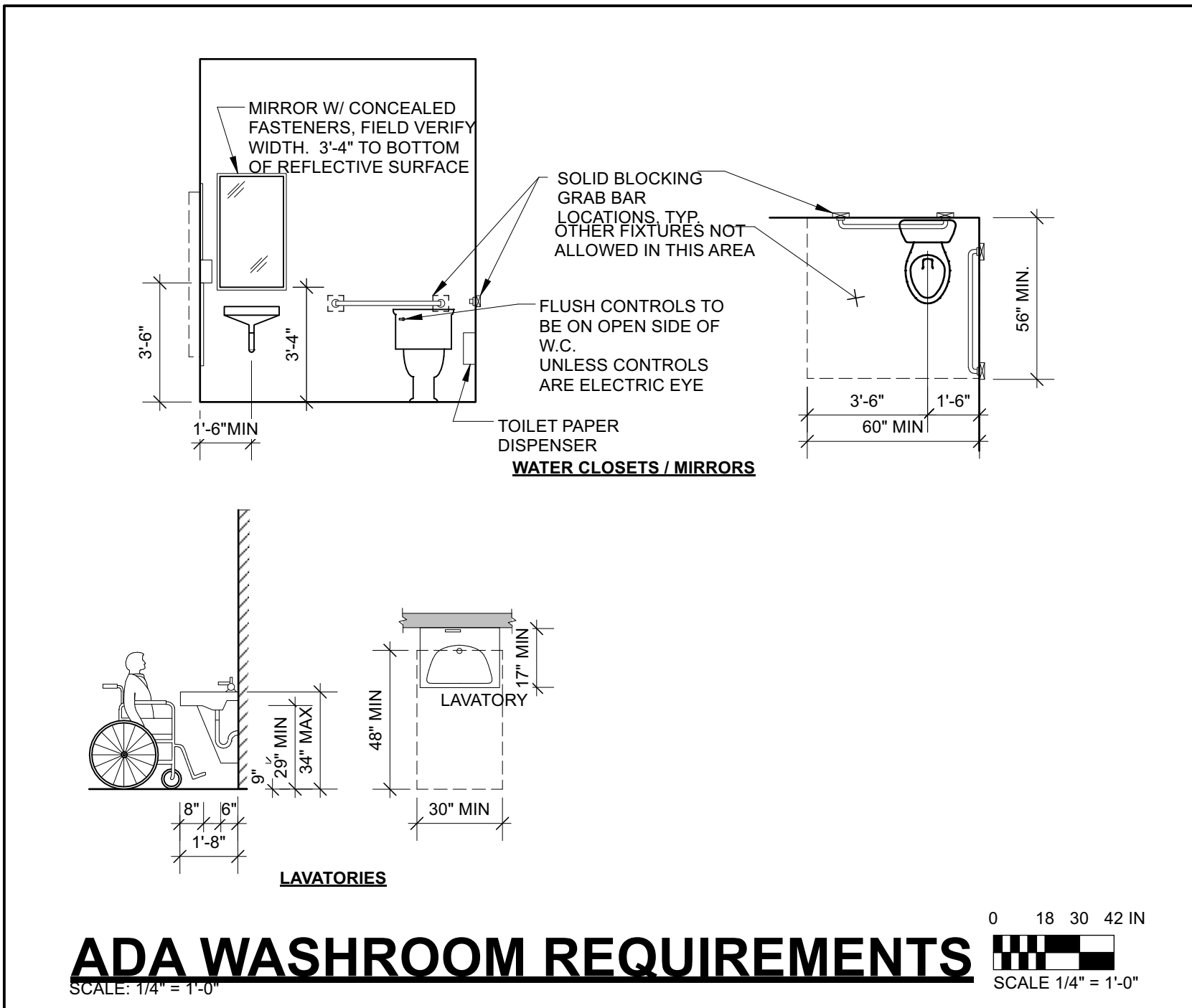
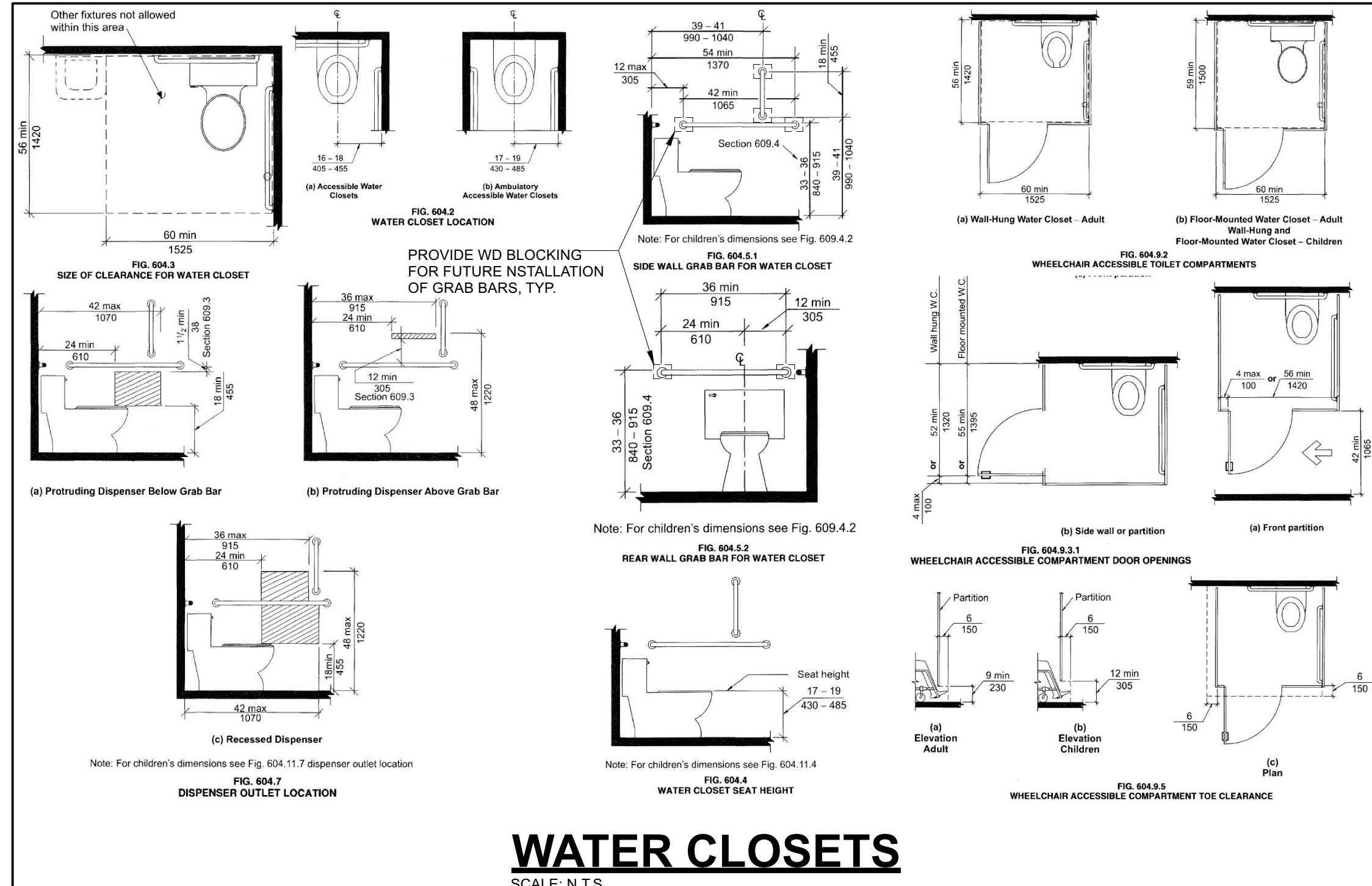
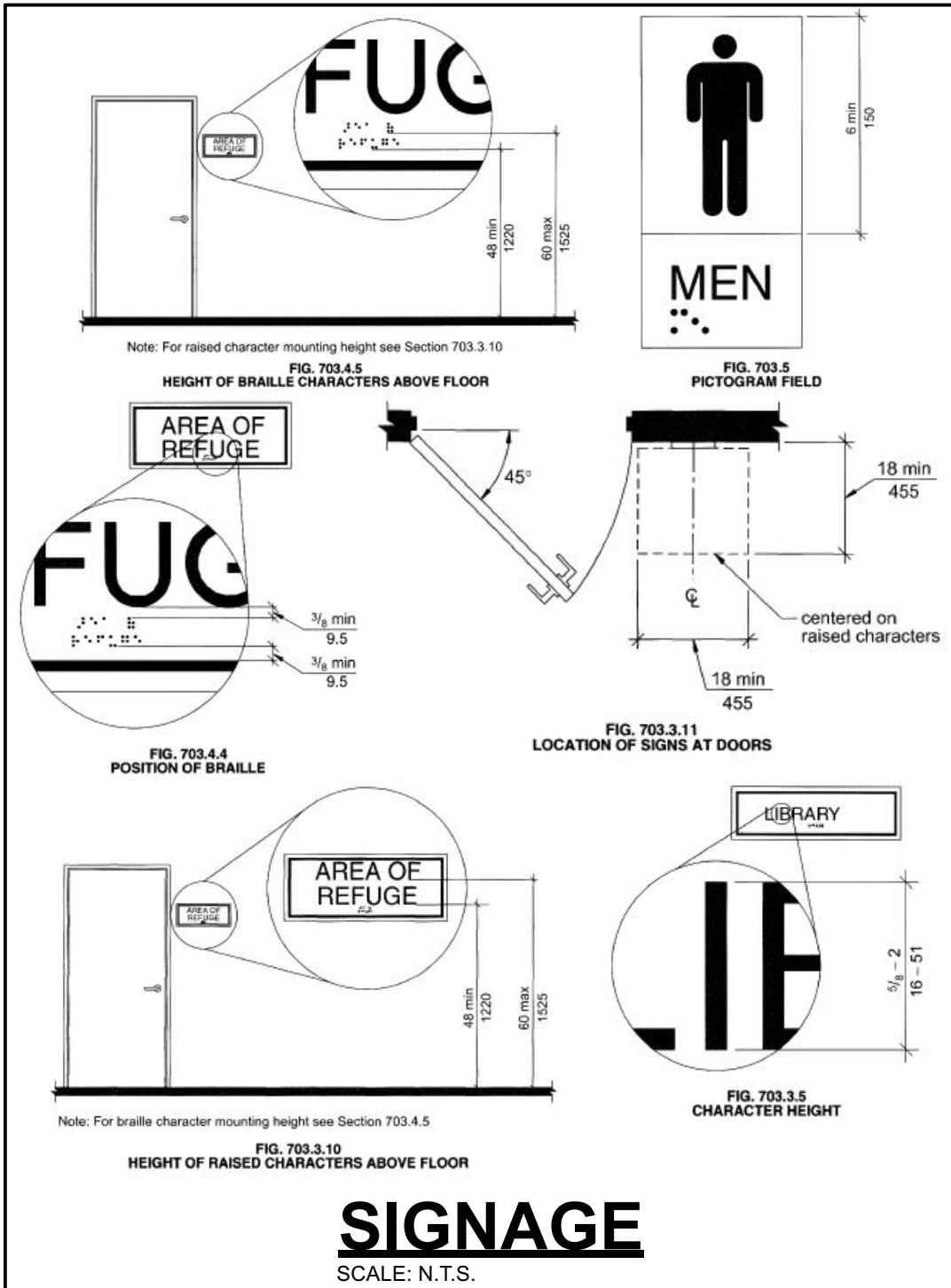
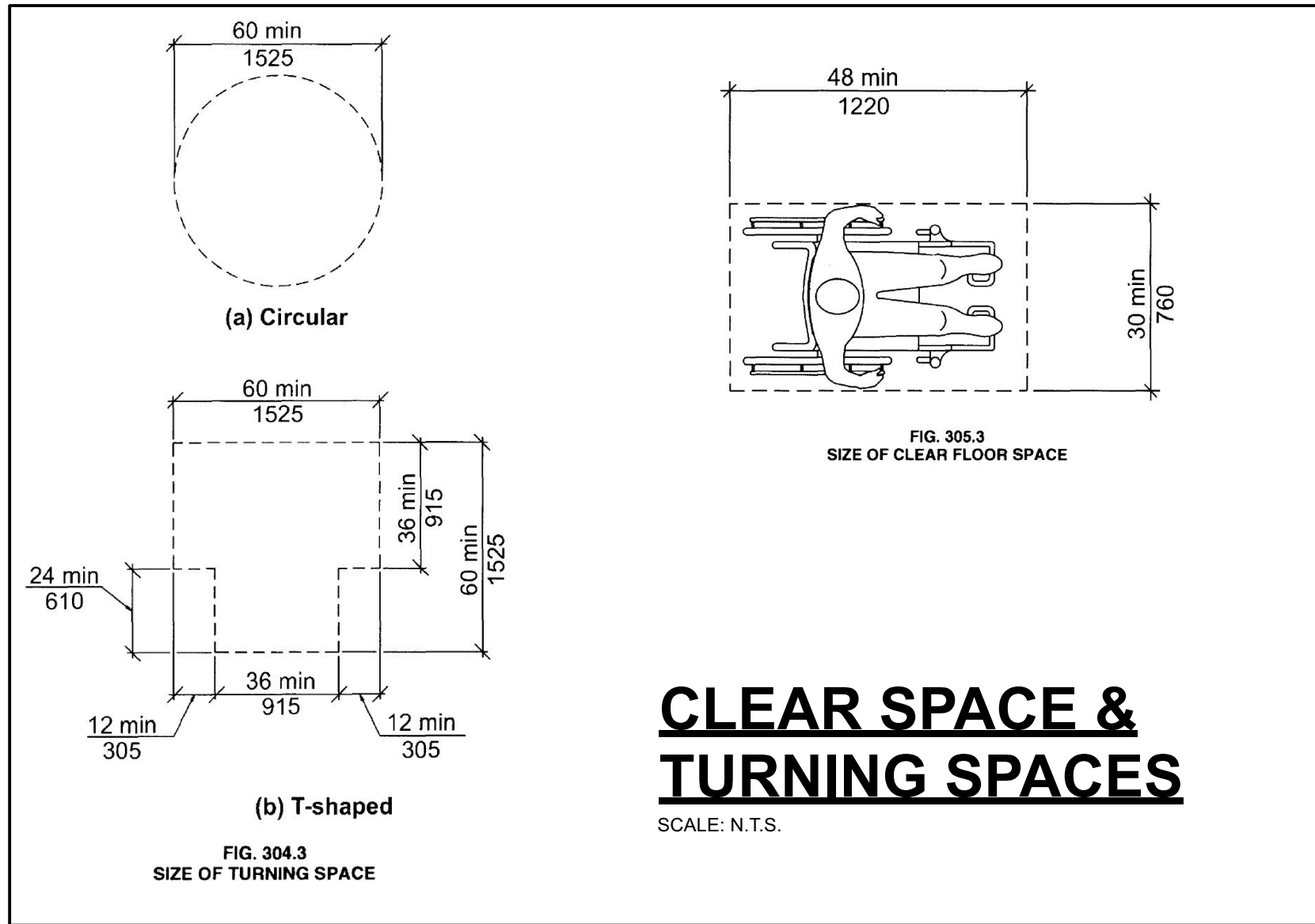
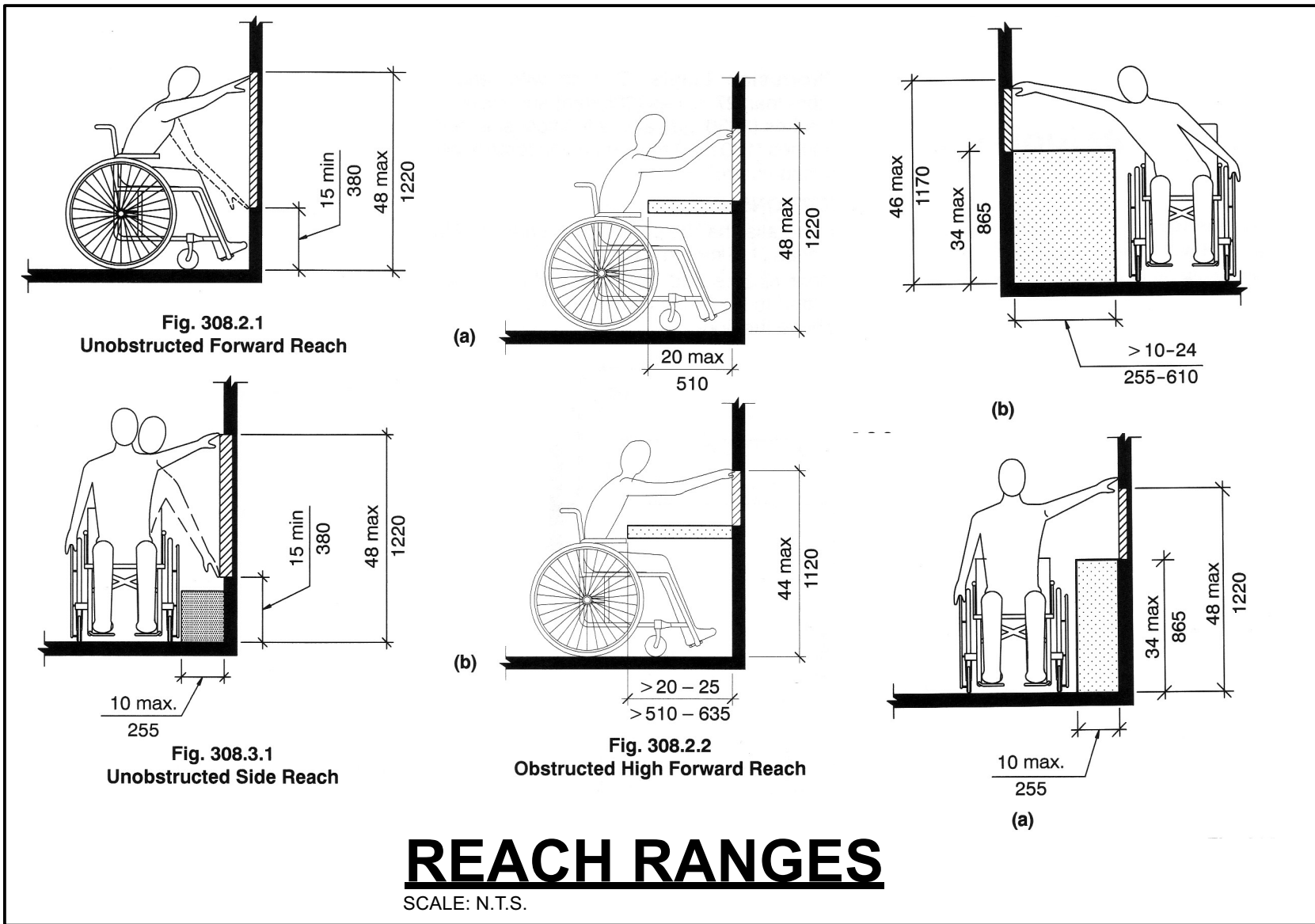
NEW 1 STORY IIB TENANT BUILDING
DATE: 04/20/2025
SCALE: AS NOTED
JOB NO. 25015
SHEET T-3
3 OF 31 SHEETS



LOCATION MAP
 SCALE: N.T.S.

ARCHITECTURAL SITE PLAN
 SCALE: 1" = 20'-0"





GENERAL ACCESSIBILITY NOTES:

- PROJECT IS REQUIRED TO COMPLY FULLY WITH THE FOLLOWING REGULATIONS:
ICC/ANSI A117.1 - 2009, CHAPTER 11, TITLE 14B
1. ALL CONTROLS AND OPERATING MECHANISMS TO BE WITH IN REACH RANGE PER ICC/ANSI A117.1-2009 CHAPTER 3.308 AND 3.309, (IE: 15" TO 48" AFF)
- SEE ICC/ANSI-A117.1 CHAPTER 7.703 FOR ALL SIGNAGE REQUIREMENTS.
- SEE ICC/ANSI-A117.1 CHAPTER 7.703.3.11 FOR LOCATION OF PERMANENT ROOM AND SPACE SIGNAGE REQUIREMENTS. PROVIDE DIAGRAM WITH HORIZONTAL AND VERTICAL DIMENSIONS.
- SEE ALSO IAC 400.310(U) FOR SIGNAGE REQUIREMENTS.
2. PROVIDE PROPER MANEUVERING CLEARANCE AT DOOR PER ICC/ANSI A117.1 CHAPTER 4.404.2.3
3. ALL NEW OR ALTERED DOORS TO HAVE LEVER-OPERATED HARDWARE PER ICC/ANSI A117.1 CHAPTER 4.404.
4. ALL DOORS MUST HAVE A 32" CLEAR DOOR OPENING MEASURED FROM THE DACE OF THE DOOR WHEN IT IS OPENED 90° TO THE DOOR STOP PER ICC/ANSI A117.1 CHAPTER 4.404.
5. ALL DOORS LEADING TO INTO HAZARDOUS ROOMS OR SPACES TO HAVE KNURELED HARDWARE IDENTIFY THESE DOORS ON THE DOOR SCHEDULE PER CBC CHAPTER 18-11-1109.9.5.
6. ALL PUBLIC AND COMMON AREA INTERIOR DOORS TO HAVE 5# MAX. FORCE TO OPEN PER IAC 400.310 (J-10). ALL PUBLIC AND COMMON AREA EXTERIOR DOORS TO HAVE 8.5# MAX. FORCE TO OPEN IAC 400.310 (J-10)
7. FORWARD/FRONT APPROACH AND SIDE/PARALLEL APPROACH REACH RANGE FOR ALL CONTROLS AND OPERATING MECHANISM TO BE 15" TO 48" PER ICC/ANSI A117.1 CHAPTER 3.3308
8. CARPET PILE THICKNESS NOT TO EXCEED 1/2" PER ICC/ANSI A117.1 SECTION 302.2.
9. ALL RECEPTION AND OR TRANSMISSION COUNTERS TO HAVE PORTION SET BETWEEN 28" TO 34" AFF IN HEIGHT AND 36" MIN. IN LENGTH PER CBC CHAPTER 18-11-1101.3.1 (5).
10. FLOOR SURFACES SHALL BE FIRM STABLE AND SLIP RESISTANT ER ICC/ANSI SECTION 302.1
11. ALL NEW, ALTERED, RELOCATED OR REPLACED FIRE ALARM OR EMERGENCY WARNING SYSTEM TO COMPLY FULLY WITH ACC/ANSI A117.1 SECTION 7.702. ALL VISUAL ALARMS TO BE SYNCHRONIZED THROUGHOUT. PER ICC/ANSI 117.1 CHAPTER 702.
12. PROVIDE IN PORTION OF EACH COAT CLOSET SHELF-ROD TO BE 48" AFF MAX. TO TOP WITH AN ACCESSIBLE ROUTE FOR A FORWARD OR PARALLEL APPROACH PER ICC/ANSI A117.1 CHAPTER 9.905 (ACGT0049) ALSO PROVIDE ELEVATIONS WITH SHELF AND ROD HEIGHTS.
13. CONFIRM HI-LO DRINKING FOUNTAIN PER CBC CHAPTER 18-11-1109.5.5 AND ICC/ANSI A117 CHAPTER 602 (WHERE APPLICABLE)

- ACCESSIBLE HEIGHT DRINKING FOUNTAIN TO BE 36" AFF MAX. TO SPOUT. (ACGT00023)
- STANDARD HEIGHT DRINKING FOUNTAIN TO BE 38" TO 43" AFF TO SPOUT. (ACGT00023)
- ACCESSIBLE ROUTE TO ACCESSIBLE DRINKING FOUNTAIN.
- CANE DETECTION NOT HIGHER THAN 27" AFF UNDERNEATH ACCESSIBLE DRINKING FOUNTAIN. (ACGT00023)
- 2'-6" BY 4'-0" CLEAR FLOOR SPACE FOR A FORWARD APPROACH. (ACGT00023)
- PARALLEL APPROACH CENTERED ON THE DRINKING FOUNTAIN IS PERMITTED FOR EXISTING BUILDINGS..

