



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Rachel Christenson, AICP, On-call Planner for the Town of Munster

Meeting Date: July 11, 2023

Agenda Item: PC Docket No. 23-012

Application: **Zoning Amendment – Planned Unit Development Amendment**

Hearing: **PUBLIC HEARING**

Summary: Dave Otte/Community Foundation of NWI, Inc. is requesting approval of an amendment to Ordinance 1206: The CFNI Business Planned Unit Development to accommodate an addition to the existing Diagnostic Center Building in Block 2.

Applicant: Dave Otte / Community Foundation of NWI, Inc.

Property Address: 10010-10020 Donald S. Powers Drive

Current Zoning: Planned Unit Development

Adjacent Zoning: North: CZ
South: General Urban – B District
East: General Urban – B District
West: PUD

Action Requested: Public Hearing

Additional Actions Requested: **Findings of Fact**
Town Council Approval

Staff Recommendation: Approval of the petition as presented

Attachments:

1. PUD Amendment Application
2. Munster MRI Building Addition prepared by Torrenga Engineering dated 06.02.2023
3. Floor Plan prepared by Shive Hattery dated 06.02.2023
4. Finish Plan Schedule prepared by Shive Hattery dated 06.02.2023
5. Building Elevations prepared by Shive Hattery dated 06.02.2023
6. Ordinance 1206 and subsequent site approvals

BACKGROUND

Figure 1: CFNI Business Planned Unit Development outlined in red. Block 2 is highlighted in blue.

Dave Otte/Community Foundation of NWI, Inc. has applied for an amendment to the CFNI Business Planned Unit Development to accommodate an addition to the existing diagnostic center in Block 2 of the development.

The PUD is currently governed by Ordinance 1206 which established the CFNI Business Planned Unit Development at 10010 – 10020 Donald S. Powers Drive, an approximately 4.9-acre parcel located at

1005 Ridge Road • Munster, IN 46321 • (219) 836-8810 • Police/Fire Emergencies 911

Police Non-Emergency (219) 836-6600 • Fire Non-Emergency (219) 836-6960

www.munster.org

the northwest quadrant of the intersection of Donald S. Powers Drive and Harold P Hagburg Drive. The ordinance was adopted in January 2003 by the Munster Town Council, on the recommendation of the Plan Commission.

In 2022, a permit was pulled for an interior remodel that required the landscaping to be updated to the Town's new landscape standards.

The petitioner is proposing an addition to the east side of the diagnostic center building to accommodate an expansion to the MRS Suite and CT Scan Suite, for a total addition of approximately 2,000 square feet. This addition would reduce the number of parking spaces in the adjacent parking lot (Lot 2) by 11 spaces.

SITE PLAN MODIFICATIONS

Here is a summary chart of the proposed changes by the petitioner:

Lot Number	Proposed
1	• No changes proposed.
2	<ul style="list-style-type: none"> • 2,000 SF expansion to east side of structure + fenced-in chiller area • Removal of 11 parking spaces

The proposed modifications to Lot 2 are occurring on a relatively small area of the site that has been previously developed. The proposed changes do not require modifications to the site's landscape plan, lighting plan, or drainage plan.

ANALYSIS

The proposed PUD amendment is seeking to supersede the previously adopted PUD Ordinance and Development Plan for the CFNI Business Plan Unit Development. Although it was challenging to find the approved Development Plan from 2003, Staff used the approved landscape plan from 2022 as a guide in this analysis as well as the Munster Character-Based Code.

The use of the site with the addition will remain medical, which was the approved use in 2003. The landscaping on Lots 1 and 2 were updated to meet the Town's Zoning Code in 2022 when a permit was requested for an interior remodel. In terms of lot coverage, the addition is proposed for the east side of the structure where there are existing asphalt parking spots and concrete sidewalks – meaning the lot coverage will stay the same.

There will be a reduction in parking by 11 spaces. One of the original drawings of the site show that 127 parking spaces were being planned for a 32,258 SF medical-use structure in 2002. It is unclear if this document had been approved by the Town Council or not. The approved Site/Landscape Plan from 2022 indicates the two lots had 148 parking spaces.