ITEMS ON THIS SHEET ARE NOT ALL INCLUSIVE. G.C. TO MAINTAIN COPY OF ICC/ANSI A117.1-2009 & CBC CH. 11, TITLE 14B ON SITE AT ALL TIMES & COORDINATE WILL ALL TRADES IN THE FIELD. CONTRACTORS TO PROVIDE ALL ITEMS REQUIRED FOR PROPER INSTALLATION. ITEMS NOT INCLUDED ON DRAWINGS DO NOT RELIEVE CONTRACTORS OF RESPONSIBILITIES FOR REQUIRED ITEMS.

TYPICAL ADA REQUIREMENTS

- TOILET ROOMS TO BE ACCESSIBLE SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE AMERICANS W/ DISABILITIES ACT WHICH INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
- 1) WATER CLOSET SEAT HEIGHT 17" TO 19" AFF.
 - 2) CENTERLINE OF WATER CLOSET TO BE 18" FROM SIDE WALL.
 - 3) GRAB BAR BEHIND WATER CLOSET TO BE 24" MIN, 36" LONG MAX, MOUNTED AT 33" TO 36" AFF.
 - 4) GRAB BARS AT SIDE OF WATER CLOSET TO BE 42" LONG, MOUNTED AT 33" TO 36" AFF.
 - 5) SPACE BETWEEN WALL AND GRAB BAR TO BE 1 1/2".
 - 6) TOILET PAPER DISPENSER TO BE 36" MAX FROM REAR WALL, MOUNTED 18" AFF.
 - 7) KNEE CLEARANCE AT LAVATORY - APRON 29" MIN HEIGHT, 8" MIN DEPTH.
 - 8) LAVATORY DEPTH - 17" MIN.
 - 9) LAVATORY HOT WATER AND DRAIN PIPES TO BE INSULATED WHERE EXPOSED.
 - 10) MIRROR BOTTOM EDGE 40" AFF.

REVISIONS	BY
Design Review	04/24/25
Design Review	05/06/25



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NEW 1 STORY IIE
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BUILDING

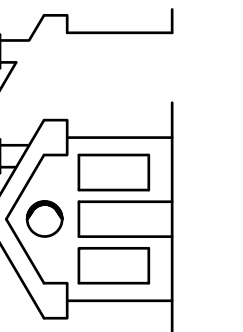
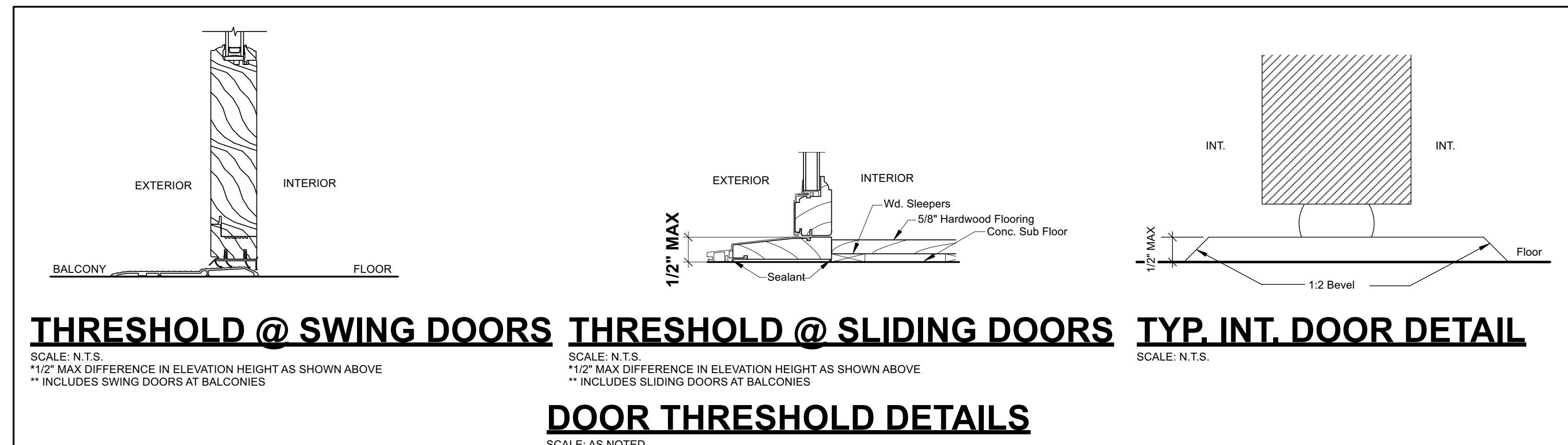
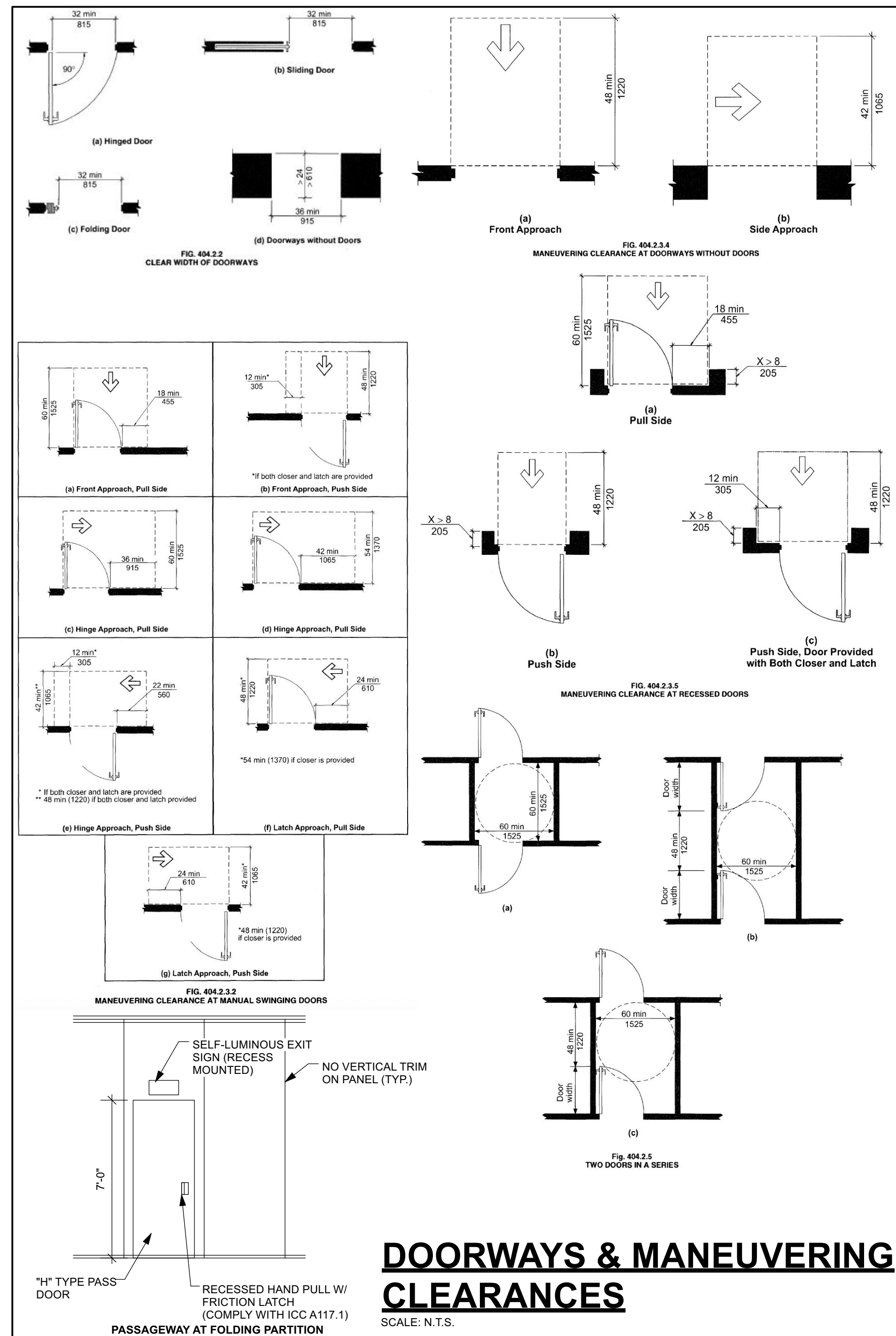
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AS NOTED

JOB NO.
25015

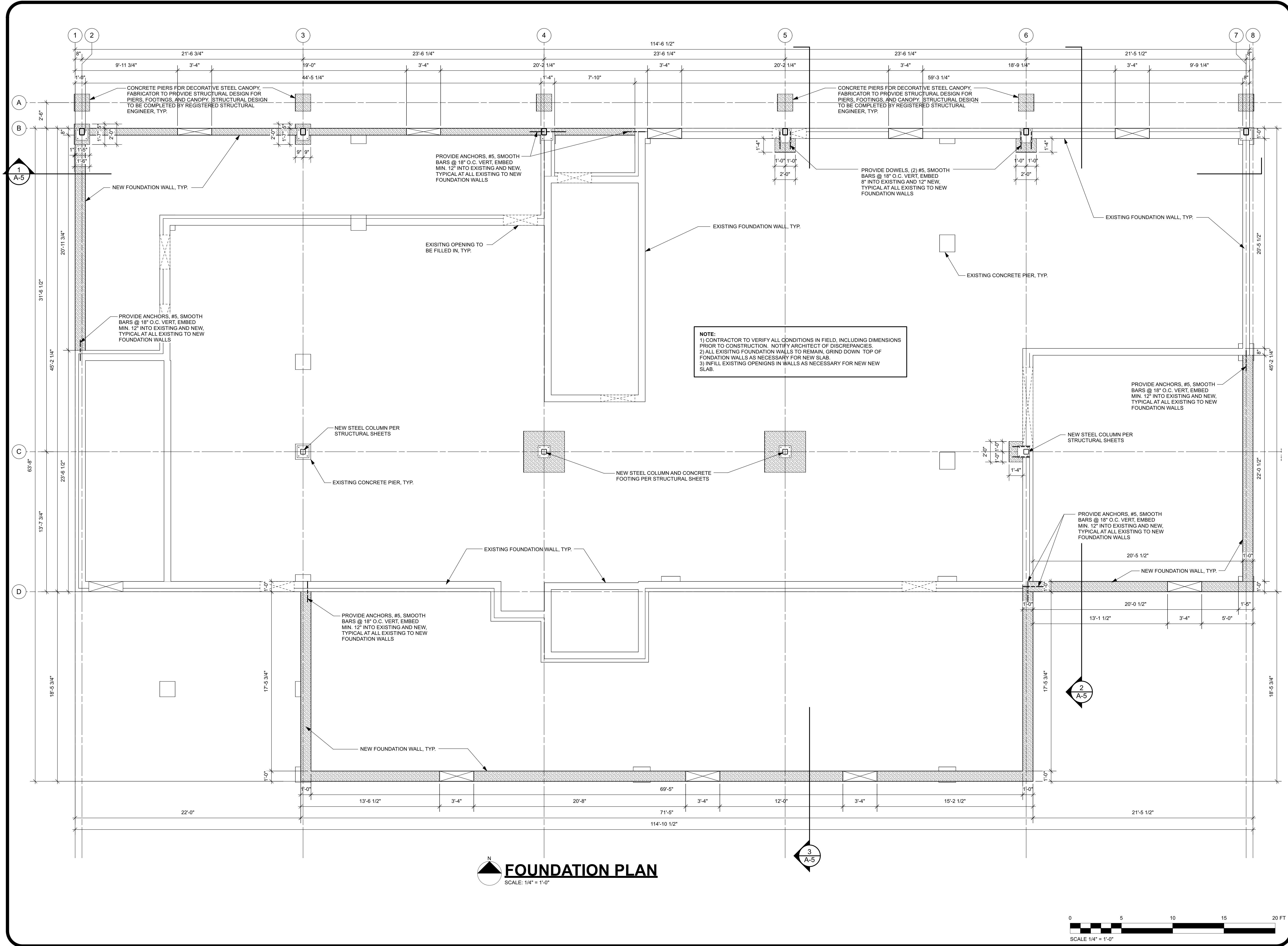
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A-0

4 OF 31 SHEETS

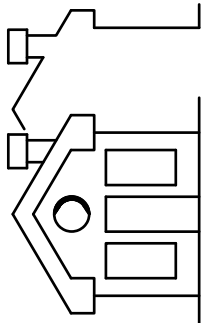
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V 1 STORY IIE	
TENANT BUILDING	
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SCALE:	AS NOTED
JOB NO.	25015
SHEET	A-0.1
OF 31 SHEETS	



REVISIONS	BY
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**NEW 1 STORY IIE
TENANT
BUILDING**

DATE:
04/20/2025

SCALE:
AS NOTED

JOB NO.
25015

SHEET
A-1

7 OF **31** SHEETS

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Design Review	04/24/25
Design Review	05/06/25



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**NEW 1 STORY IIE
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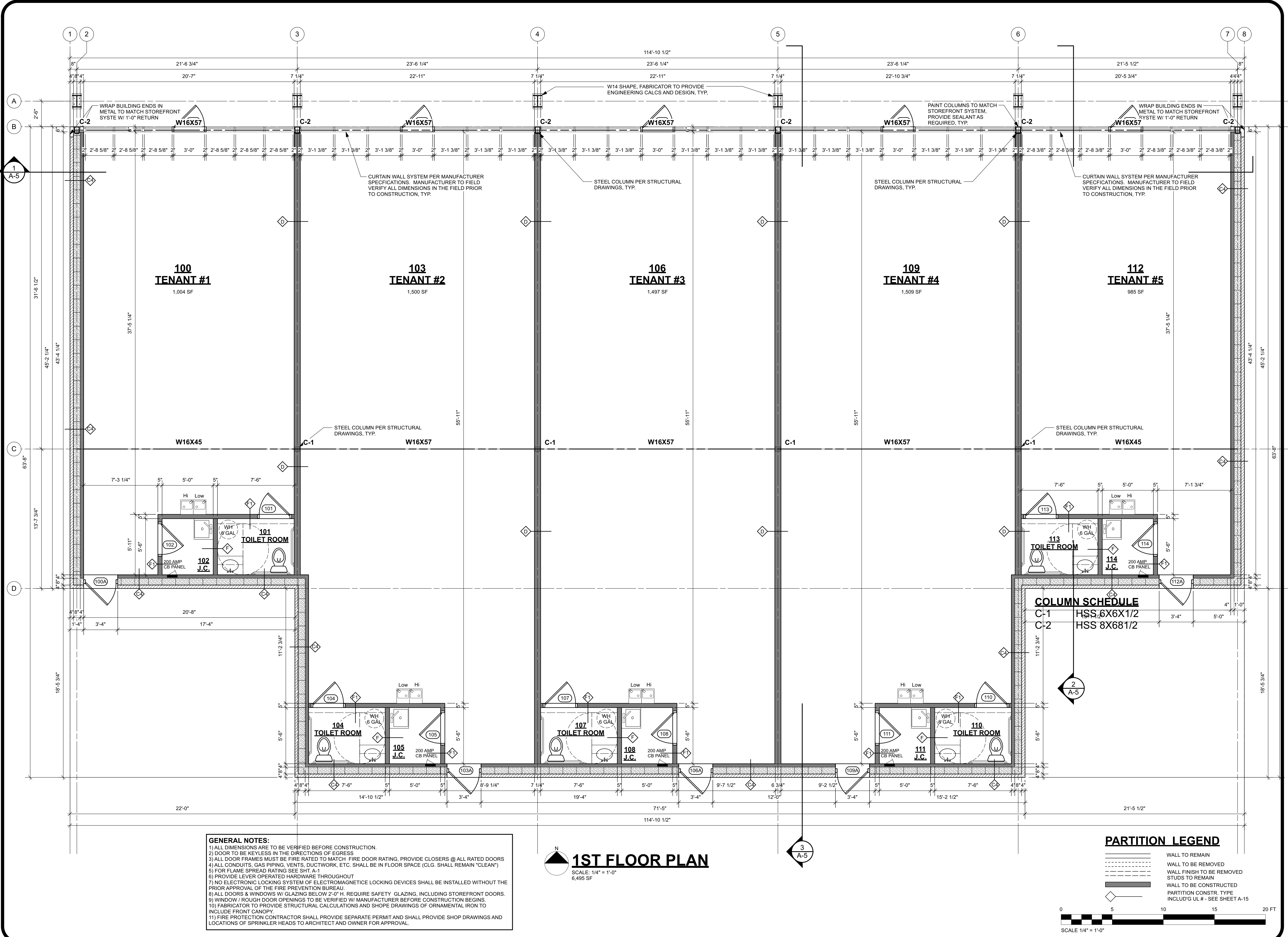
DATE:
04/20/2025

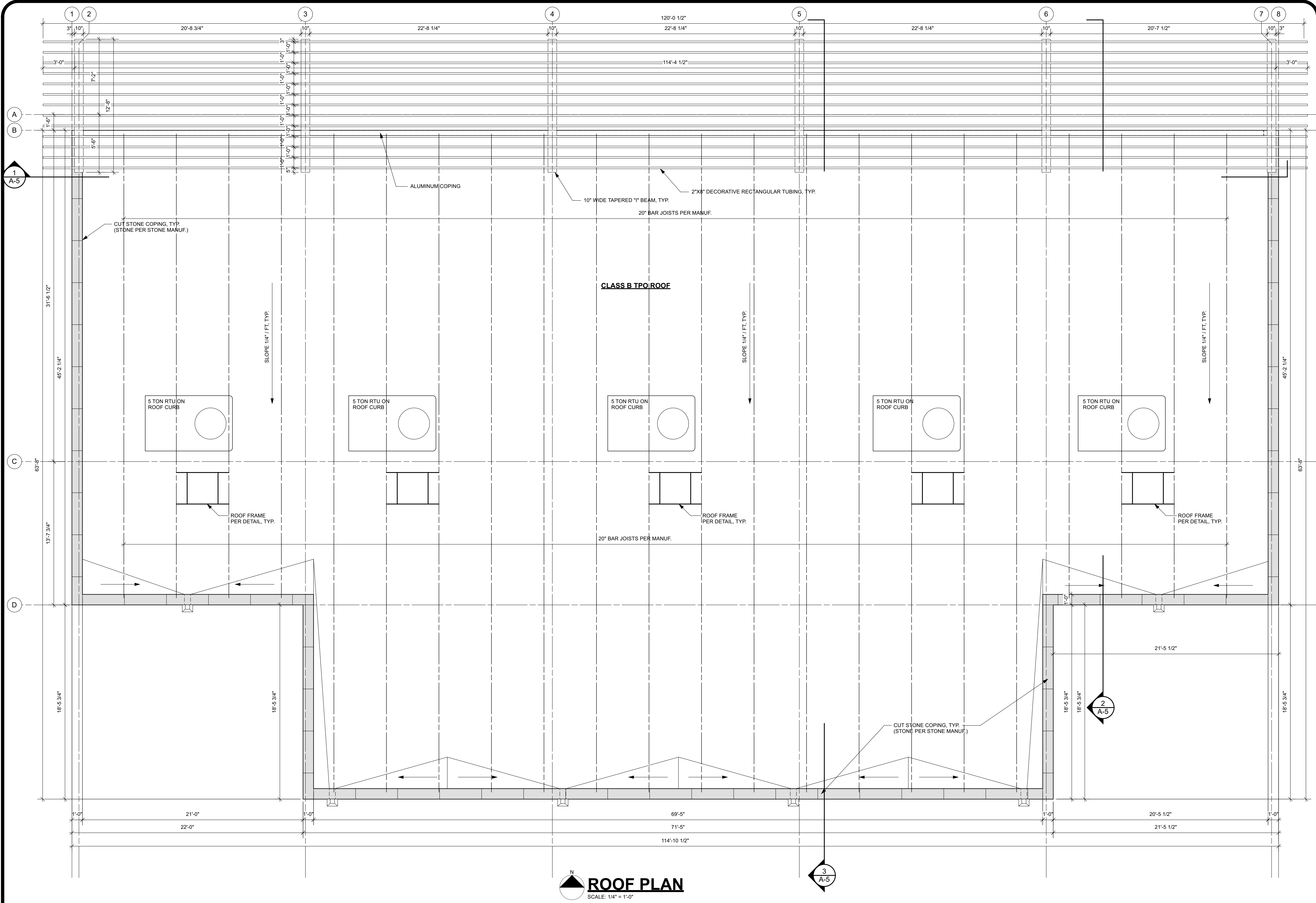
SCALE:
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25015

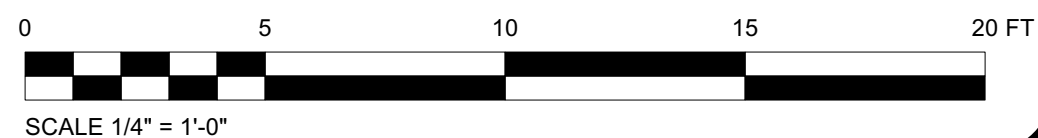
SHEET
A-2

8 OF 31 SHEETS





ROOF PLAN
SCALE: 1/4" = 1'-0"



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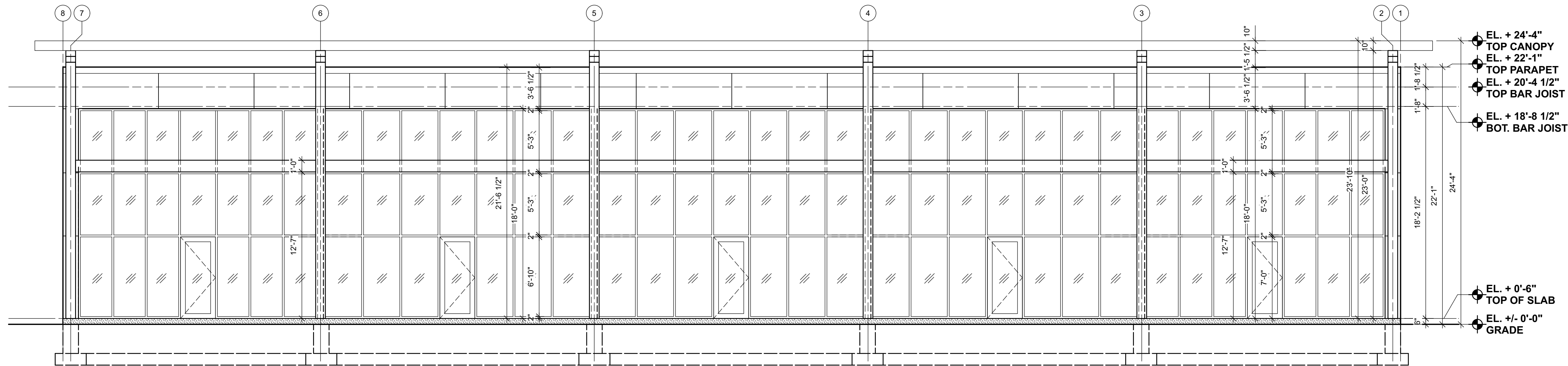
SCALE:
AS NOTED

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25015

SHEET
A-3

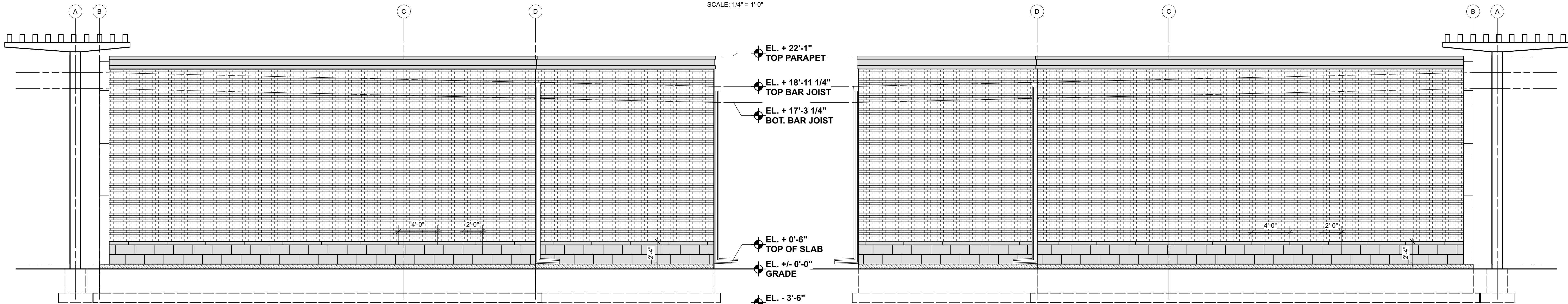
9 OF 31 SHEETS

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NORTH ELEVATION

SCALE: 1/4" = 1'-0"

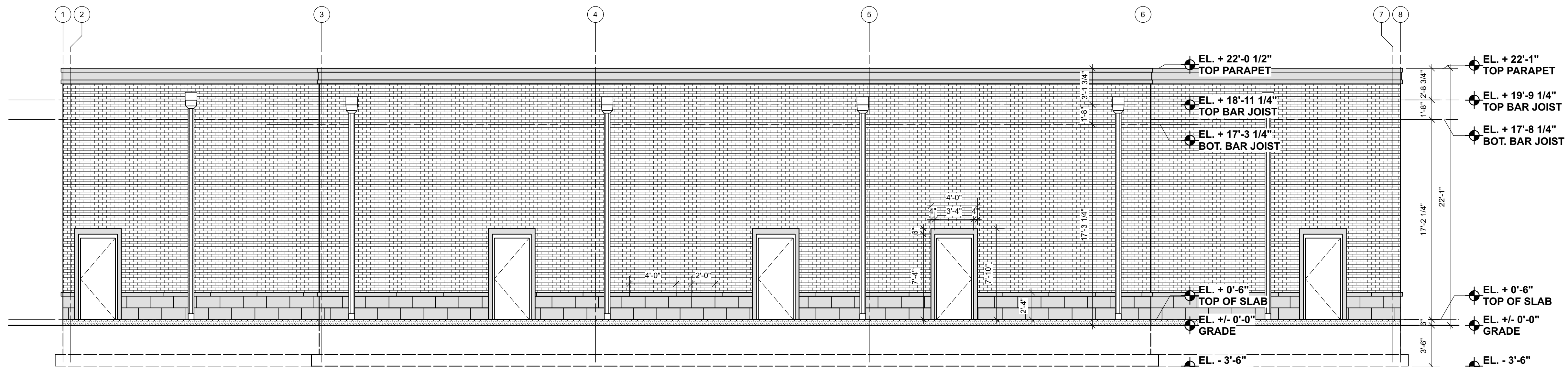


WEST ELEVATION

SCALE: 1/4" = 1'-0"

EAST ELEVATION

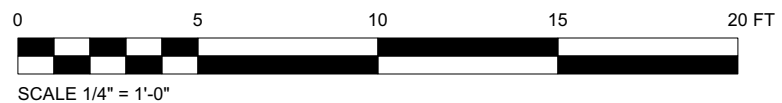
SCALE: 1/4" = 1'-0"

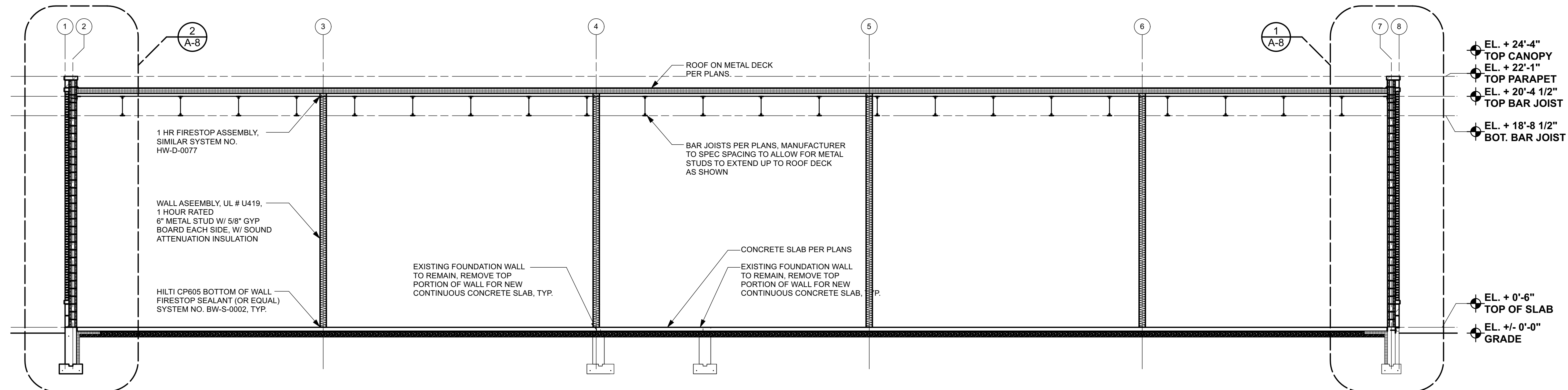


SOUTH ELEVATION

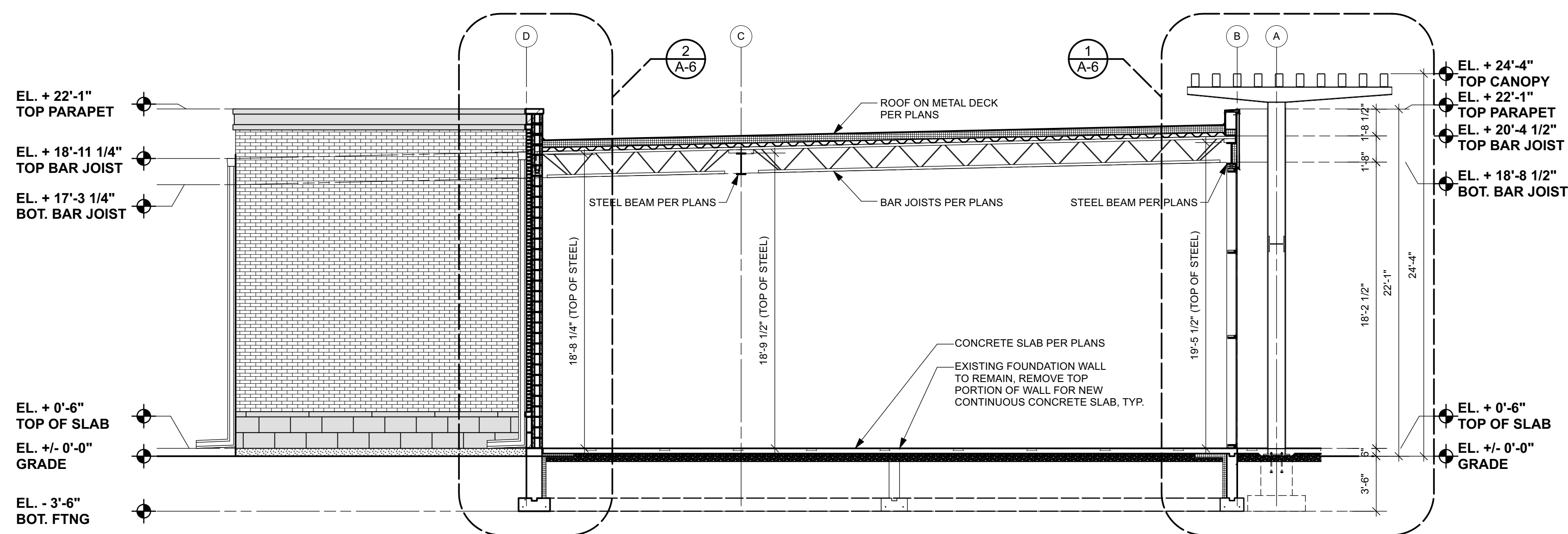
SCALE: 1/4" = 1'-0"

FLASHING NOTES:
1) PROVIDE FABRIC FLASHING AT ALL WINDOW AND DOOR HEADS, WINDOW SILLS, AT THE BOTTOM OF ALL BRICK VENEER WALLS, AND AT LOCATIONS INDICATED ON THE DRAWINGS.
2) FABRIC FLASHING SHALL BE COPPER-FABRIC LAMINATE (COPPER SHEET WEIGHING 3 OZ. PER SQ. FT. BONDED WITH ASPHALT BETWEEN 2 LAYERS OF GLASS FIBER CLOTH.
3) DAM ENDS OF ALL FLASHING AT WINDOW AND DOOR HEADS AND AT SILLS.
4) SLOPE TOP OF ALL SILLS MINIMUM 1/4" PER FOOT

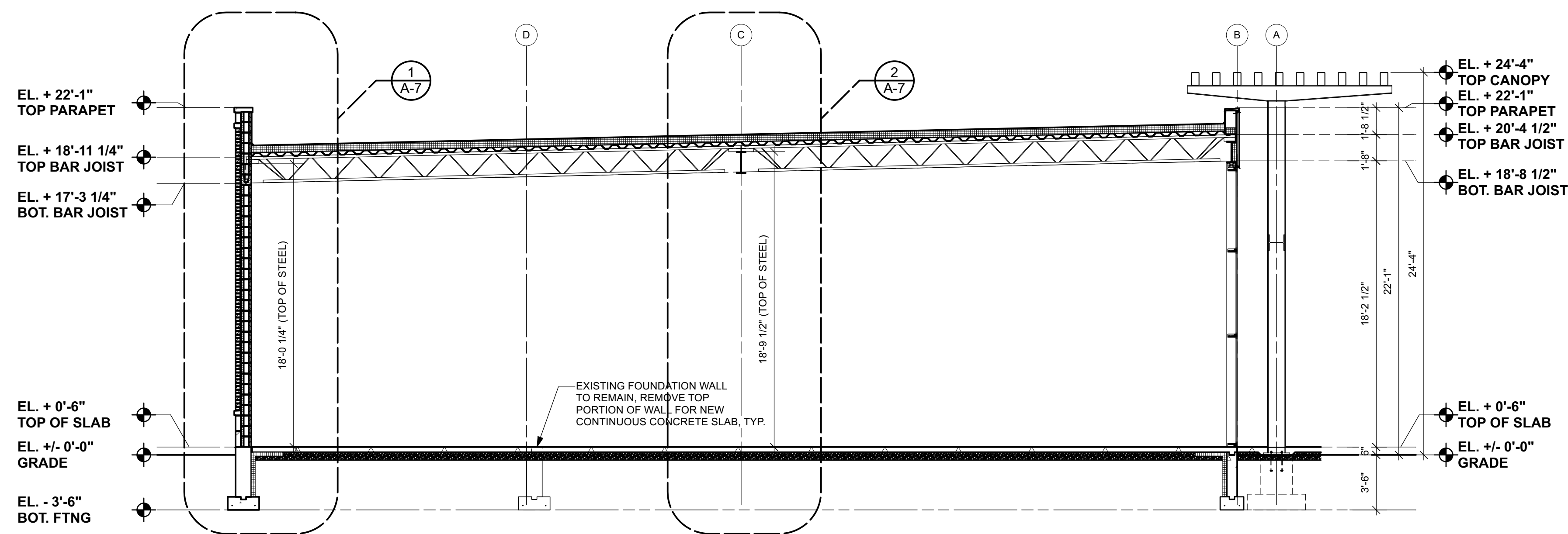




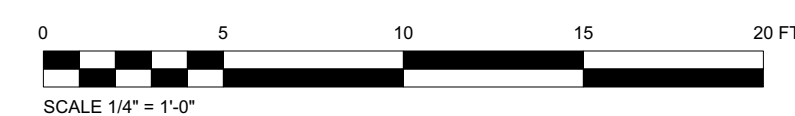
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



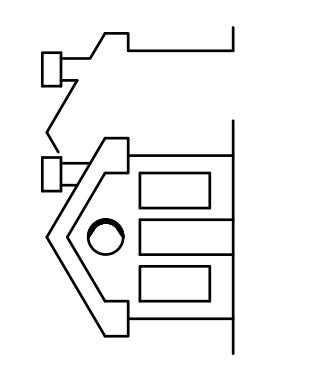
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

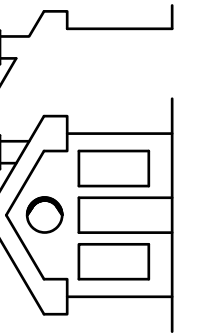


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NEW 1 STORY IIE TENANT BUILDING
DATE: 04/20/2025
SCALE: AS NOTED
JOB NO. 25015
SHEET A-5
11 OF 31 SHEETS

[illegible]

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**NEW 1 STORY IIE
TENANT
BUILDING**

DATE: 01/20/2025

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AS NOTED

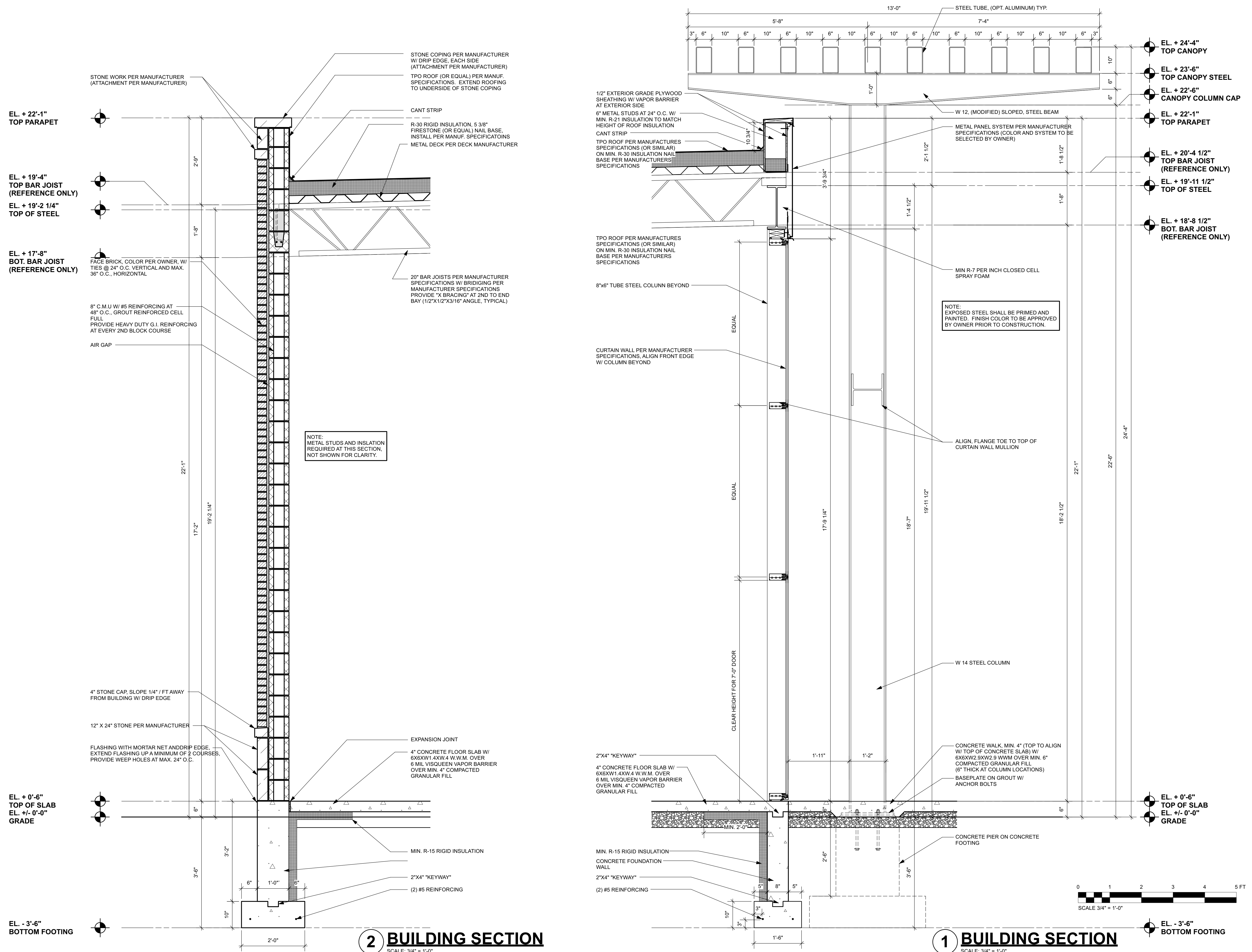
B NO.

015

EET

A-6

2 OF 31 SHEETS



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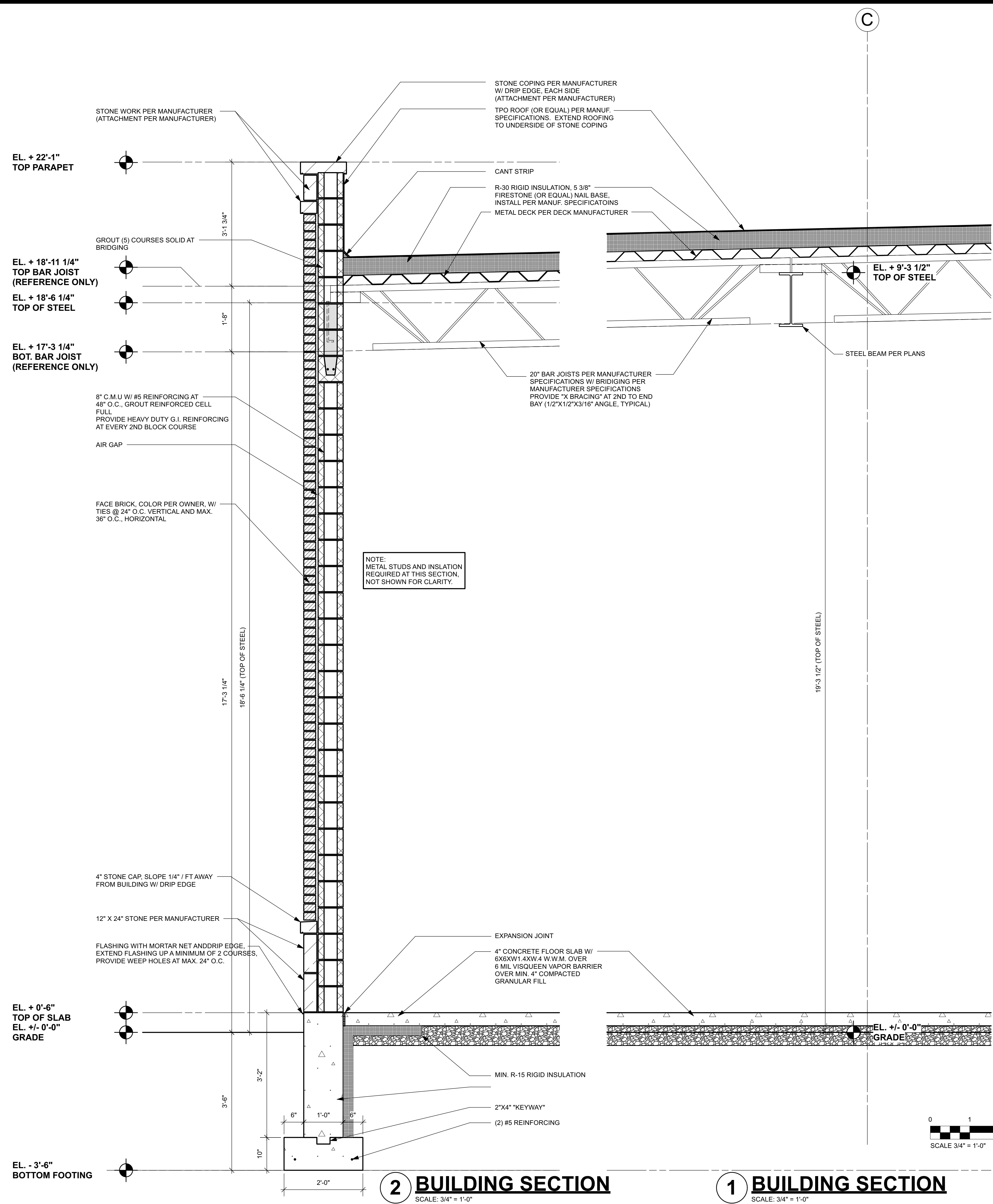
DATE:
04/20/2025