Document	# Parking Spaces	SF of Structure
2002 Site Plan	127	32,258 (estimated)
2022 Landscape Plan	148	32,258 (estimated)
2023 Proposed Site Plan	137	34,258 (estimated)

The Munster Character-Based Code requires 5.7 spaces per 1,000 SF of floor area for medical uses. Using this as a guide, the site would need to have 195 parking spaces.

Since the Preliminary Hearing, the petitioner has clarified that the sidewalk east of the addition will be 9' wide (there was a discrepancy on the last set of drawings). It has also been clarified that the chiller yard will be screened with white PVC decking boards that have a similar look to the enclosures provided on the west side of the building that screen the dumpster, generator, and building chillers.

Staff have asked the petitioner to address the location of the light pole that is directly east of an entryway to the structure. The petitioner has responded that their design team is working on it and is planning to eliminate the light pole and provide wall pack lights along the new addition.

STAFF RECOMMENDATION

Staff recommends approval of the petition as presented.

MOTION

The Plan Commission may wish to consider the following motion:

Motion to recommend approval of PC Docket No. 23-012 to amend Ordinance 1206: The CFN Business Planned Unit Development to accommodate an addition to the existing Diagnostic Center Building in Block 2.



Petition PC 23-012
Date: 6/5/23
Application Fee: \$ 805.00
Sign Fee: \$ _____

Town of Munster Plan Commission Petition Application

OWNER INFORMATION:

Community Foundation of Northwest Indiana Inc.
Name of Owner

(219)689-7310
Phone Number

10020 Donald S. Powers Drive, Munster, IN 46321
Street address, City, ST, ZIP Code

dotte@comhs.org
Email address

APPLICANT OR PETITIONER INFORMATION (if different than above):

Dave Otte / Community Foundation of NWI, Inc.
Name of Applicant/Petitioner

(219)689-7310
Phone Number

905 Ridge Road, Munster, IN 46321
Street address, City, ST, ZIP Code

dotte@comhs.org
Email address

PROPERTY INFORMATION:

Community Foundation, Inc, Add. Blk 2 P.U.D. as described in Ordinance 1206
Business or Development Name (if applicable)

10010-10020 Donald S. Powers Dr. Munster IN 46321
Address of Property or Legal Description

P.U.D.
Current Zoning

APPLICATION INFORMATION:

Please select what this Application is for:

- ☐ **Subdivision** If yes, select one of the following: ☐ **Preliminary Plat** ☐ **Final Plat**
☐ **Development Plan Review**
☒ **Rezoning (including Planned Unit Development) – Proposed Zoning District**

Amendment to the PUD

Brief Description of Project:

To amend the current PUD for Community Foundation Inc., Add. Blk 2 to accomodate
the addition proposed to the east side of existing Diagnostic Center Building
for an addition to the MRS Suite and CT Scan Suite, for a total addition of 2,000±
square feet.

Torrenge Engineering, Inc.
Name of Registered Engineer, Architect or Land Surveyor

(219)836-8918
Phone Number

907 Ridge Road, Munster, IN 46321
Street address, City, ST, ZIP Code

don.torrenge@torrenge.com
Email address



Petition PC 23 . 012

Town of Munster Plan Commission Application Signature Page

Don Torrenga

I hereby authorize Torrenga Engineering to act on my behalf as my agent in this petition and to furnish, upon request, supplemental information in support of this petition application.

David J Ott

Signature of Owner

June 5, 2023

Date

David J Ott

Signature of Applicant

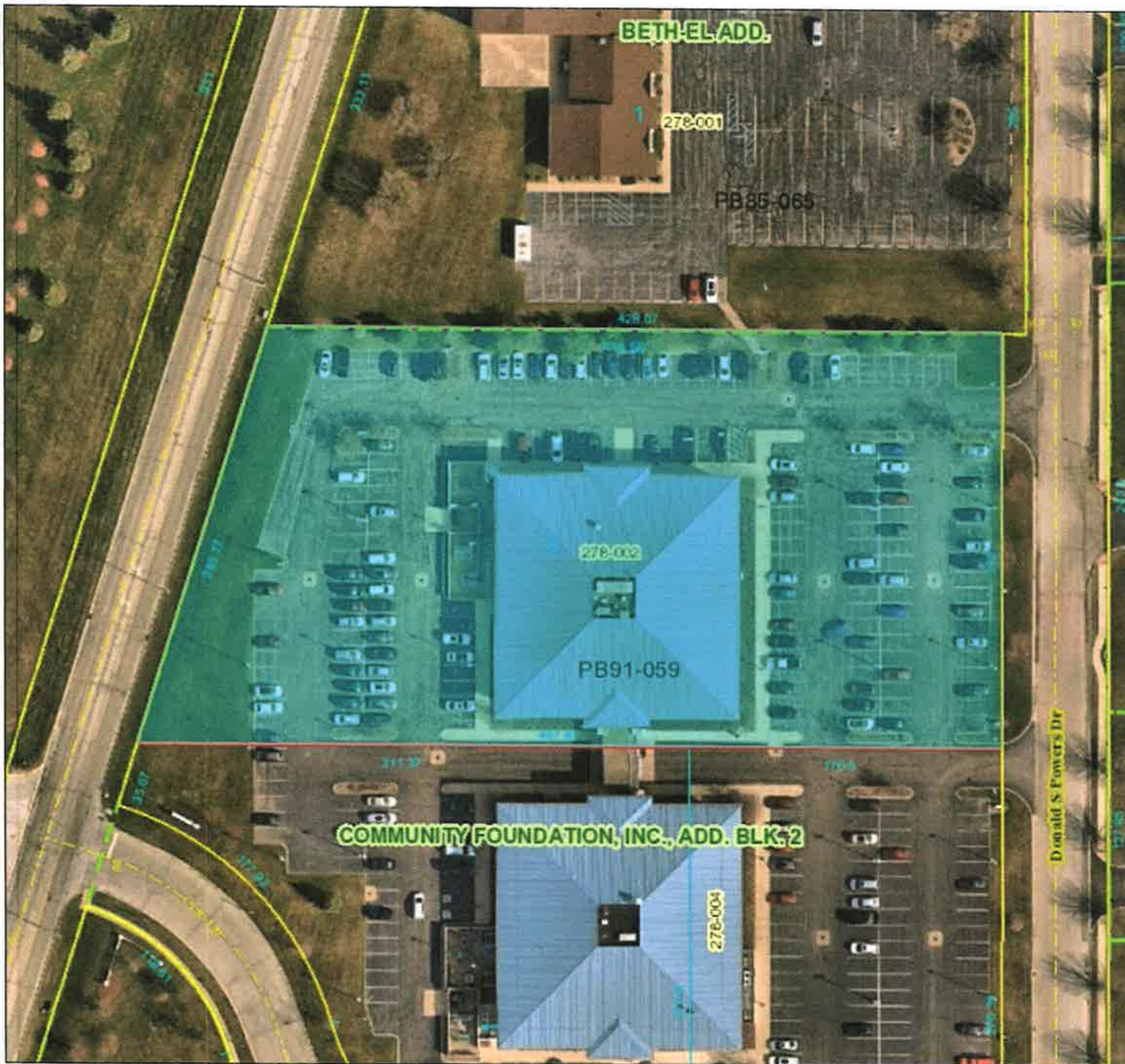
June 5, 2023

Date



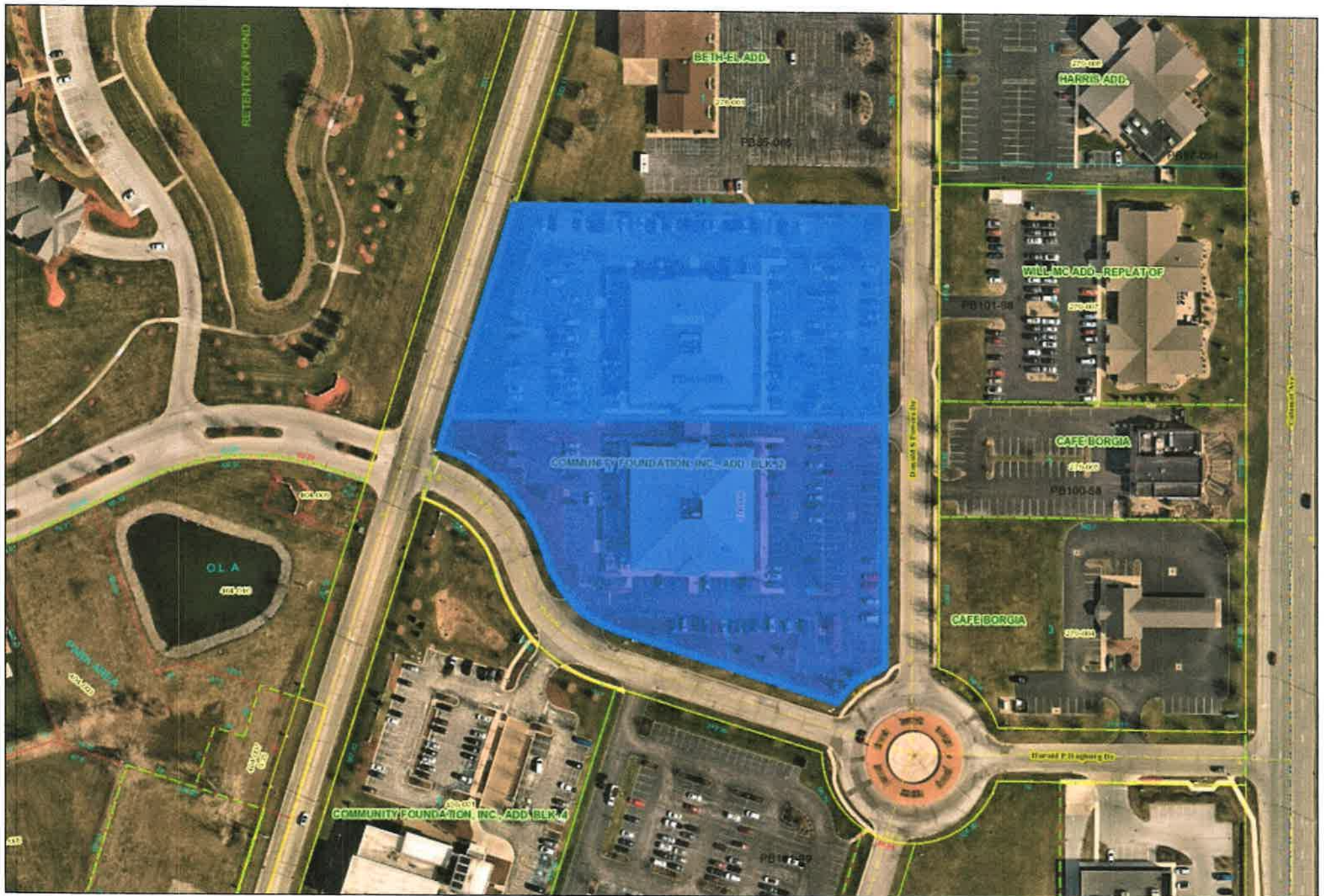
Parcel Number: 45-06-36-278-004.000-027
 Owner1: Community Foundation of Northwest Indiana Inc
 Mailing Address: 10010 Donald Powers Dr Ste 201 Munster IN 46321
 Site Address: 631 HAROLD P HAGBURG DR MUNSTER IN 46321
 Tax Code: 027
 Tax Description: Munster
 Legal Description: Community Foundation Inc. Addition Block Two Lots 1 & 2
 Net Acreage: 0
 Sec Twp Rng: 36 36 10
 Property Class: Medical clinic or offices
 Zoning Code: 0
 Use Code: 0
 TIF: 027 Ridge Road/Calumet Avenue
 Deductions: Charitable

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Parcel Number: 45-06-36-278-002.000-027
 Owner1: Northwest Indiana Clinics LLC
 Mailing Address: 10010 Donald S Powers DR
 Munster IN 46321
 Site Address: 10010 DONALD S POWERS DR
 MUNSTER IN 46321
 Tax Code: 027
 Tax Description: Munster
 Legal Description: Community Foundation Inc.
 Addition Block Two Lot 3
 Net Acreage: 0
 Sec Twp Rng: 36 36 10
 Property Class: Medical clinic or offices
 Zoning Code: 0
 Use Code: 0
 TIF: 027 Ridge Road/Calumet Avenue

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Enter Map Title...