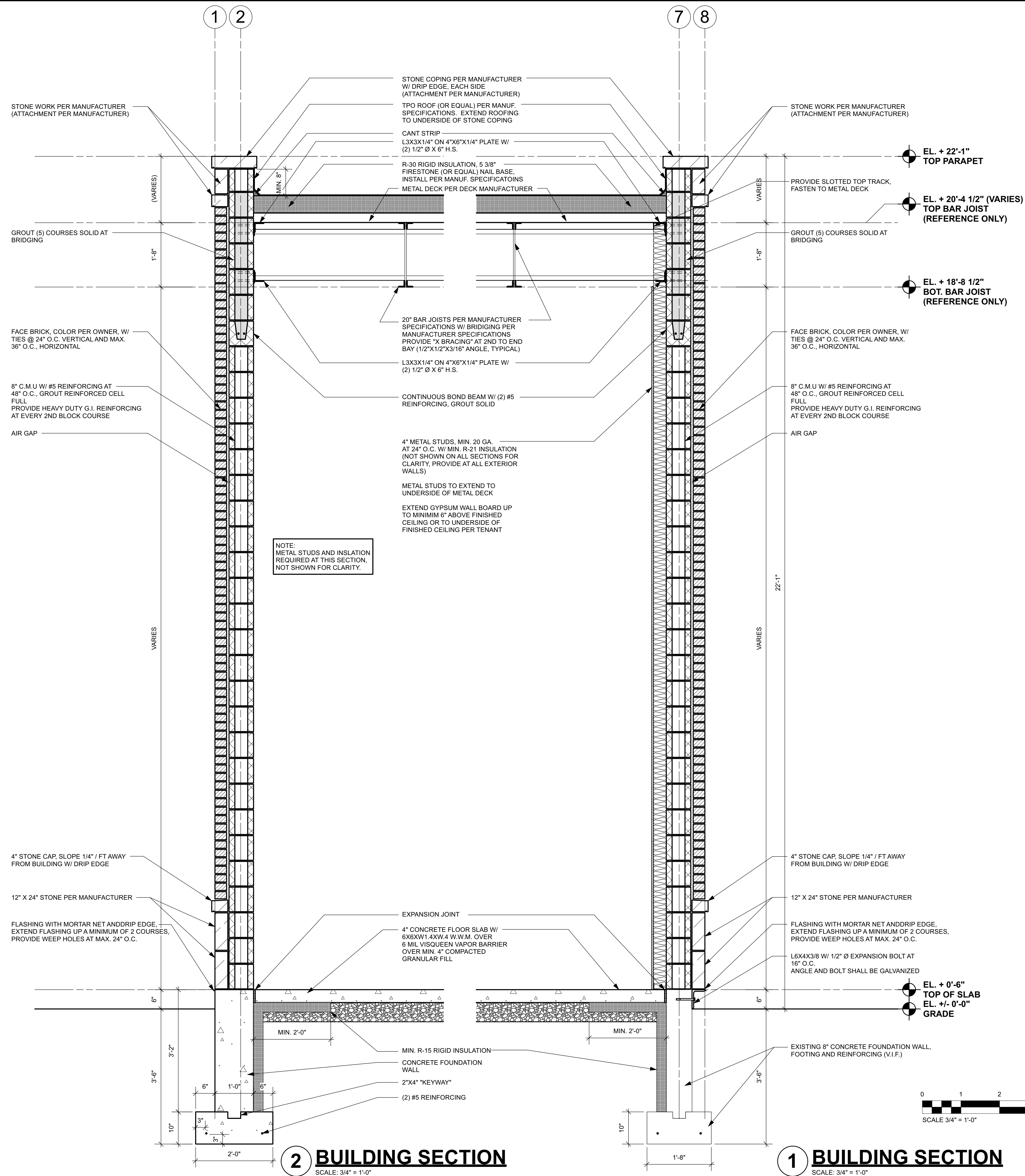
SCALE:
AS NOTED

JOB NO.
25015

SHEET
A-7

13 OF 31 SHEETS

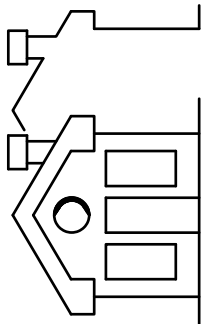




2 BUILDING SECTION
SCALE: 3/4" = 1'-0"

1 BUILDING SECTION
SCALE: 3/4" = 1'-0"

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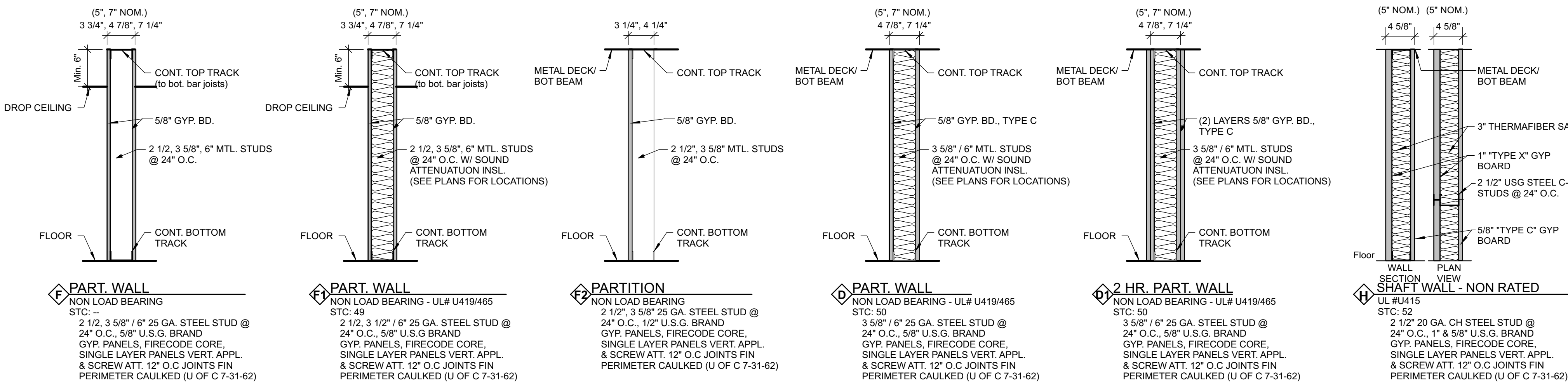
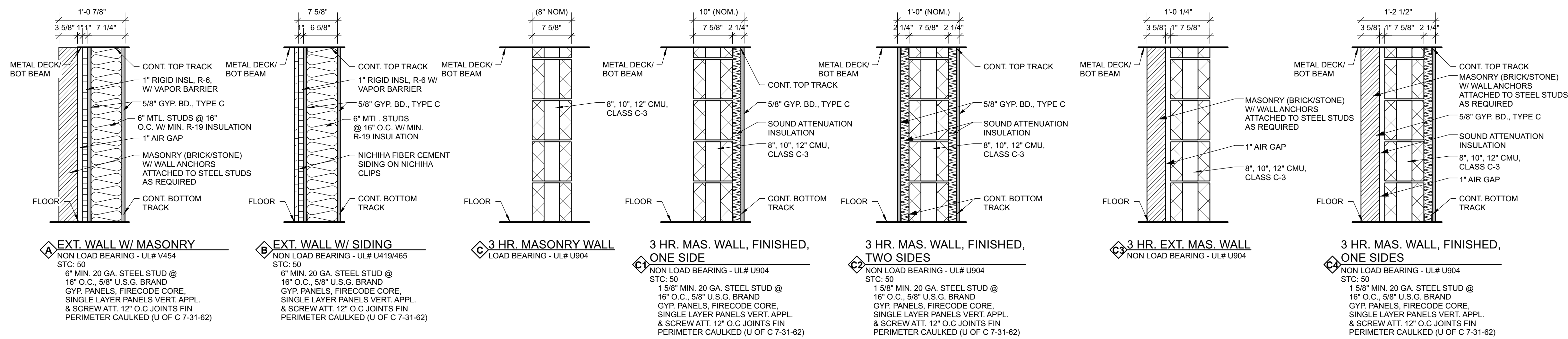
DATE:
04/20/2025

SCALE:
AS NOTED

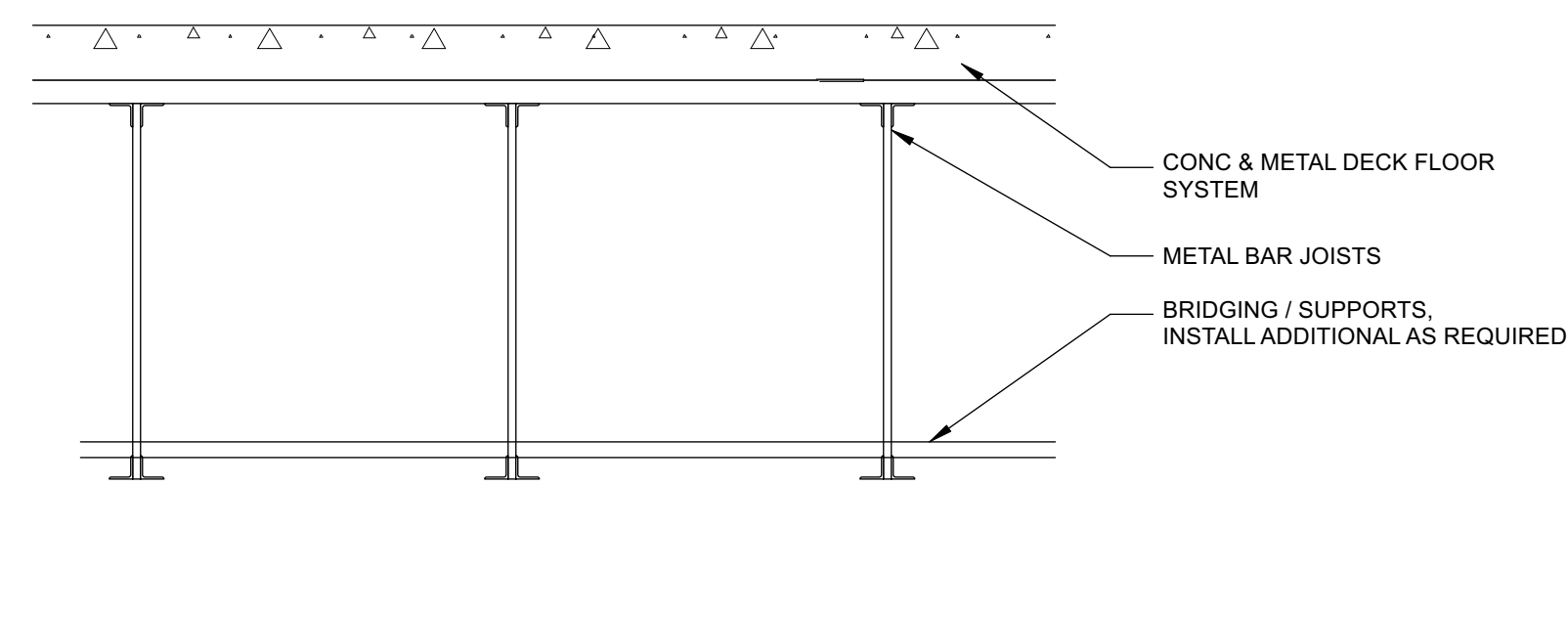
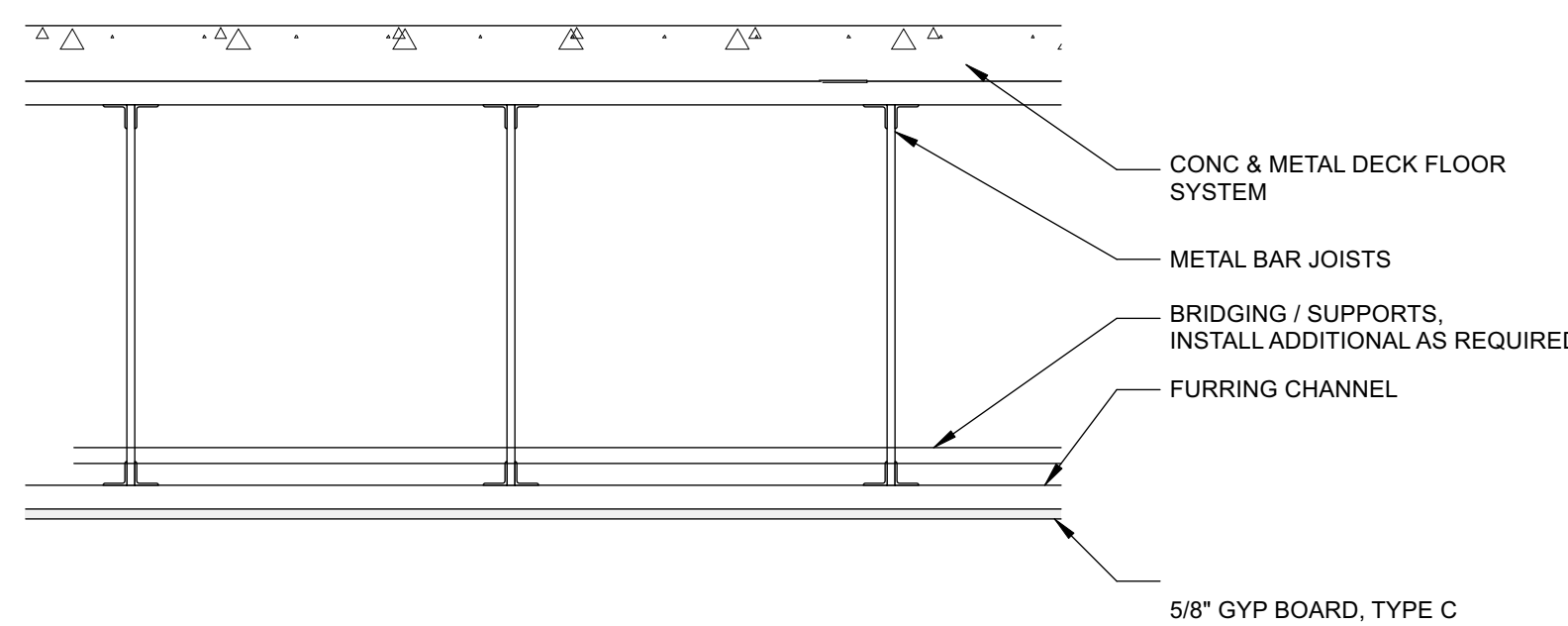
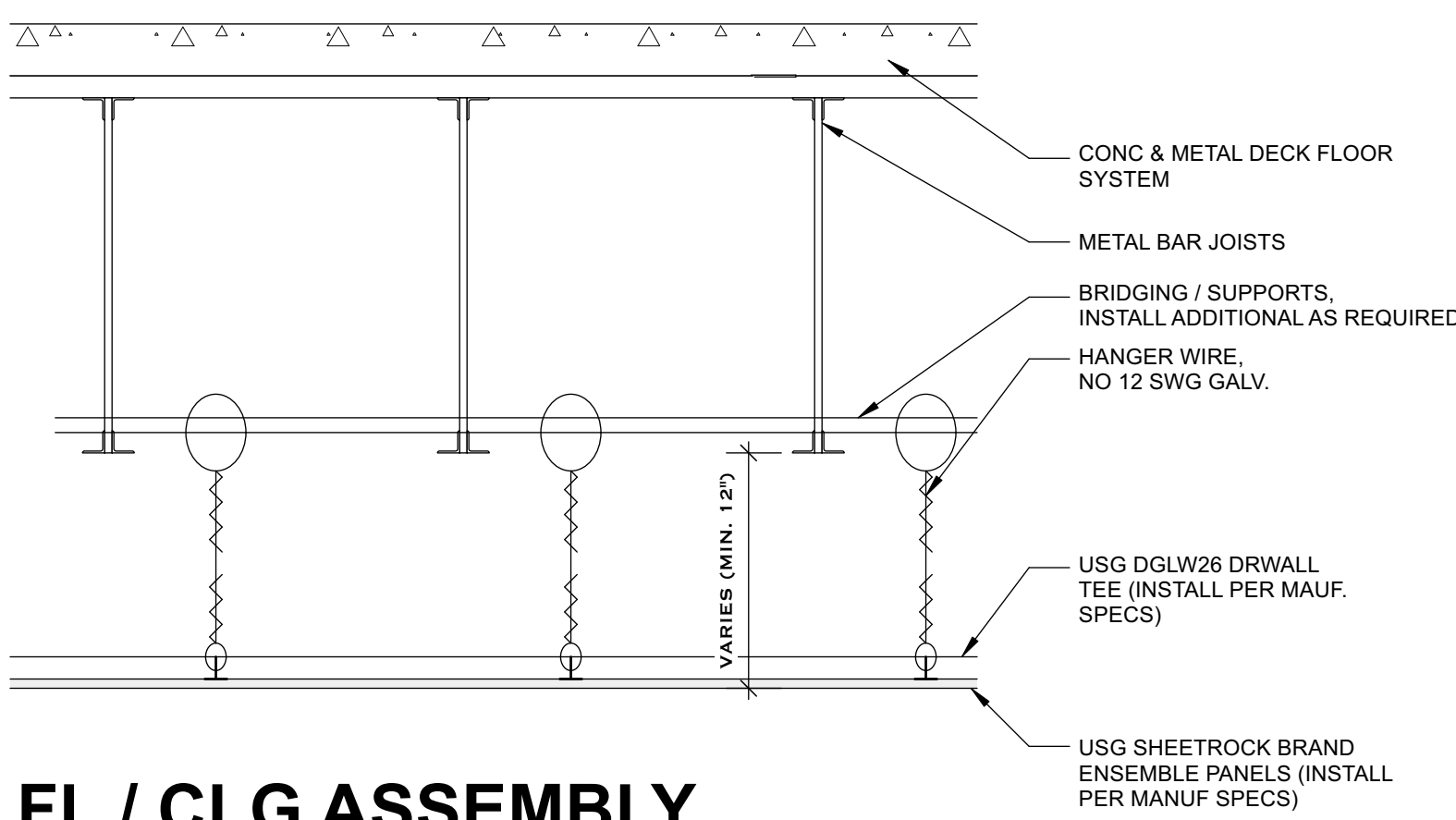
JOB NO.
25015

SHEET
A-8

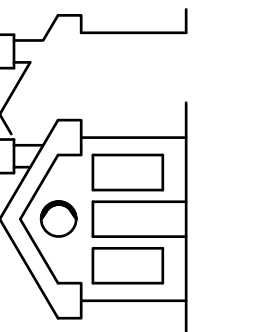
14 OF 31 SHEETS



RATED ASSEMBLY NOTES:
1) CONTRACTOR TO HAVE COMPLETE COPY OF UL ASSEMBLIES IN FIELD AT ALL TIMES. CONTRACTOR TO FOLLOW FULLY THE DETAILS AND ASSEMBLY PROVIDED IN UL DOCUMENTS.

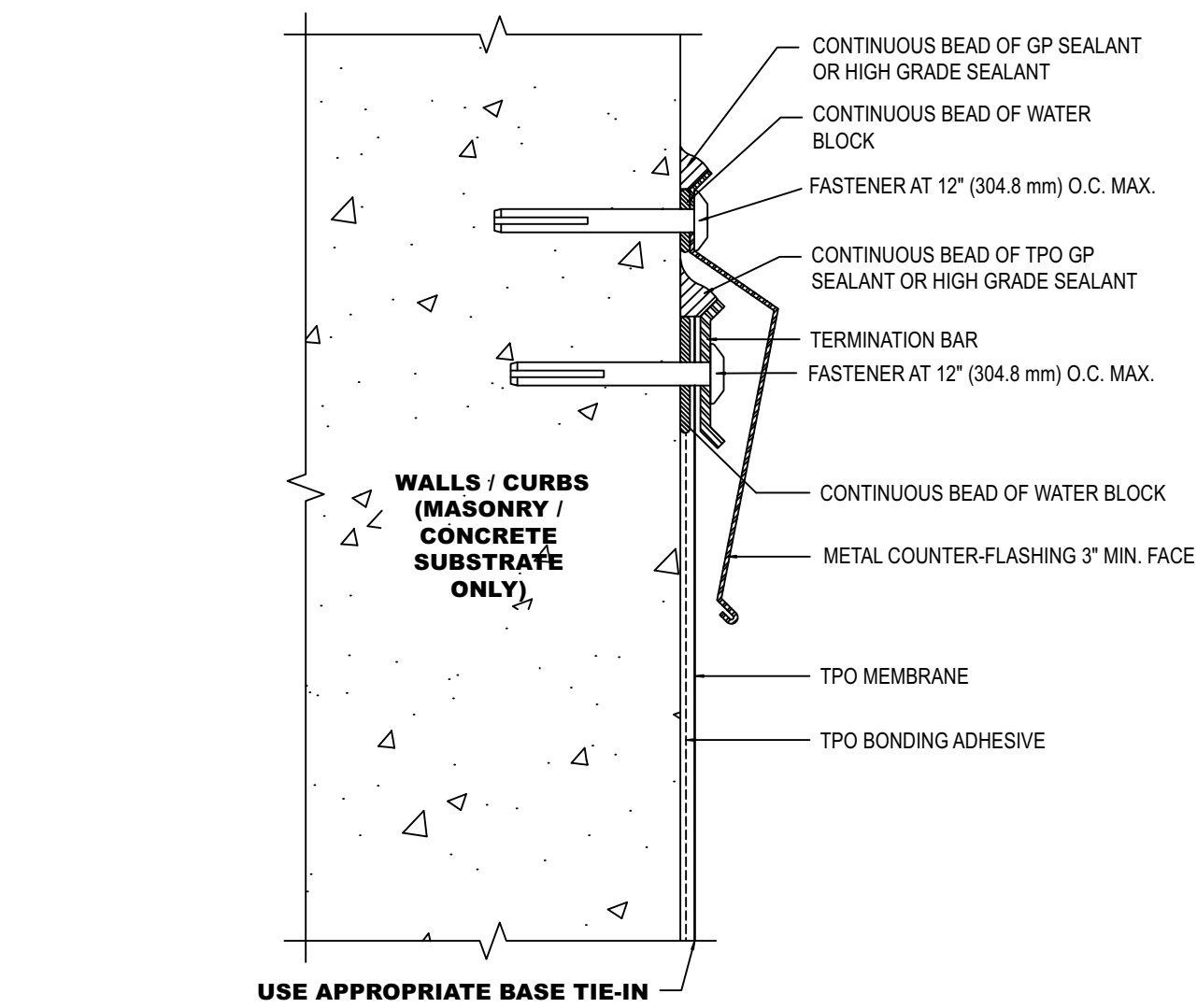


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Design Review	05/06/25

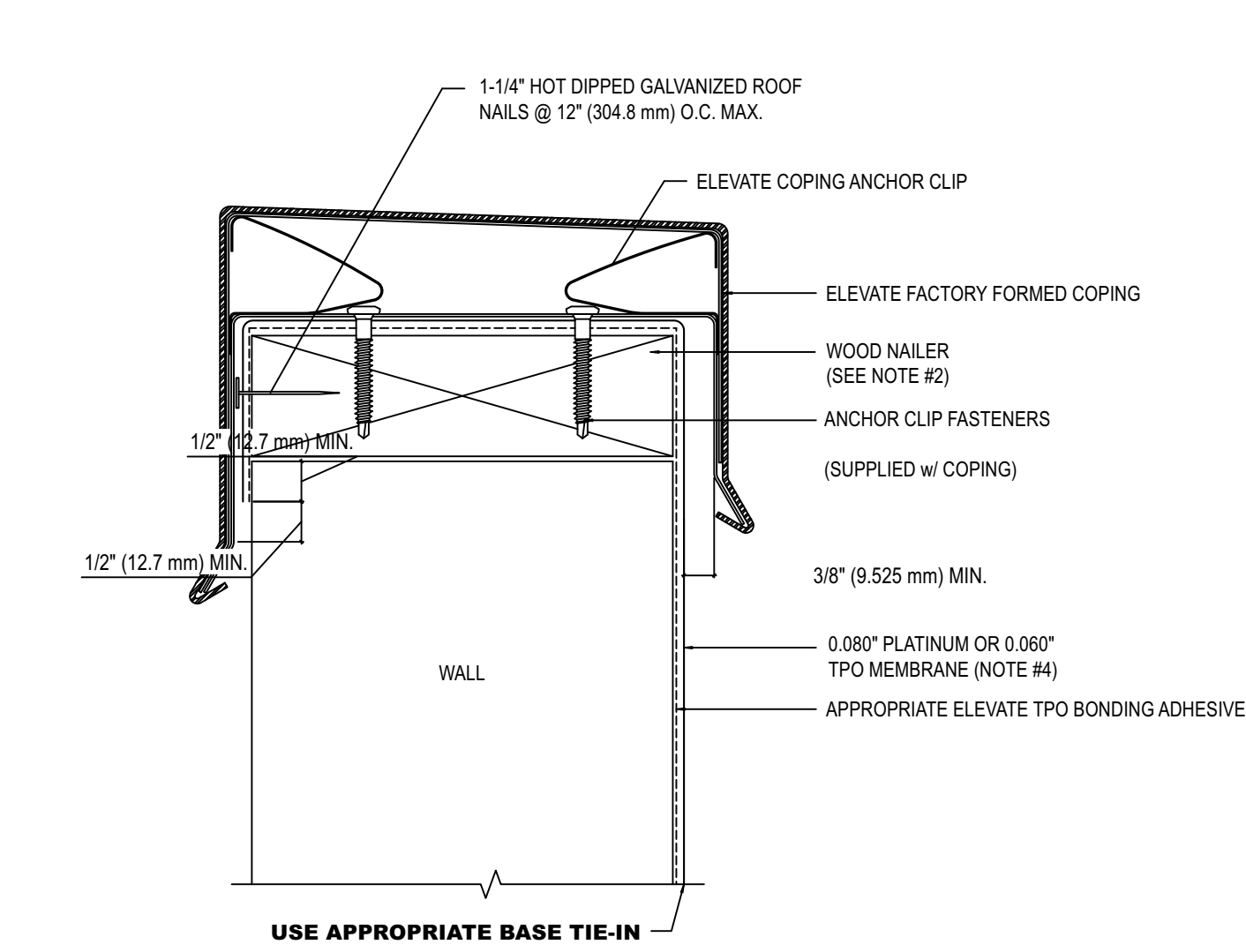


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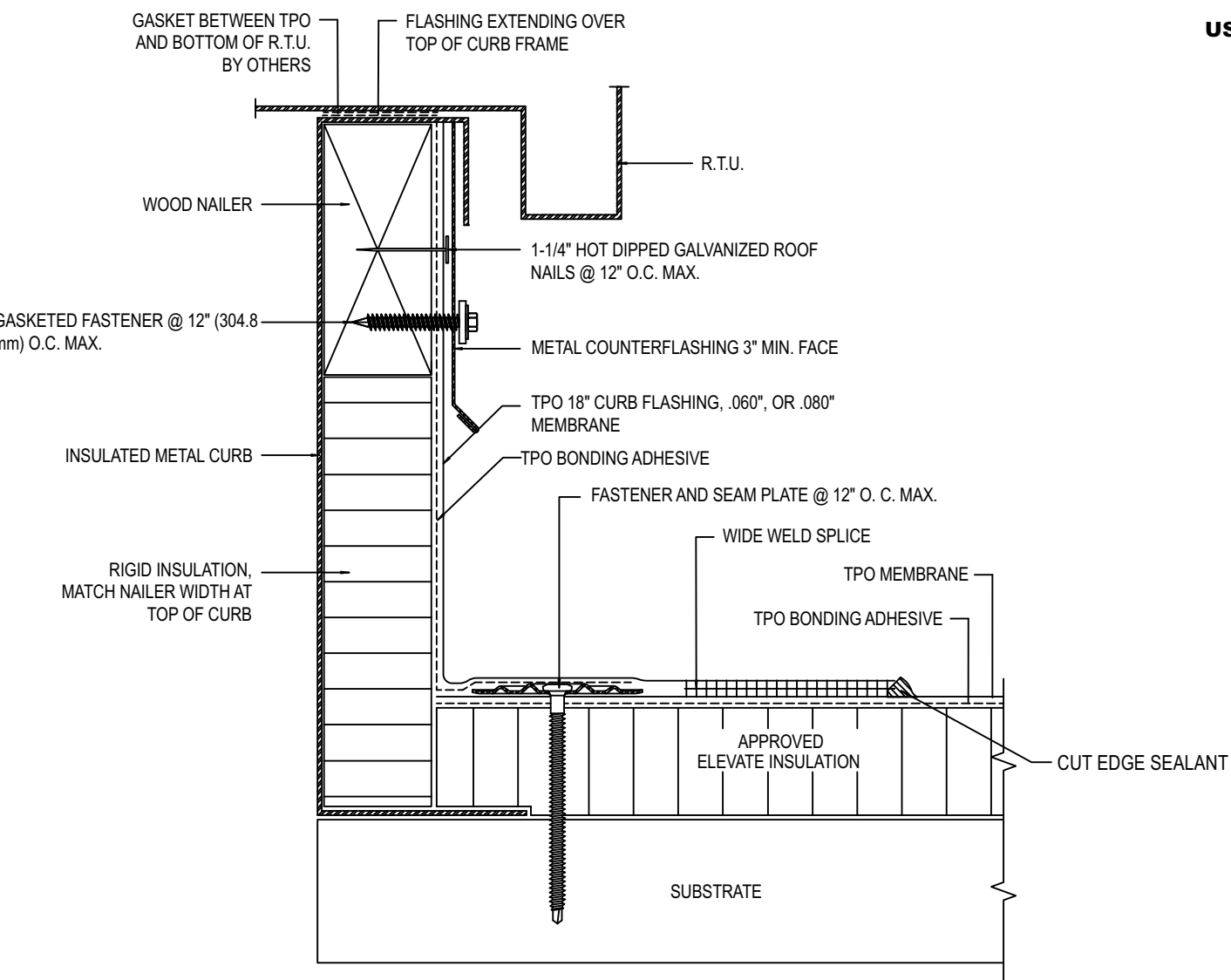
NEW 1 STORY IIE TENANT BUILDING
DATE: 04/20/2025
SCALE: AS NOTED
JOB NO. 25015
SHEET A-9
15 OF 31 SHEETS



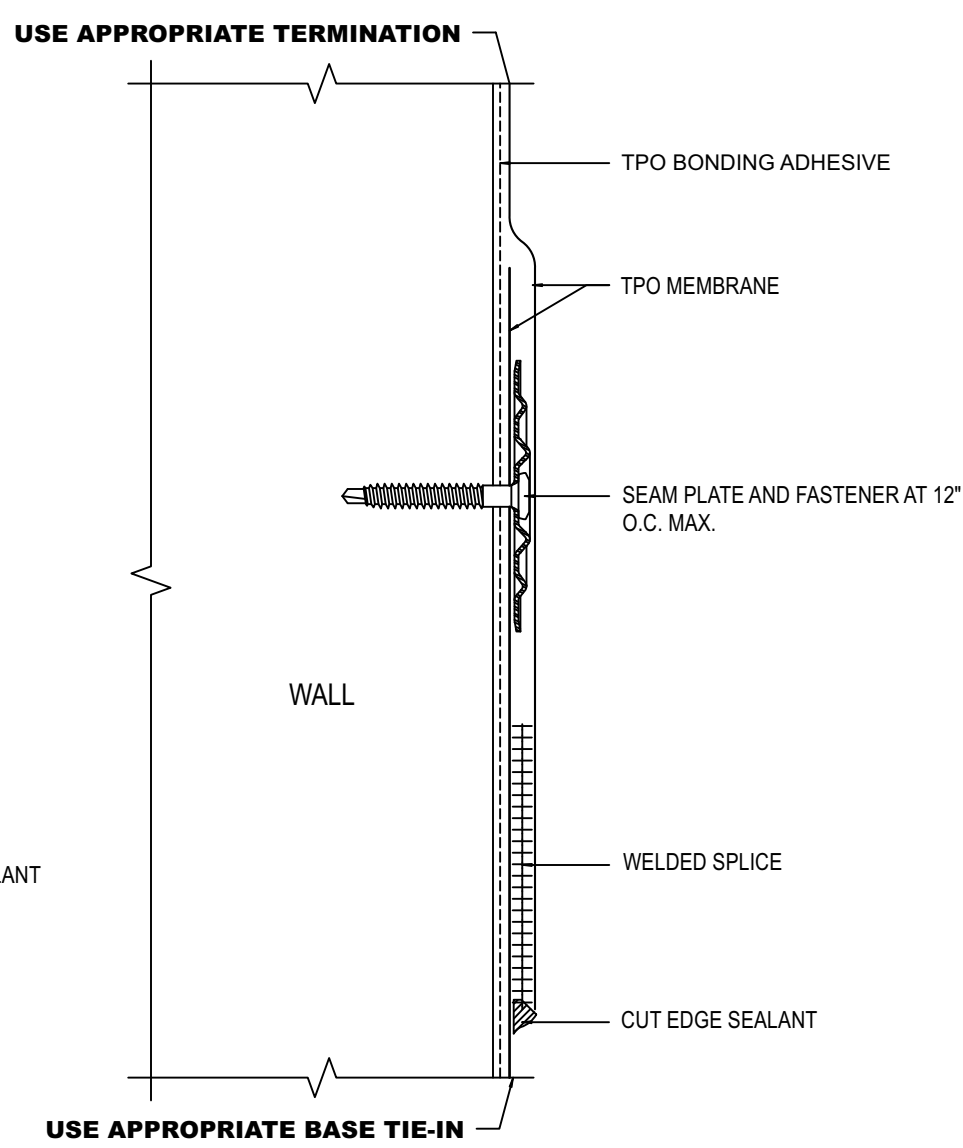
**TERMINATION AND SURFACE MOUNTED
COUNTERFLASHING AND TERMINATION BAR**
SCALE: N.T.S.



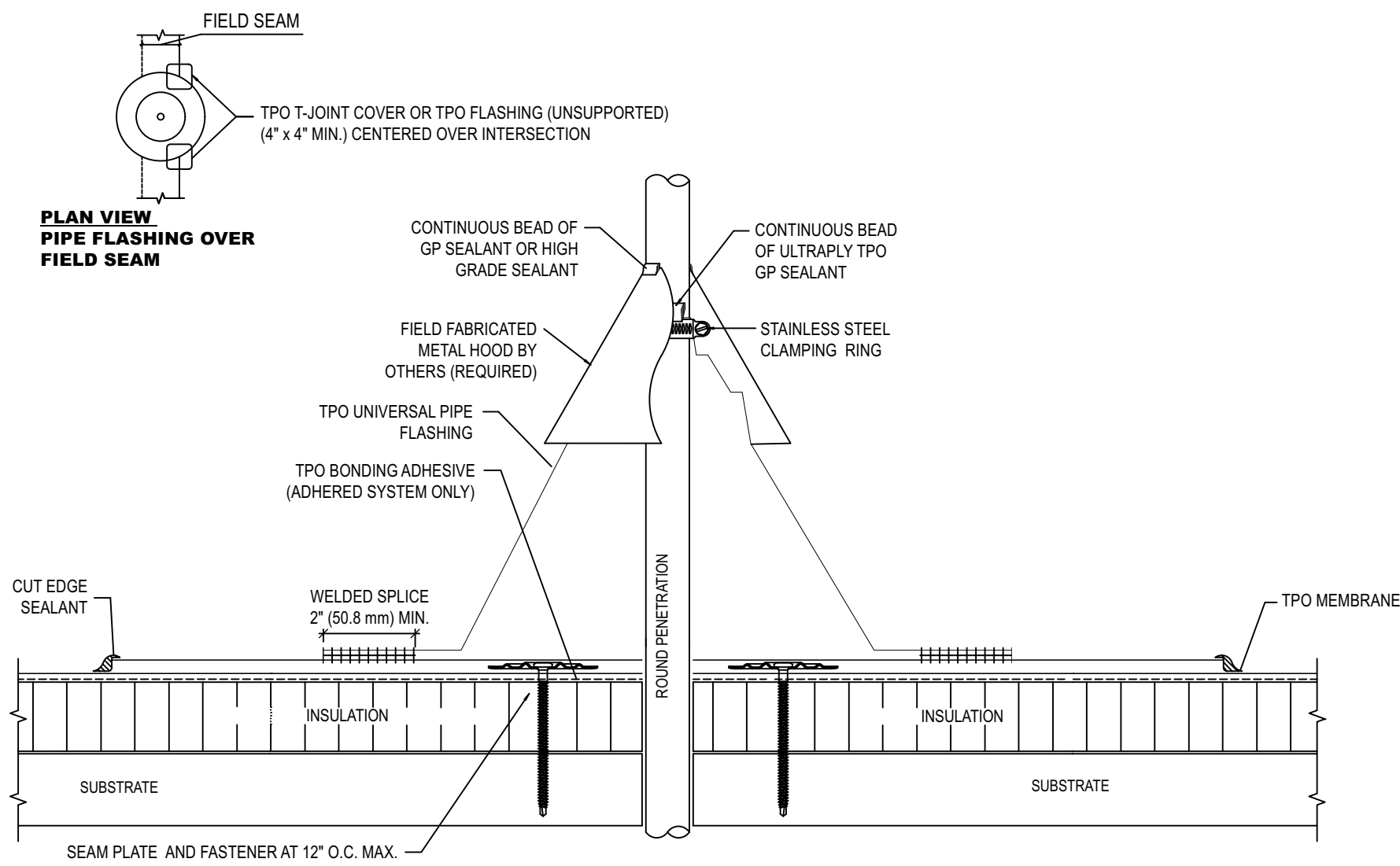
TERMINATION AT TOP OF WALL
SCALE: N.T.S.



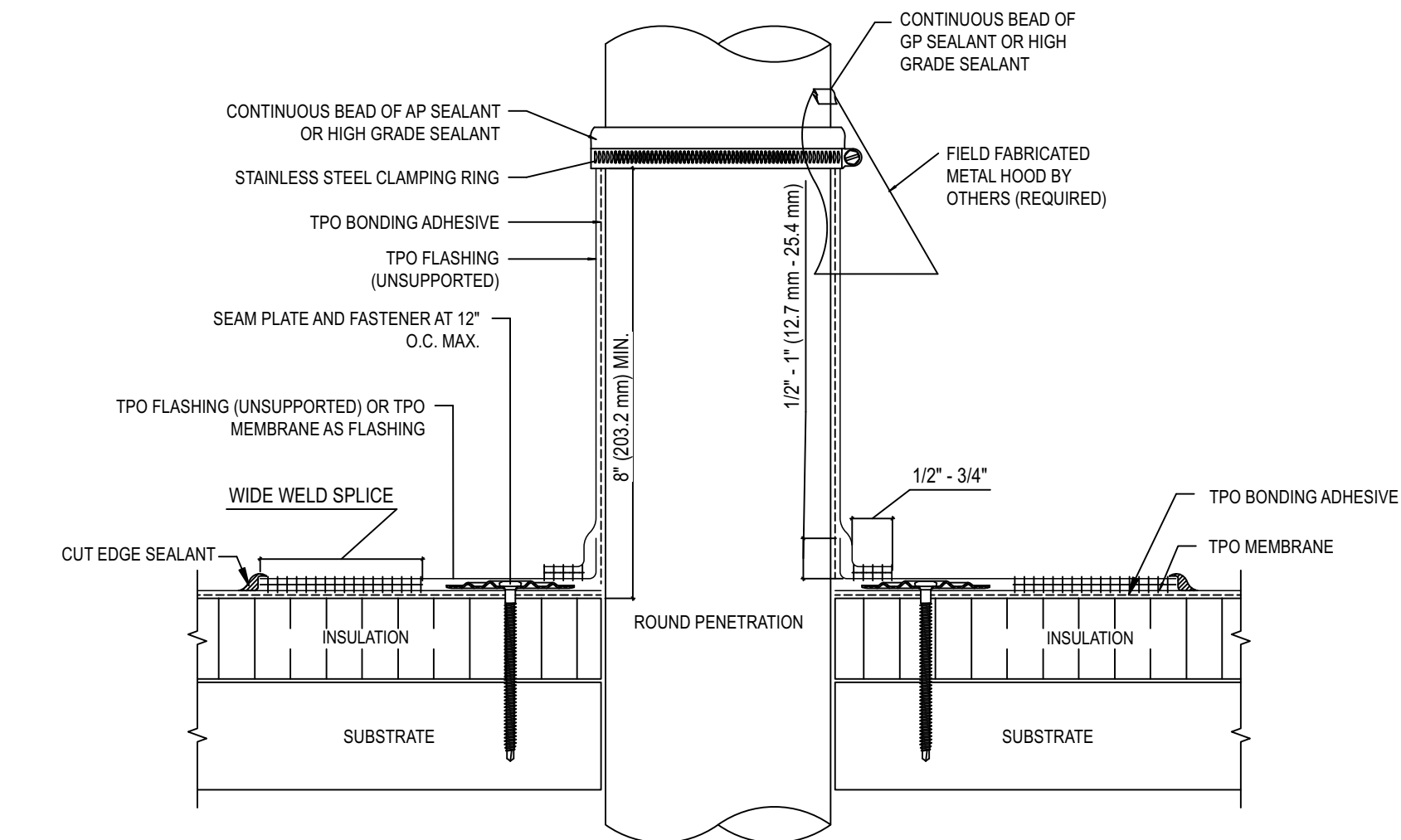
RTU CURB DETAIL
SCALE: N.T.S.



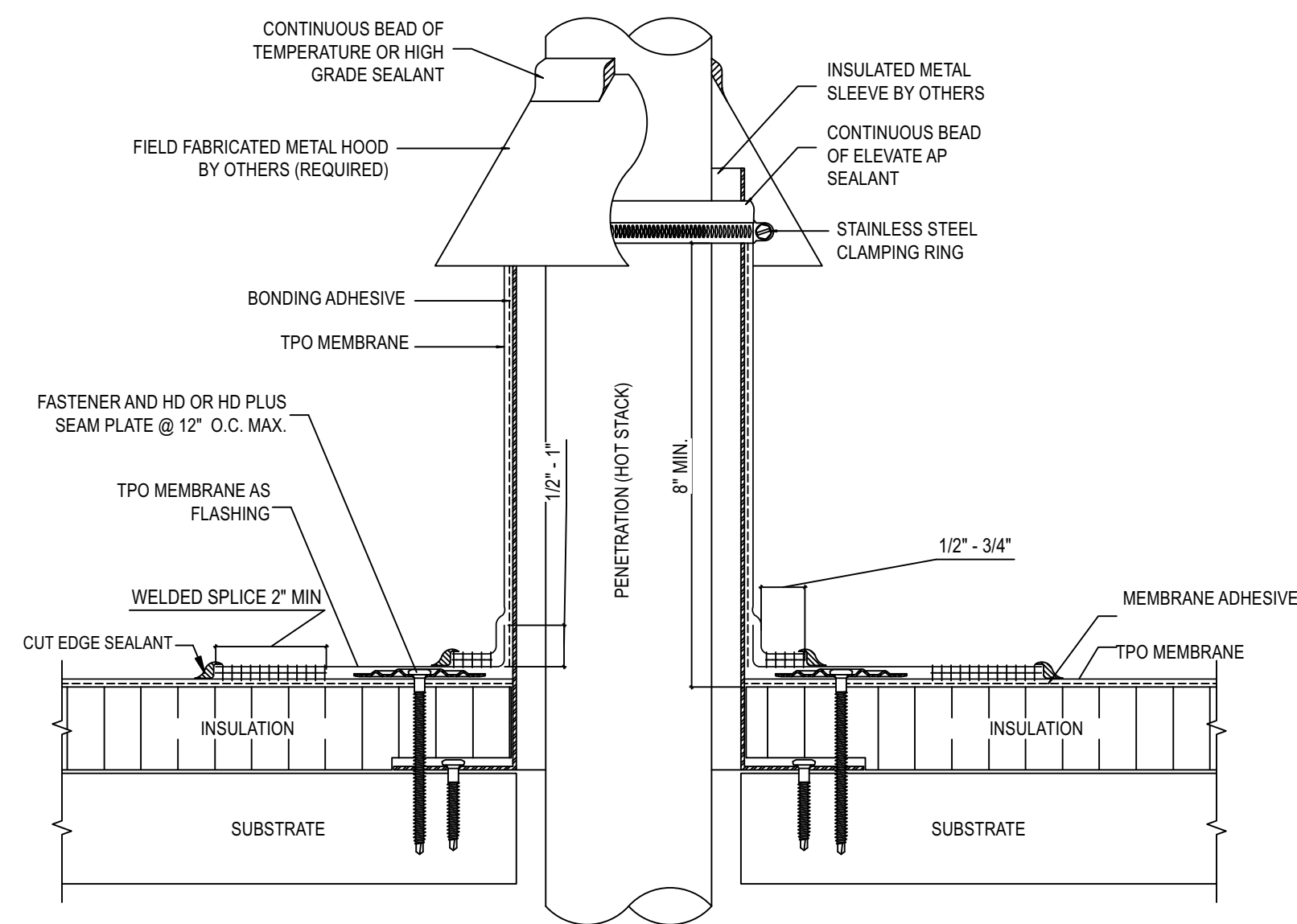
WALL FLASHING
SCALE: N.T.S.



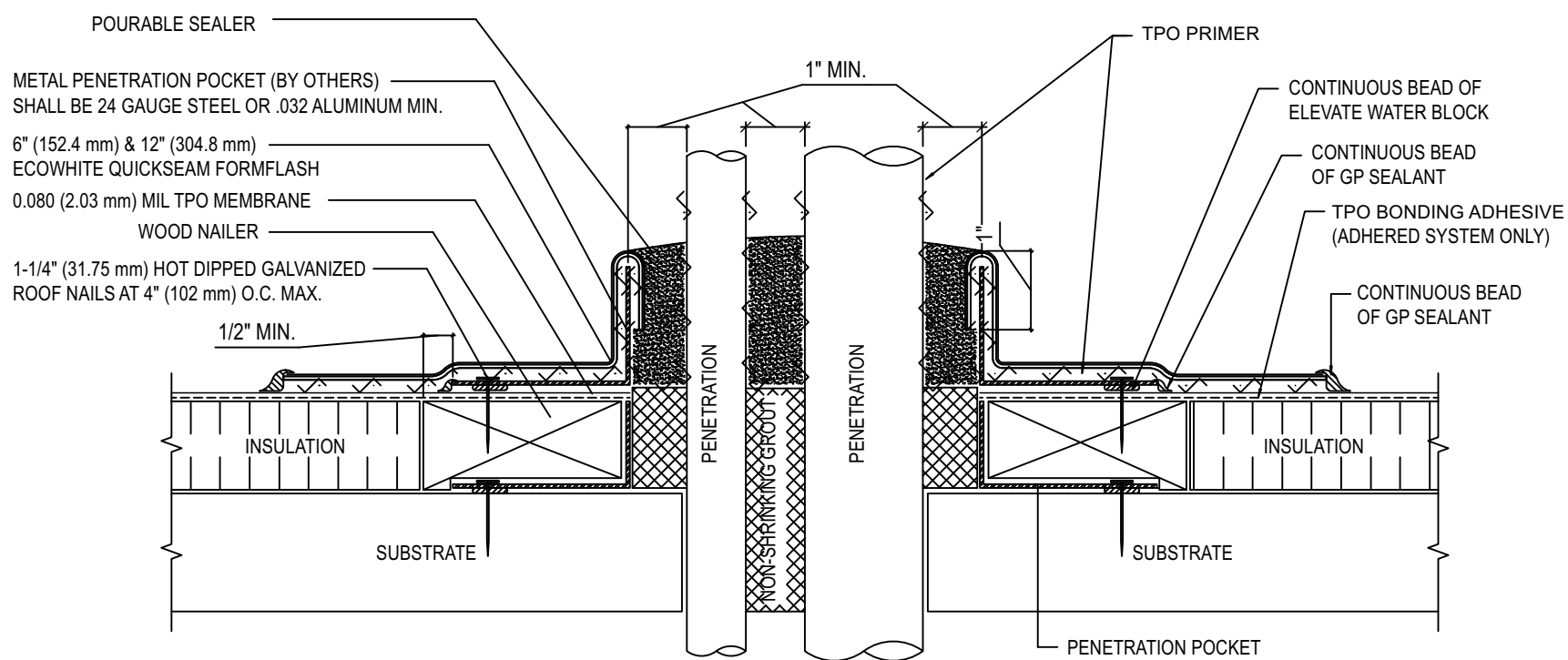
ROUND SINGLE PENETRATION
SCALE: N.T.S.



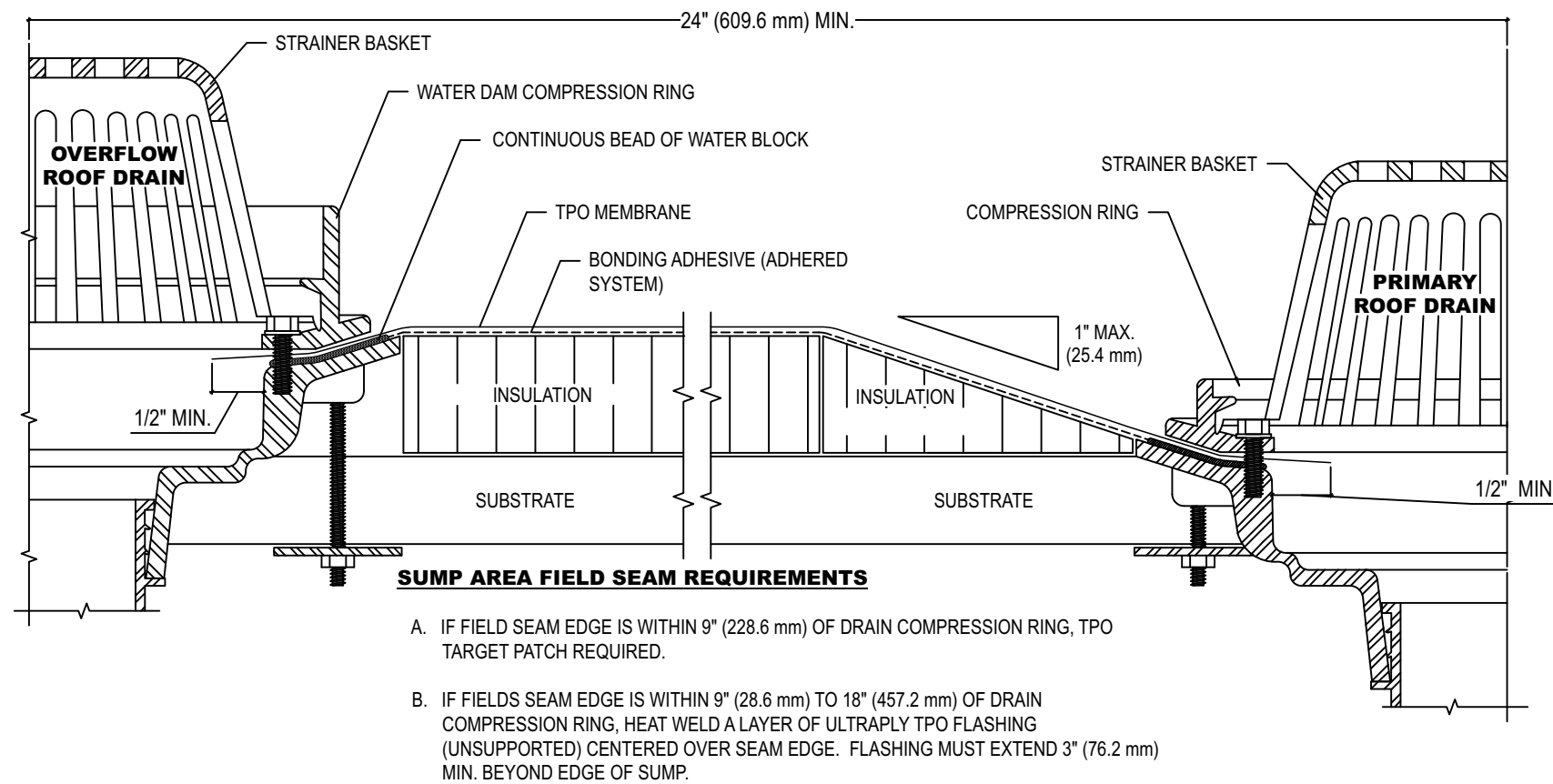
ROUND SINGLE PENETRATION W/ FLASHING
SCALE: N.T.S.