Web Print: 06/02/2023

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



0 188 376 Feet

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ORDINANCE NO. 1206

AN ORDINANCE RECLASSIFYING CERTAIN REAL ESTATE IN THE TOWN OF MUNSTER, INDIANA, AS PLANNED UNIT DEVELOPMENT FOR ZONING PURPOSES, AND AMENDING THE TOWN OF MUNSTER ZONING ORDINANCE (CFNI BUSINESS PLANNED UNIT DEVELOPMENT)

WHEREAS, the Town Council of the Town of Munster, Indiana (hereinafter the "Council"), did previously adopt an ordinance known as the Munster Municipal Code Chapter 29, and also known as the Town of Munster, Indiana Zoning Ordinance, in 1961 (hereinafter the "Zoning Ordinance");

WHEREAS, Community Foundation of Northwest Indiana, Inc. (hereinafter "Community"), filed a petition with the Plan Commission of the Town of Munster, Indiana (hereinafter the "Plan Commission") to re-zone certain real estate within the Town of Munster, Indiana, as a Planned Unit Development, which real estate is legally described on Exhibit A attached hereto and made a part hereof (hereinafter the "Real Estate");

WHEREAS, said petition was assigned Plan Commission Docket No. 2002-018, and considered initially at the regular meeting of November 12, 2002;

WHEREAS, following notice by publication and notice to interested parties as required by Indiana Code Section 36-7-4-604(b) and Indiana Code Section 5-3-1-2(b), and the rules and regulations of the Plan Commission, a public hearing was held by the Plan Commission on December 10, 2002;

WHEREAS, the Plan Commission, after public hearing, has recommended that the Zoning Ordinance be amended pursuant to Section 26-751 and has certified said recommendation to the Council pursuant to Indiana Code Section 36-7-4-605, as required by Indiana Code Section 36-7-4-608(b) so as to provide that the Real Estate be classified as a Planned Unit Development, and has made the following findings as required by Section 26-754 of the Zoning Ordinance; and:

- 1) The uses proposed will not be detrimental to present and potential surrounding uses but will have a beneficial affect which could not be achieved under any other district.
- 2) An amendment to the terms of this Chapter 26 of the Zoning Ordinance is warranted by the design and amenities incorporated in the development plan.
- 3) Land surrounding the proposed development either can be planned in coordination with the proposed development or will be compatible in use.
- 4) The proposed change to a Planned Unit Development district is in conformance with the general intent of the comprehensive master plan.