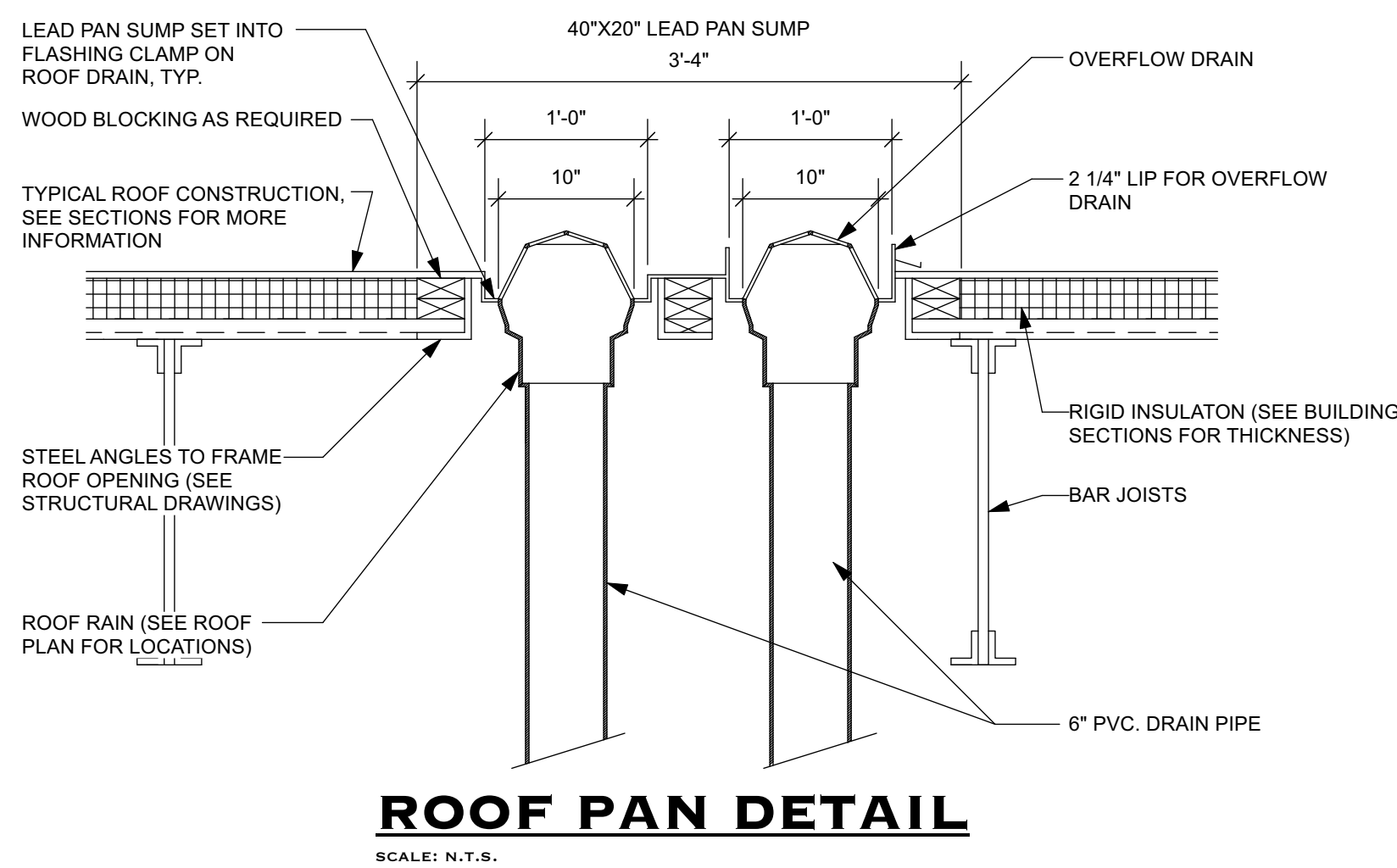
ROUND SINGLE PENETRATION "HOT STACK"
SCALE: N.T.S.



MULTIPLE PENETRATION
SCALE: N.T.S.



ROOF DRAIN
SCALE: N.T.S.

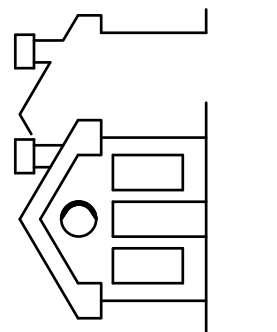


ROOF PAN DETAIL
SCALE: N.T.S.

NOTES:

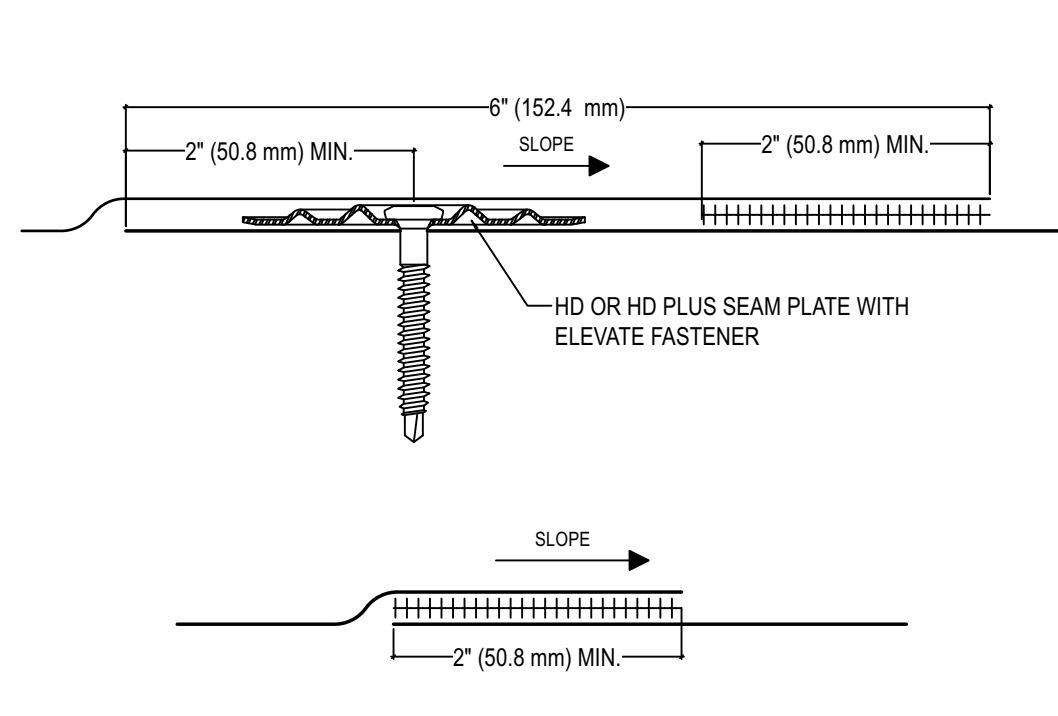
- 1) REFER TO MANUFACTURER SPECS FOR COMPLETE INSTALLATION DETAILS AND METHODS.
- 2) REFER TO STRUCTURAL SHEETS FOR ROOF DRAIN FRAME DETAILS

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Design Review	05/06/25

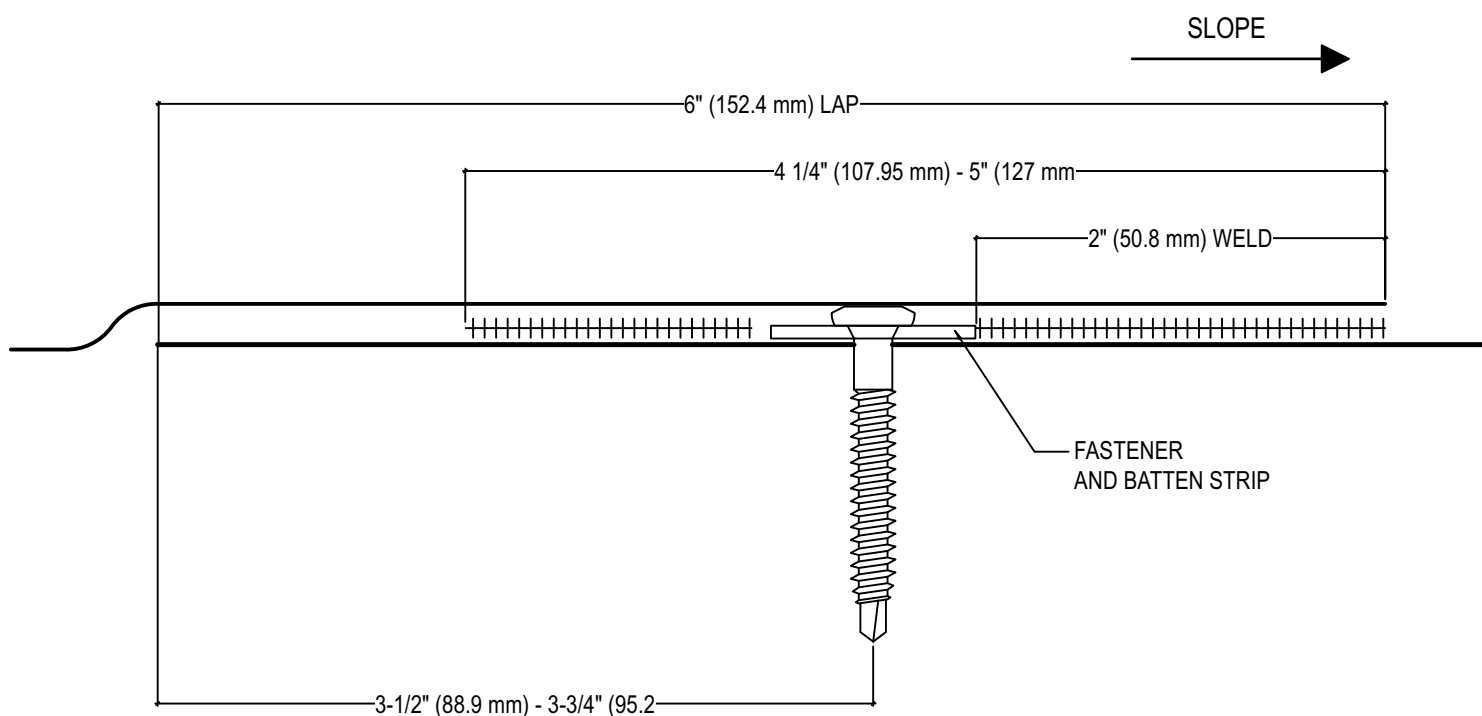


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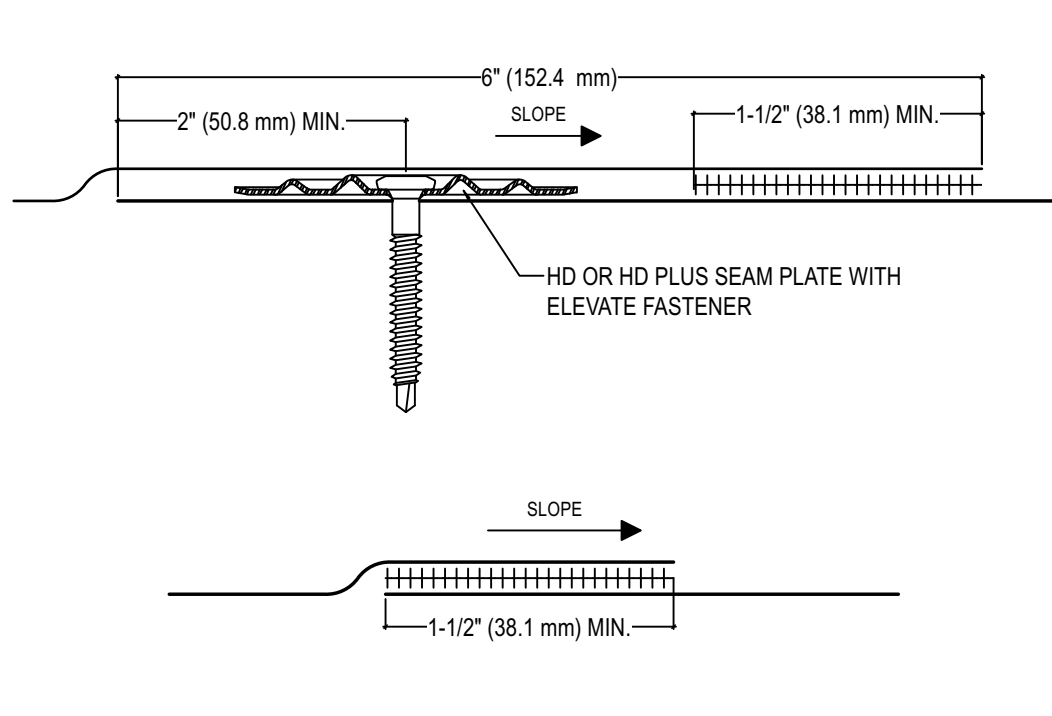
NEW 1 STORY IIE TENANT BUILDING
DATE: 04/20/2025
SCALE: AS NOTED
JOB NO. 25015
SHEET A-11
17 OF 31 SHEETS



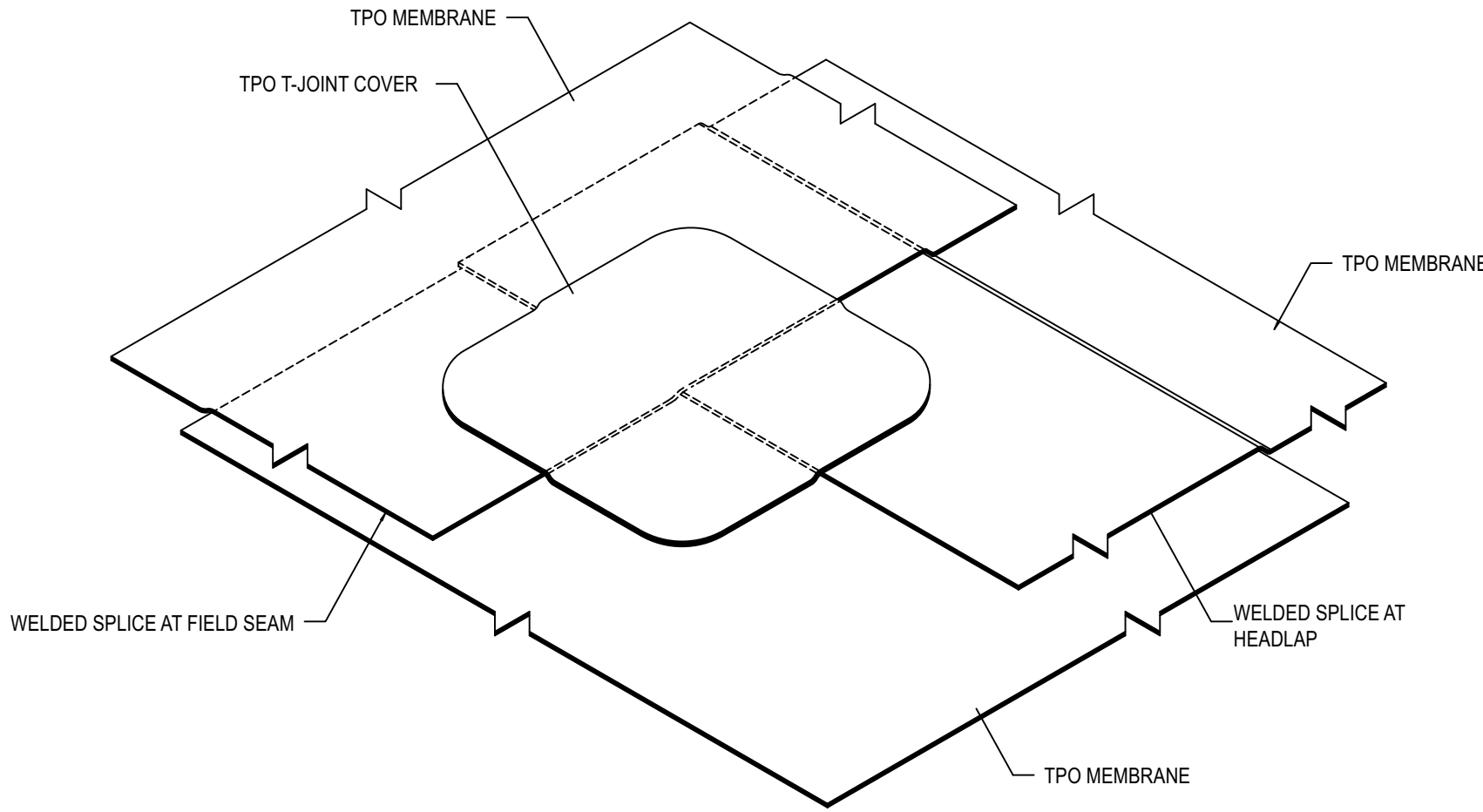
LAP SPLICE (2" HAND WELD)
SCALE: N.T.S.



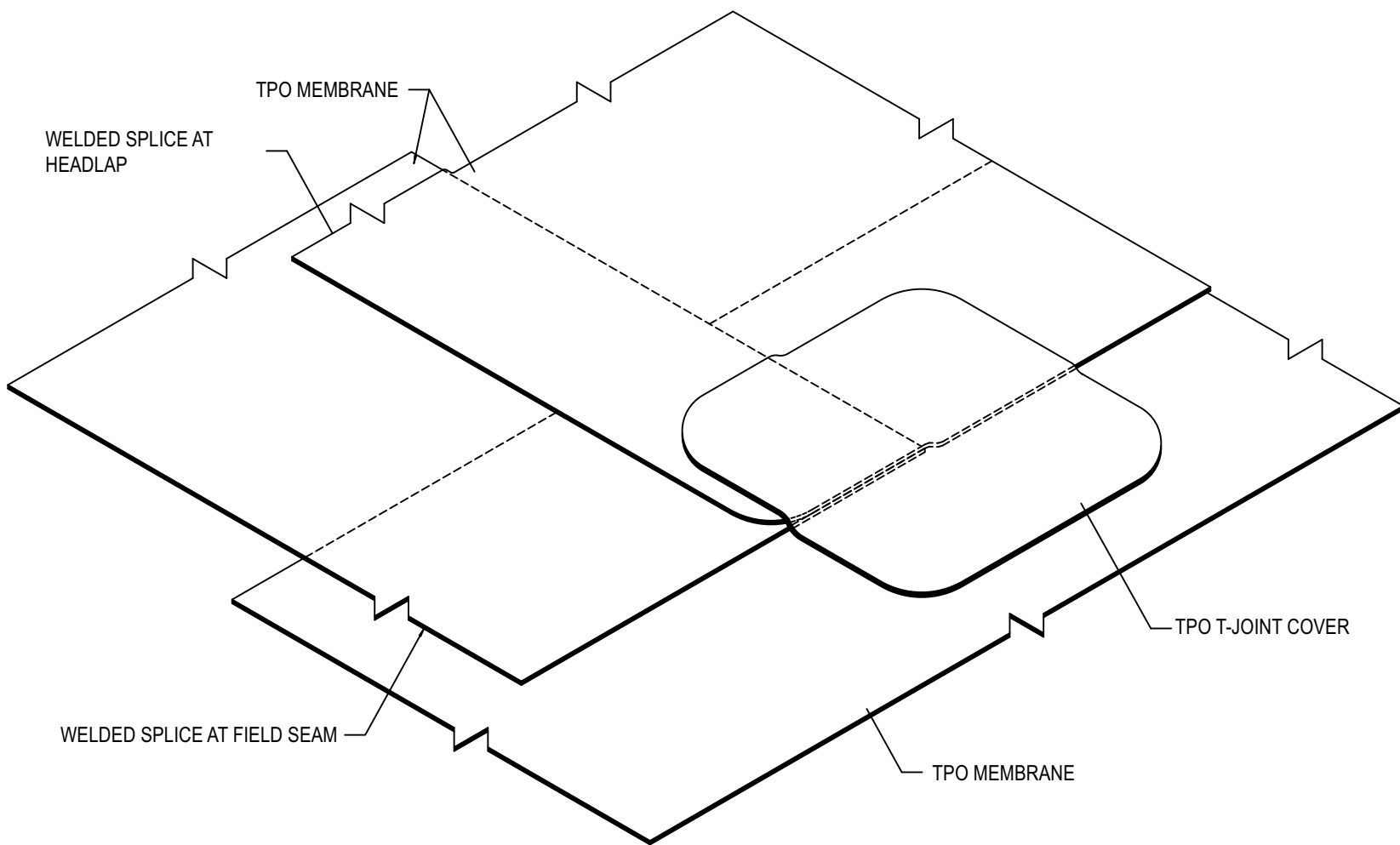
LAP SPLICE (CONT. WELD)
SCALE: N.T.S.



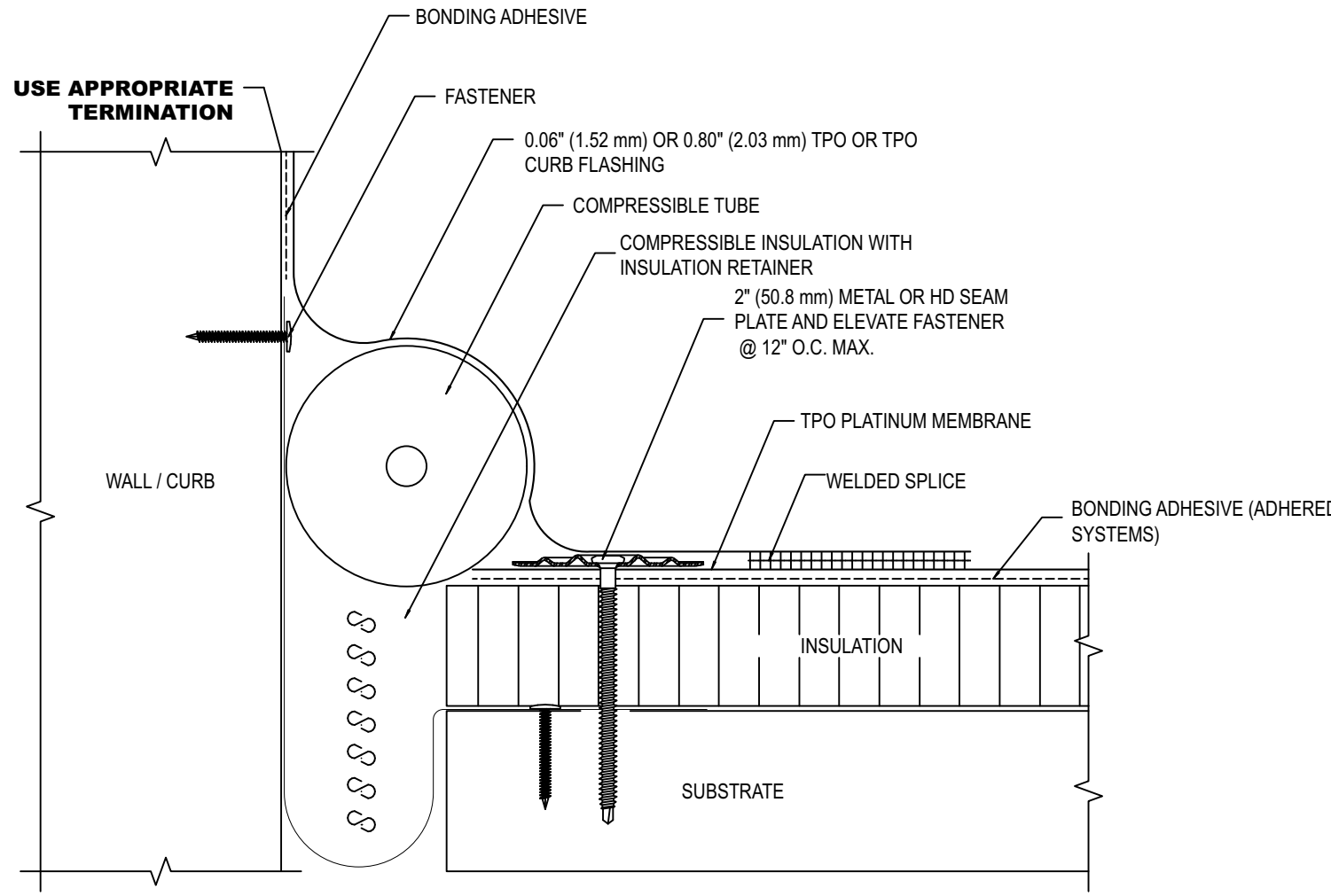
LAP SPLICE (AUTOMATIC WELDER)
SCALE: N.T.S.



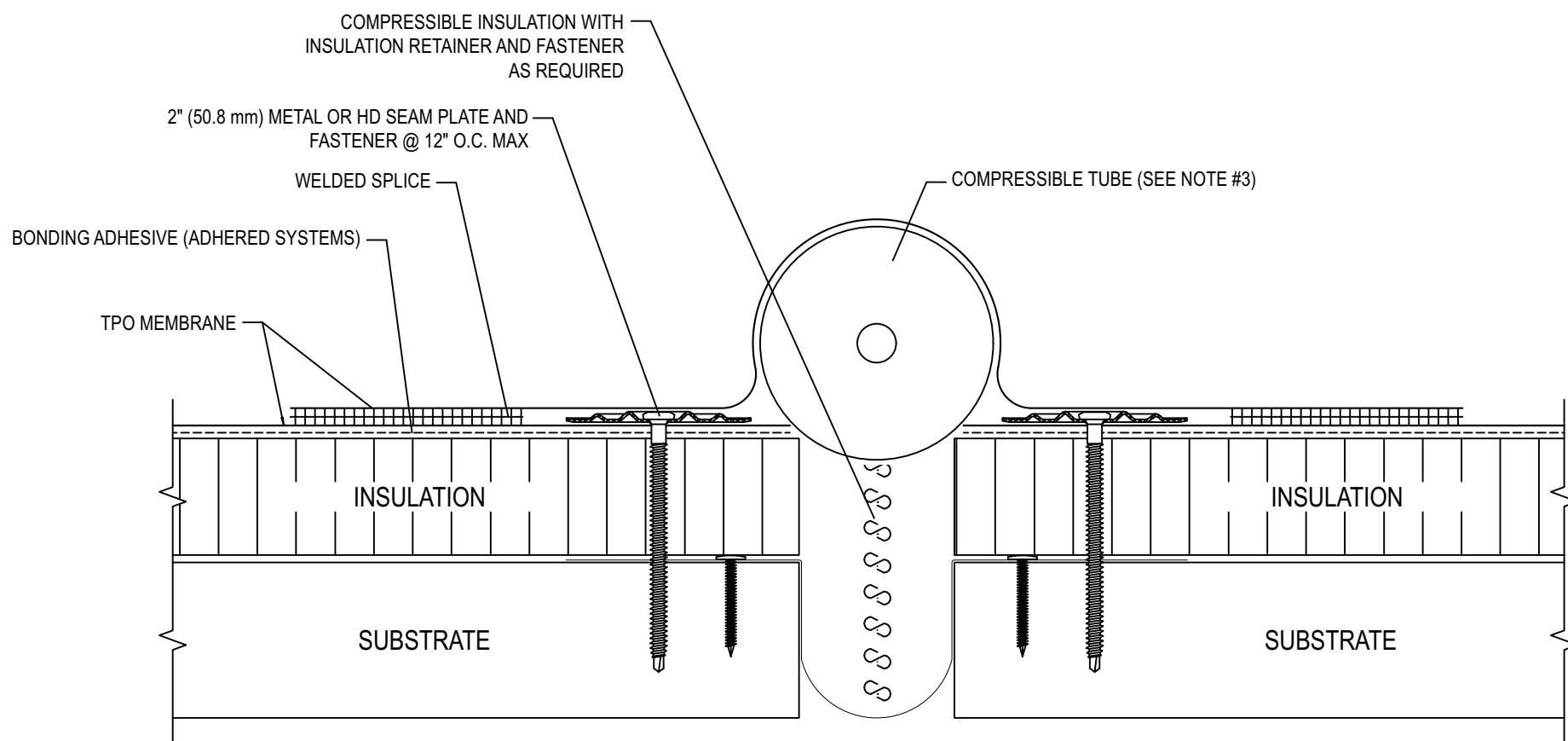
LAP SPLICE (T-JOINT COVER)
SCALE: N.T.S.



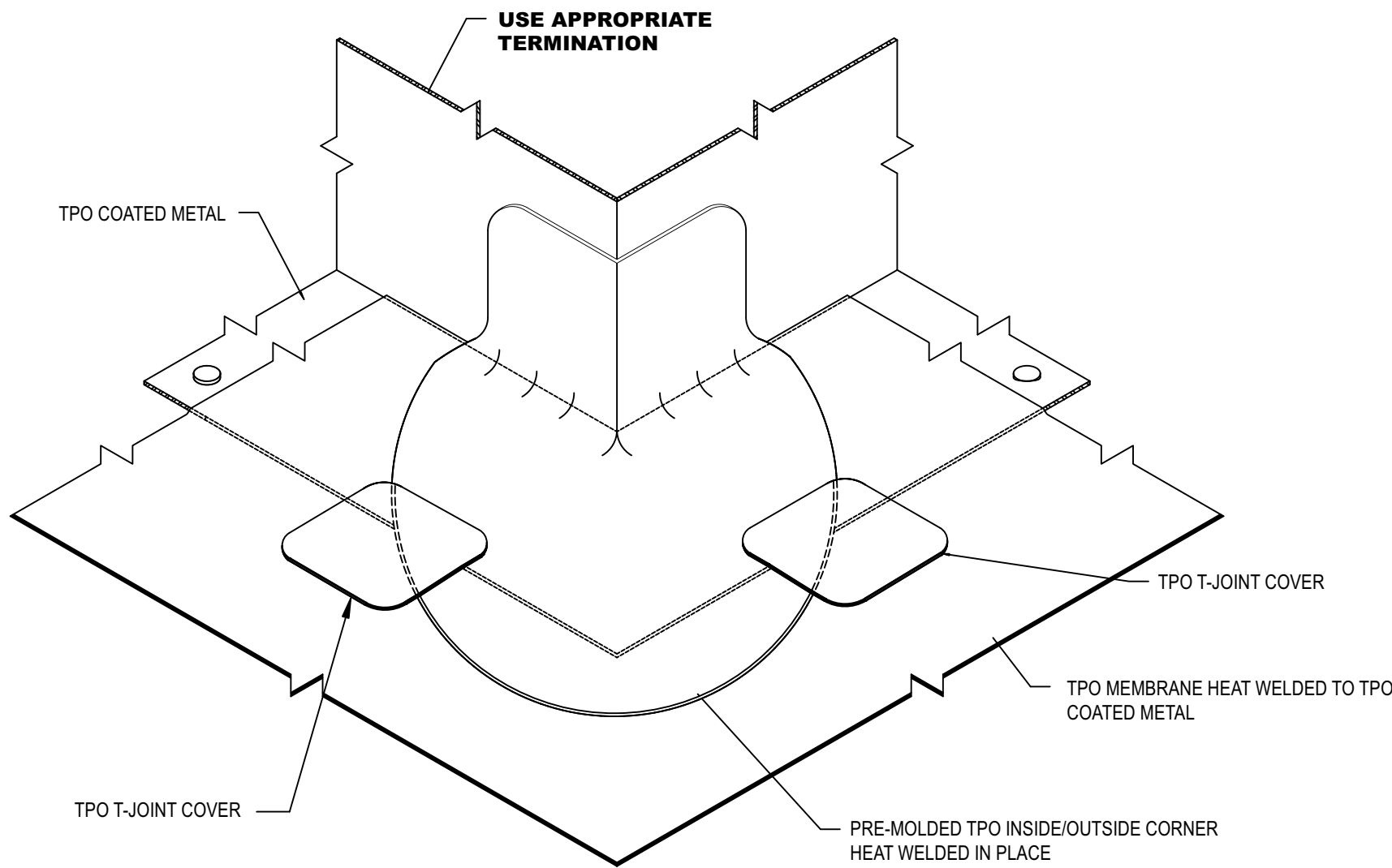
LAP SPLICE (T-JOINT COVER 2)
SCALE: N.T.S.



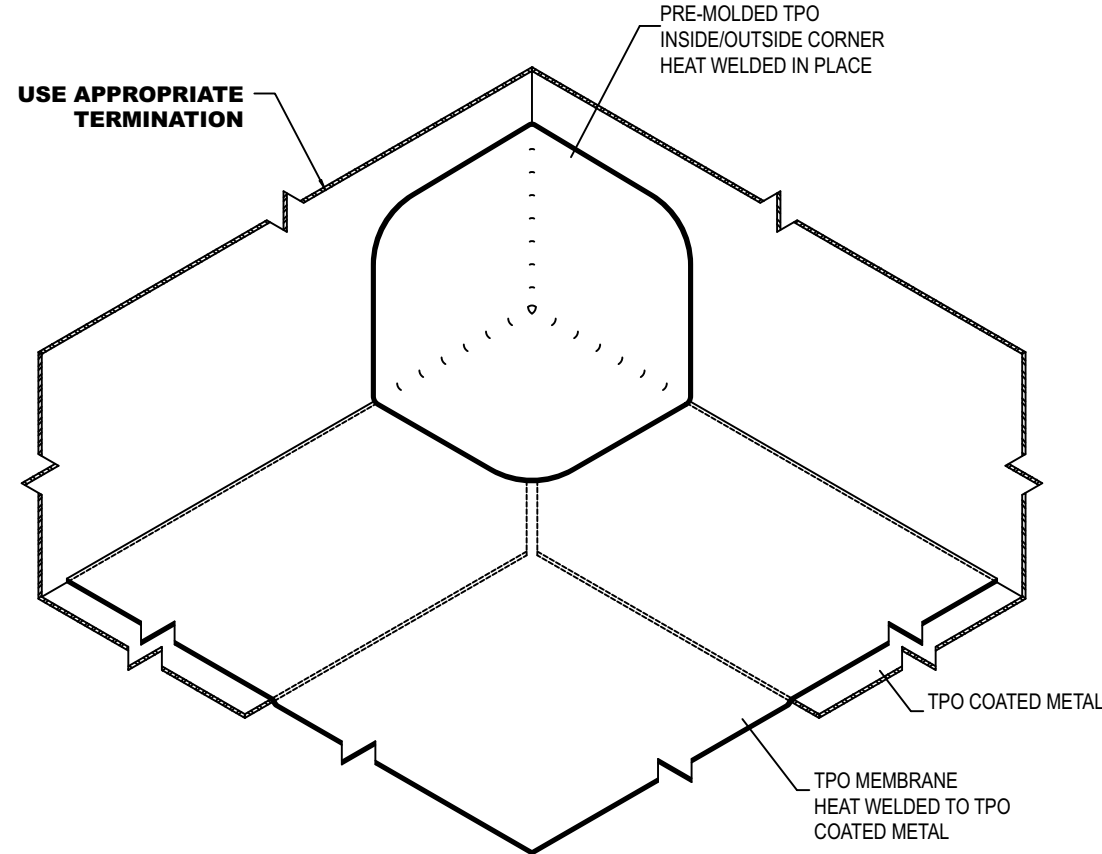
EXPANSION JOINT - ROOF TO WALL
SCALE: N.T.S.



EXPANSION JOINT - ROOF TO ROOF
SCALE: N.T.S.



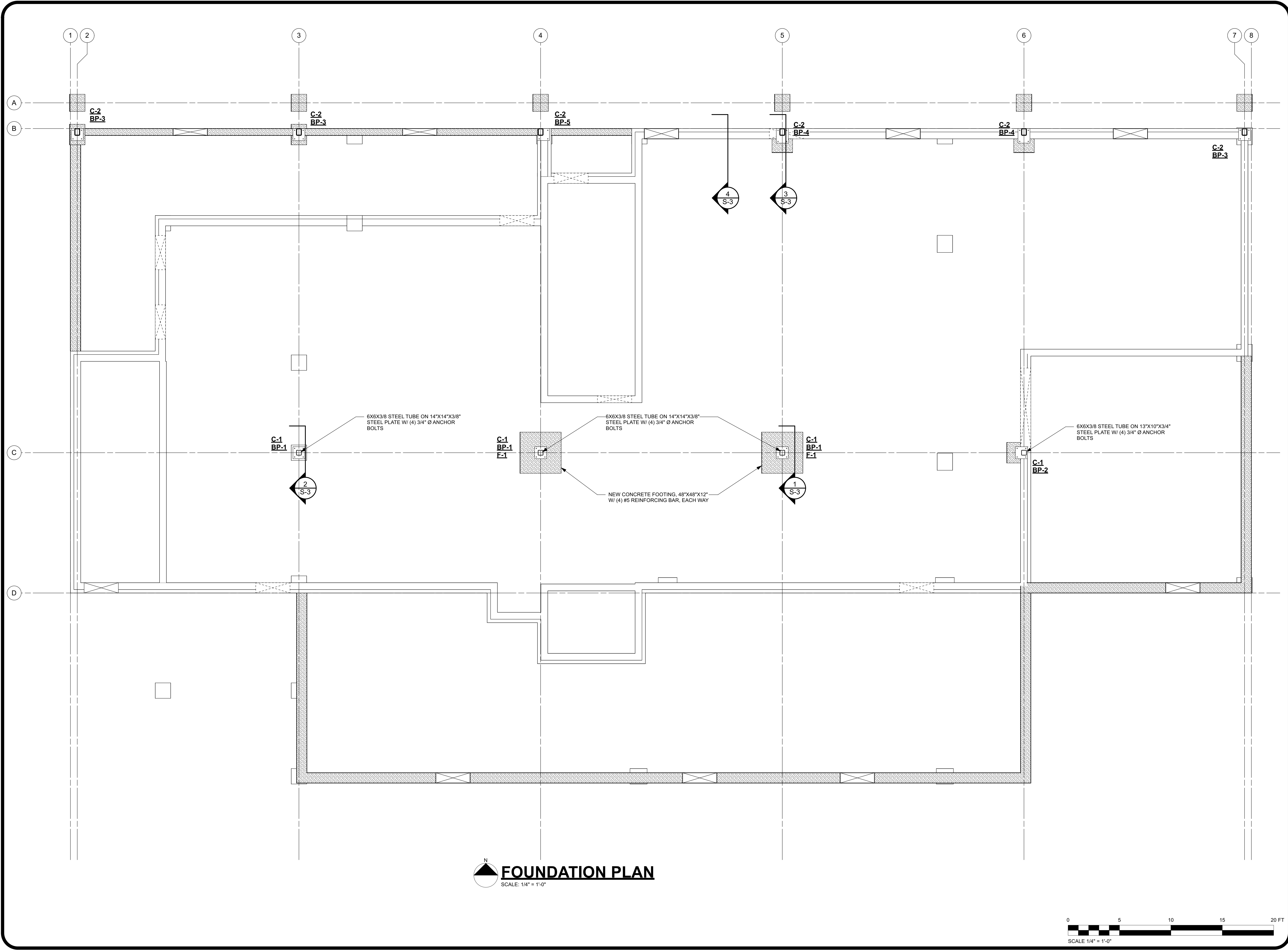
OUTSIDE CORNER DETAIL (COATED METAL)
SCALE: N.T.S.



INSIDE CORNER DETAIL (COATED METAL)
SCALE: N.T.S.

- NOTES:**
- 1) REFER TO MANUFACTURER SPECS FOR COMPLETE INSTALLATION DETAILS AND METHODS.
 - 2) REFER TO STRUCTURAL SHEETS FOR ROOF DRAIN FRAME DETAILS

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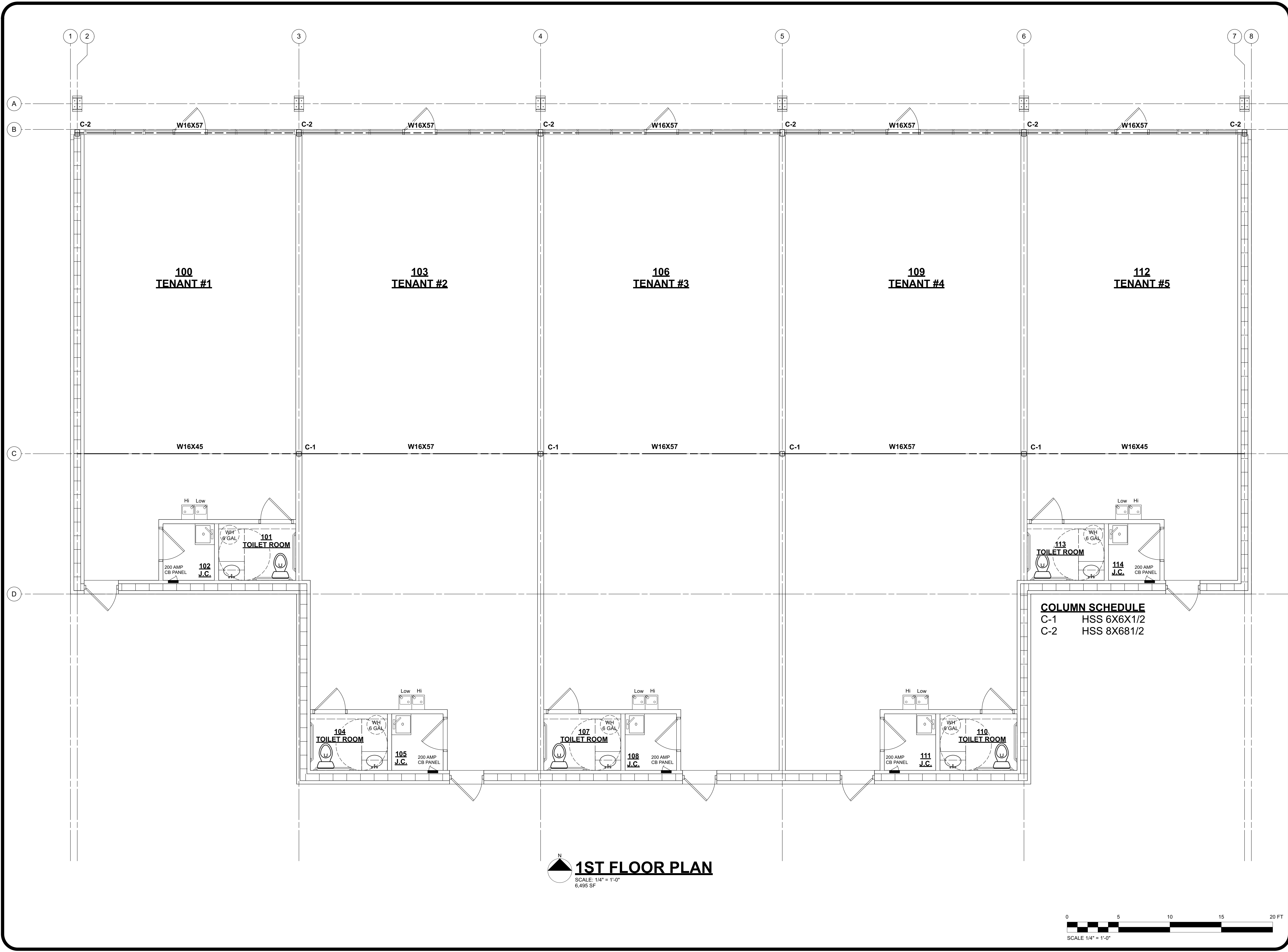
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NEW 1 STORY IIE TENANT BUILDING	
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SCALE: AS NOTED	
JOB NO. 25015	
SHEET S-1	
26 OF 31	SHEETS



REVISIONS	BY
Design Review	04/24/25
Design Review	05/06/25



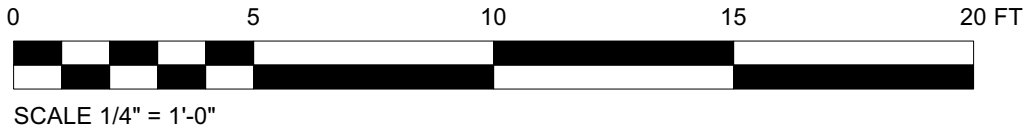
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COLUMN SCHEDULE

C-1	HSS 6X6X1/2
C-2	HSS 8X681/2

1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"
6,495 SF



**NEW 1 STORY IIE
TENANT
BUILDING**

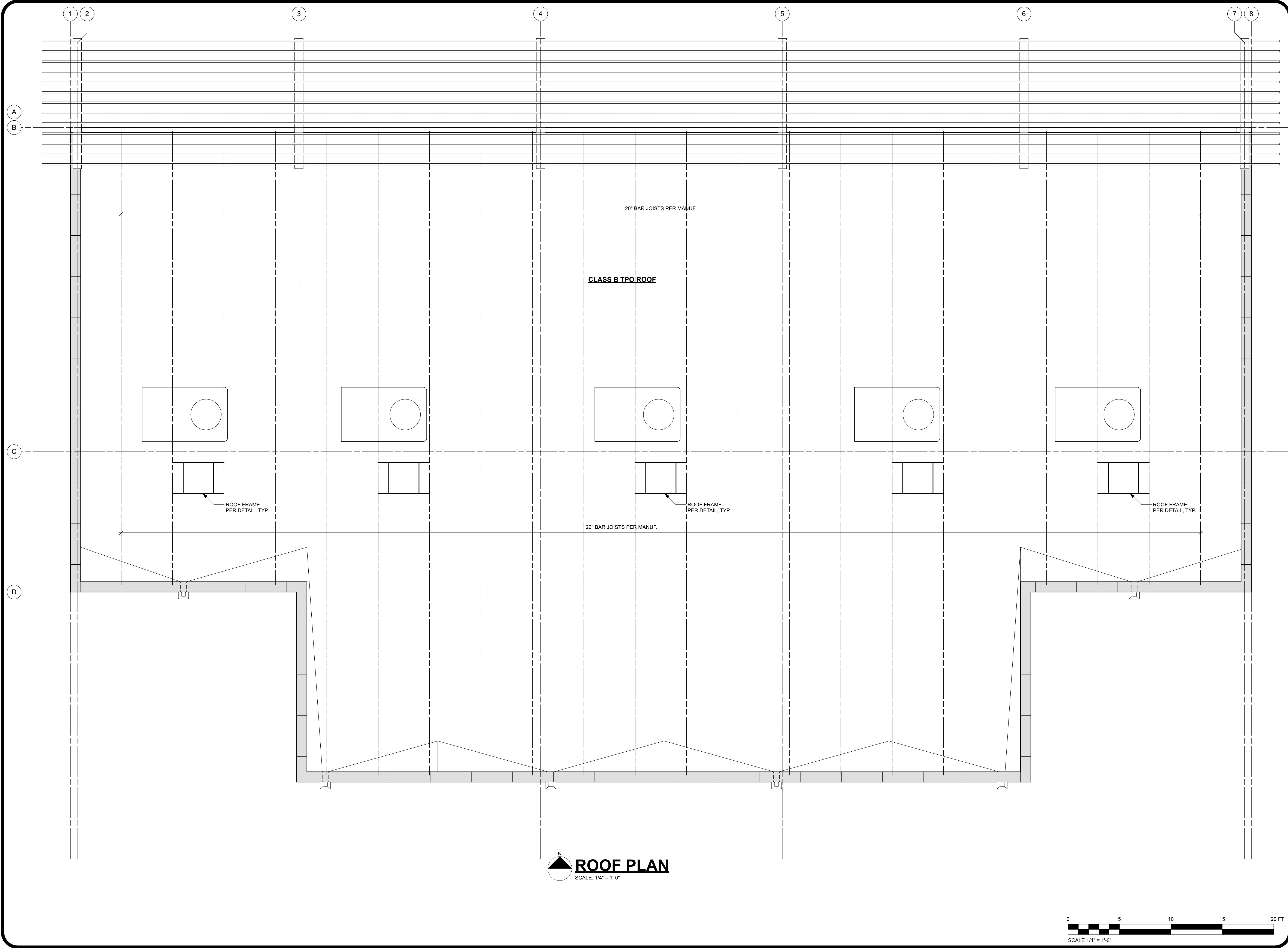
DATE:
04/20/2025

SCALE:
AS NOTED

JOB NO.
25015

SHEET
S-2

27 OF 31 SHEETS



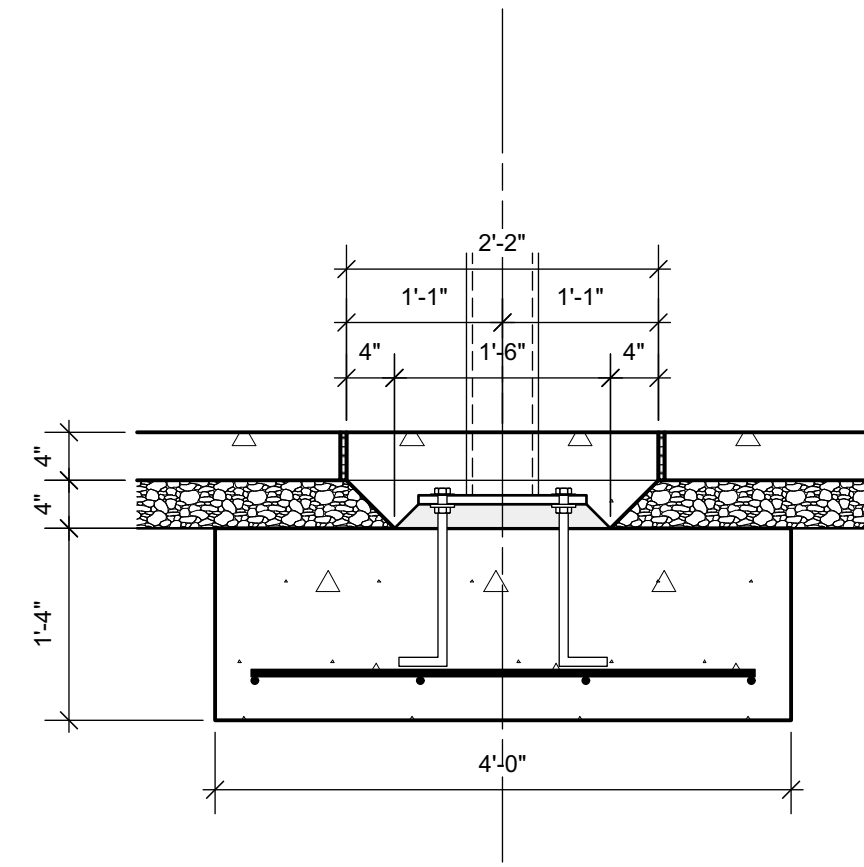
REVISIONS	BY
Design Review	04/24/25
Design Review	05/06/25



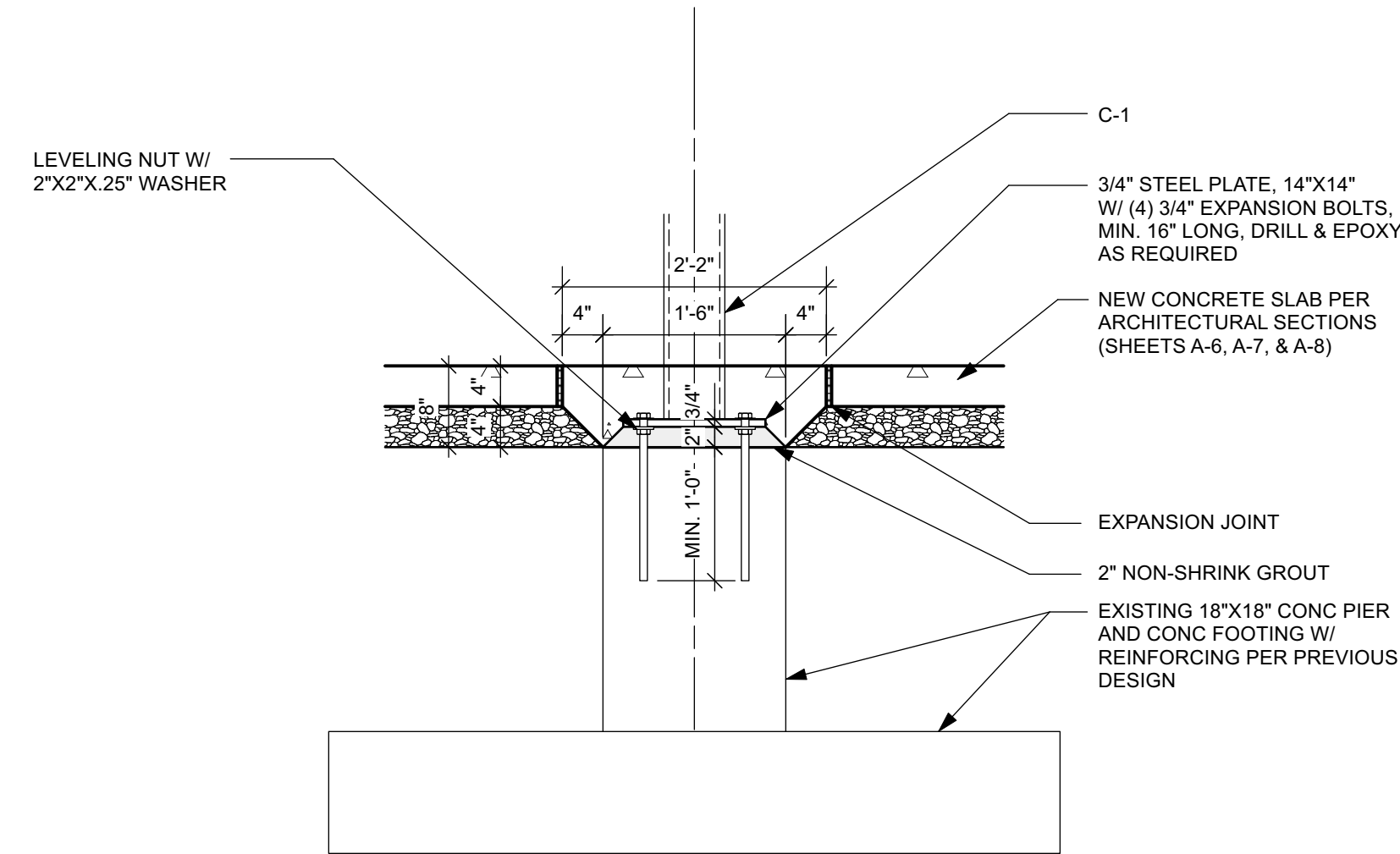
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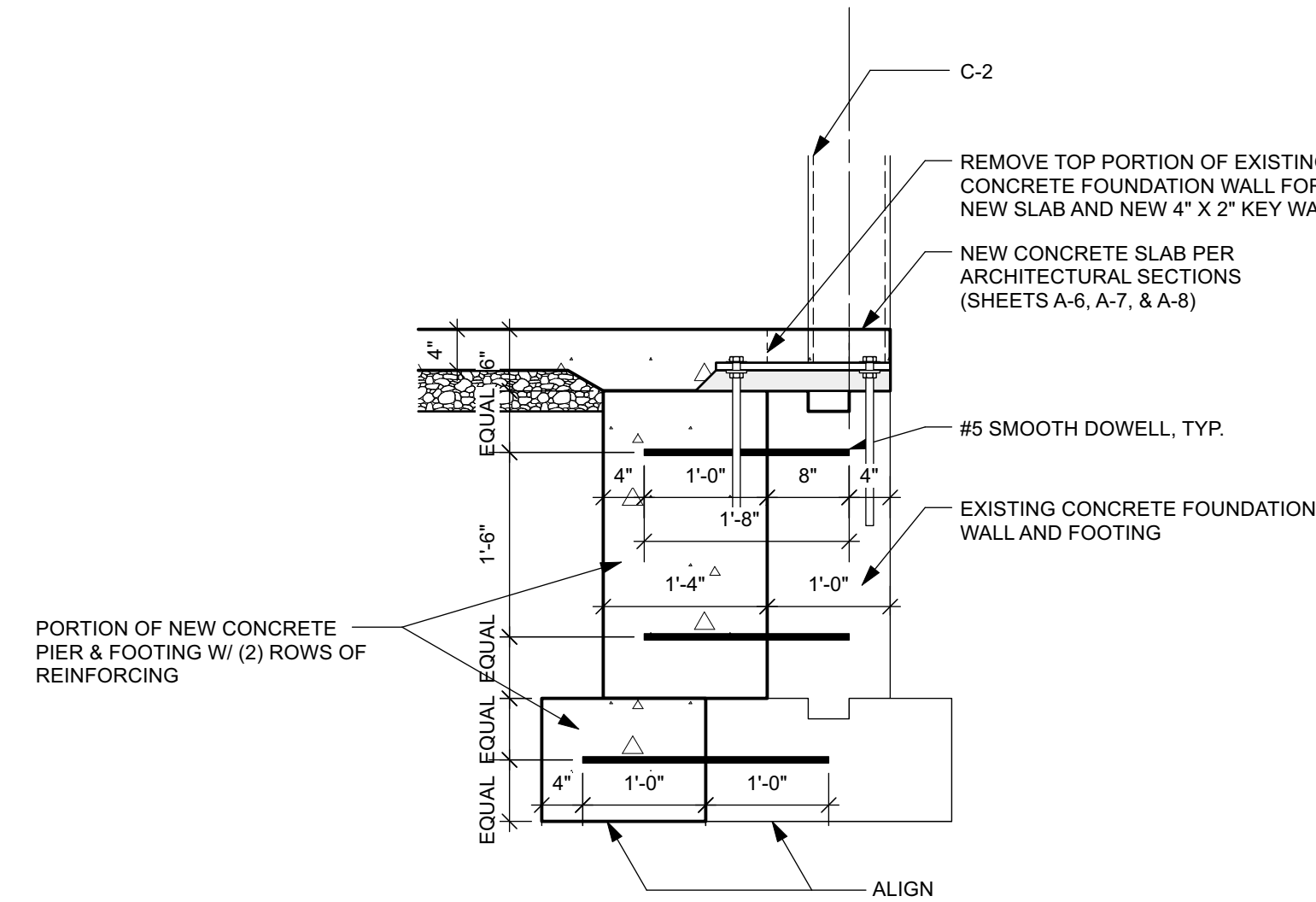
NEW 1 STORY IIE TENANT BUILDING
DATE: 04/20/2025
SCALE: AS NOTED
JOB NO. 25015
SHEET S-3
28 OF 31 SHEETS



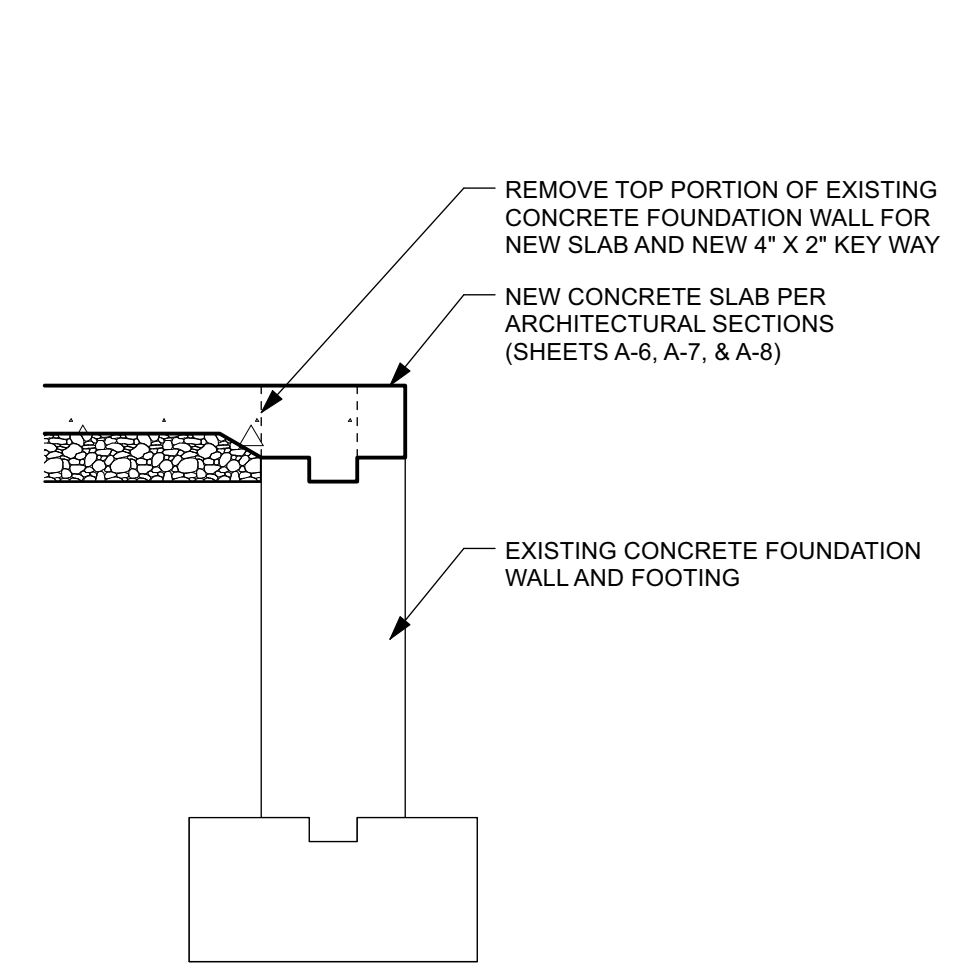
1 NEW FOOTING DETAIL
SCALE: 3/4" = 1'-0"



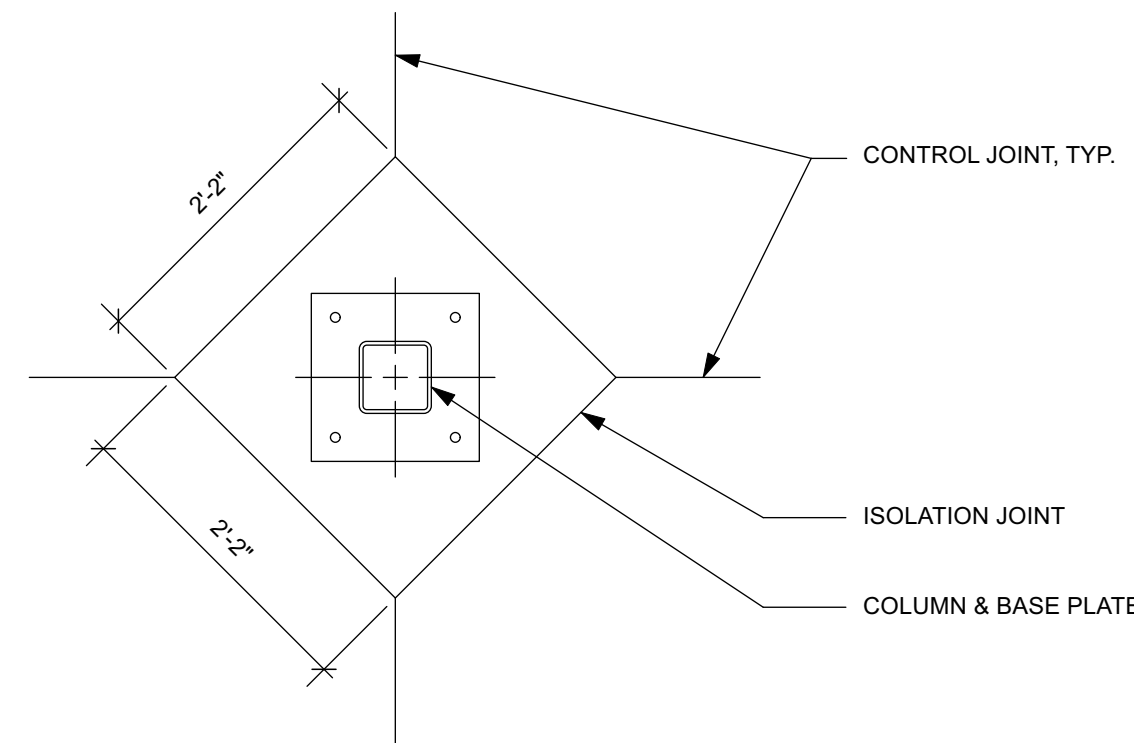
2 EXISTING PIER DETAIL
SCALE: 3/4" = 1'-0"



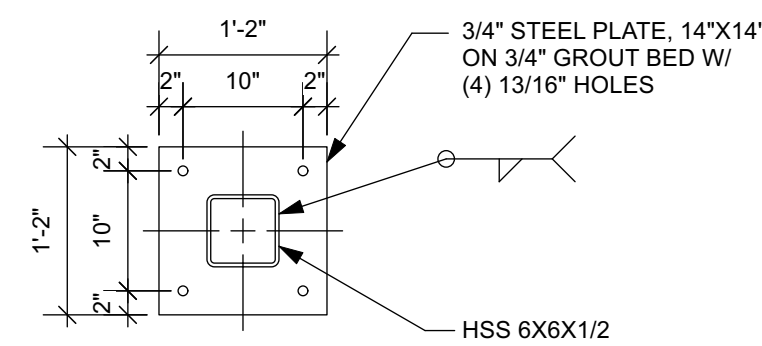
3 PARTIAL NEW PIER DETAIL
SCALE: 3/4" = 1'-0"



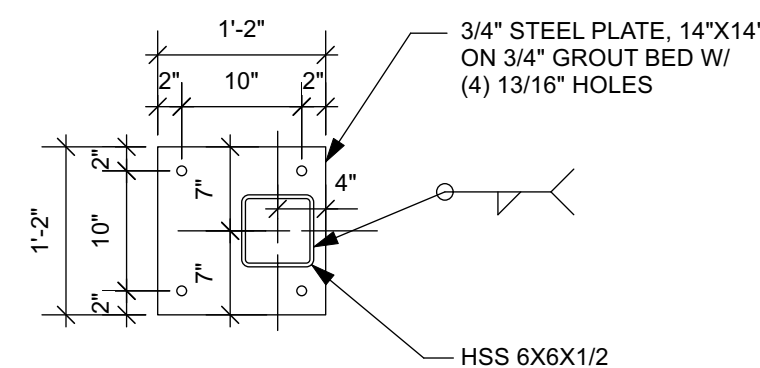
4 EXISTING FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



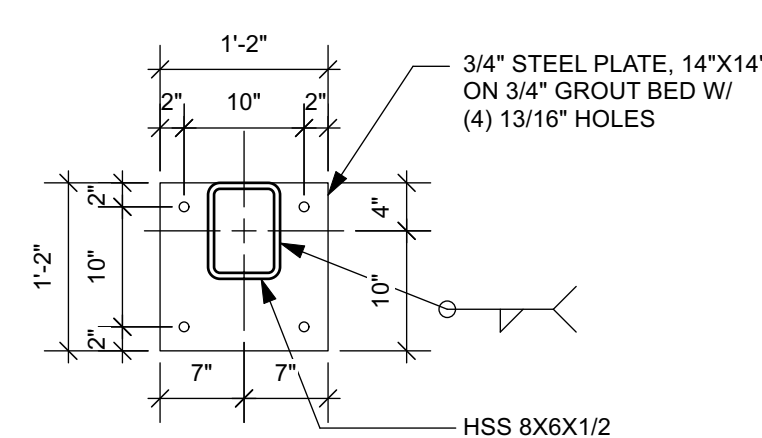
TYPICAL COLUMN ISOLATION JOINT
SCALE: 3/4" = 1'-0"



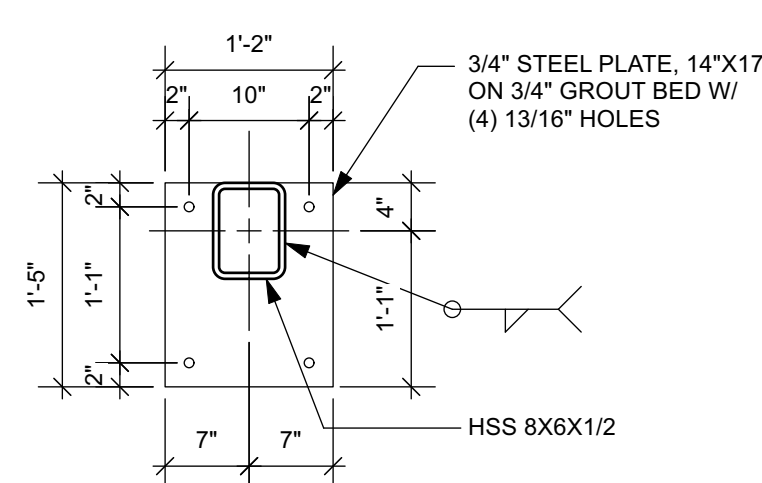
C-1 / BP-1
SCALE: 3/4" = 1'-0"



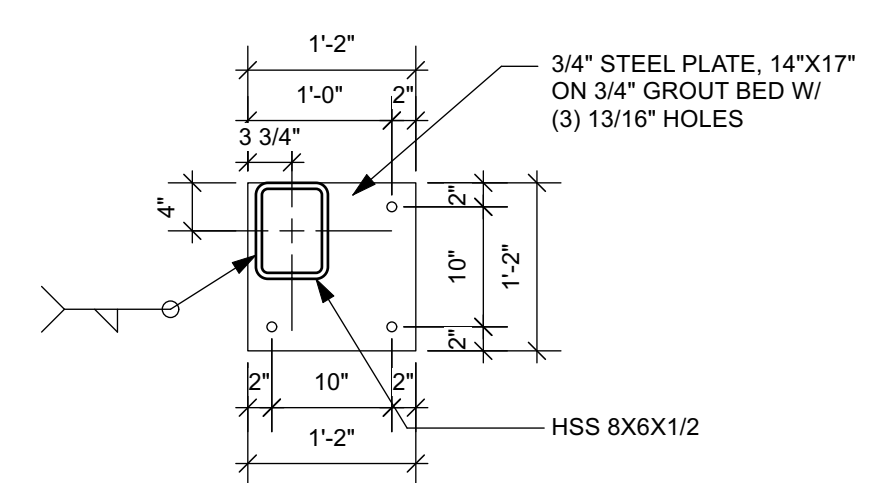
C-1 / BP-2
SCALE: 3/4" = 1'-0"



C-2 / BP-3
SCALE: 3/4" = 1'-0"

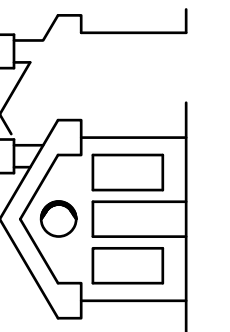


C-2 / BP-4
SCALE: 3/4" = 1'-0"



C-2 / BP-5
SCALE: 3/4" = 1'-0"

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SHEET S-4
29 OF 31 SHEETS

Building Rendering 5/21/25 J. Lieser



Building Rendering 5/21/25 J. Lieser