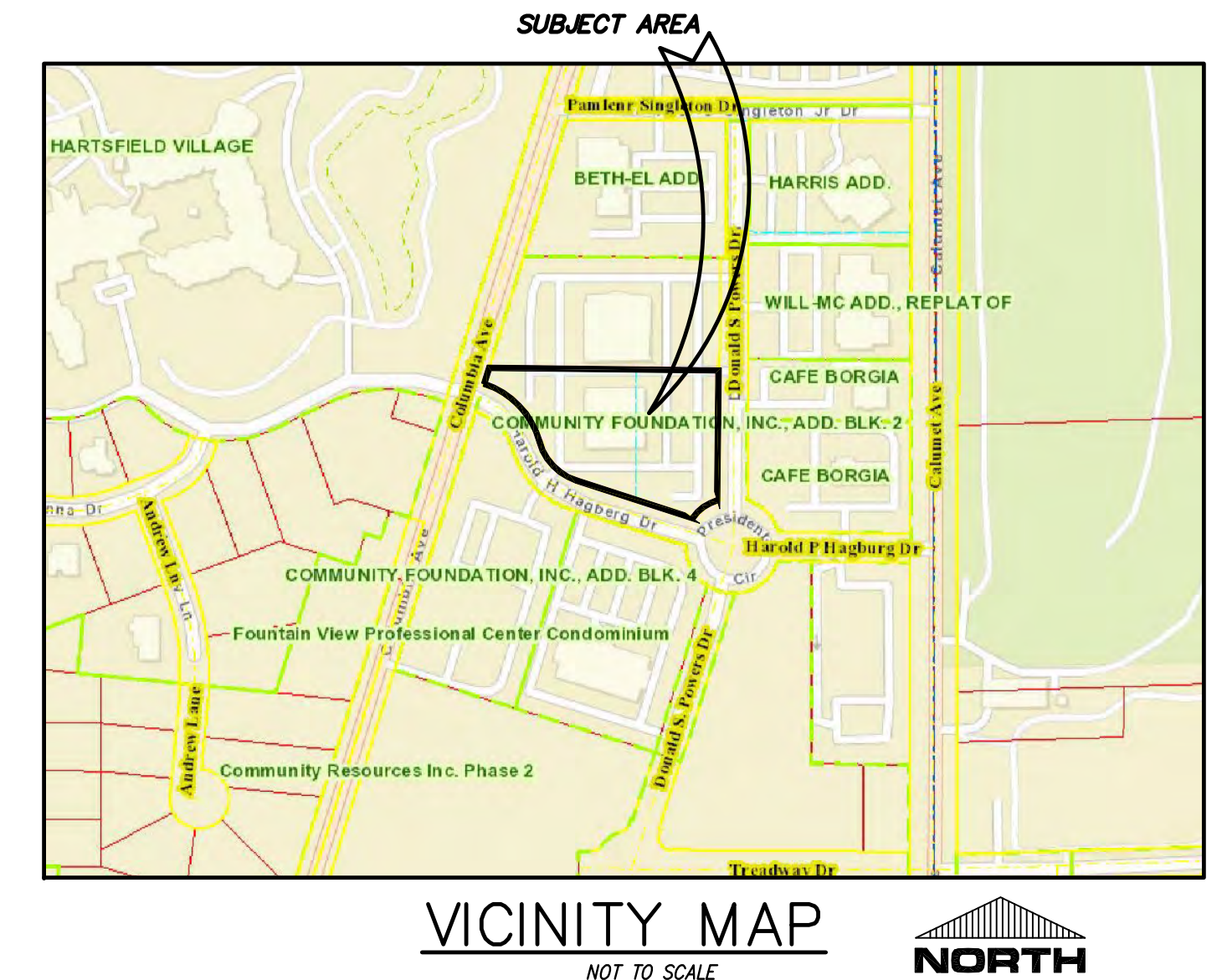
MUNSTER MRI BUILDING ADDITION

LOTS 1 & 2 IN COMMUNITY FOUNDATION INC. ADDITION, BLOCK 2

INDEX	
PAGE	DESCRIPTION
COVER	TITLE PAGE
C-1.0	EXISTING CONDITION
C-1.1	DEMOLITION PLAN
C-2.0	SITE PLAN
C-3.0	UTILITY & GRADING PLAN
C-4.0	DETAILS & SPECIFICATIONS

LEGAL DESCRIPTION:

LOTS 1 & 2 IN COMMUNITY FOUNDATION INC. ADDITION, BLOCK 2, TO THE TOWN OF MUNSTER, INDIANA, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 91, PAGE 59, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.



Know what's below.
Call before you dig.

"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
811 or 1-800-382-5544
CALL TOLL FREE

PER INDIANA STATE LAW IC8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

County: Lake

SE Qtr., Sec. 36, T. 36 N. R. 10 W.

Township: MUNSTER

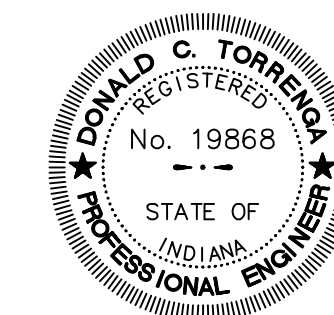
DATE AND REVISIONS:

1	06-02-2023	PRIMARY SUBMITTAL	DT/EM
NO.	DATE	DESCRIPTION	BY

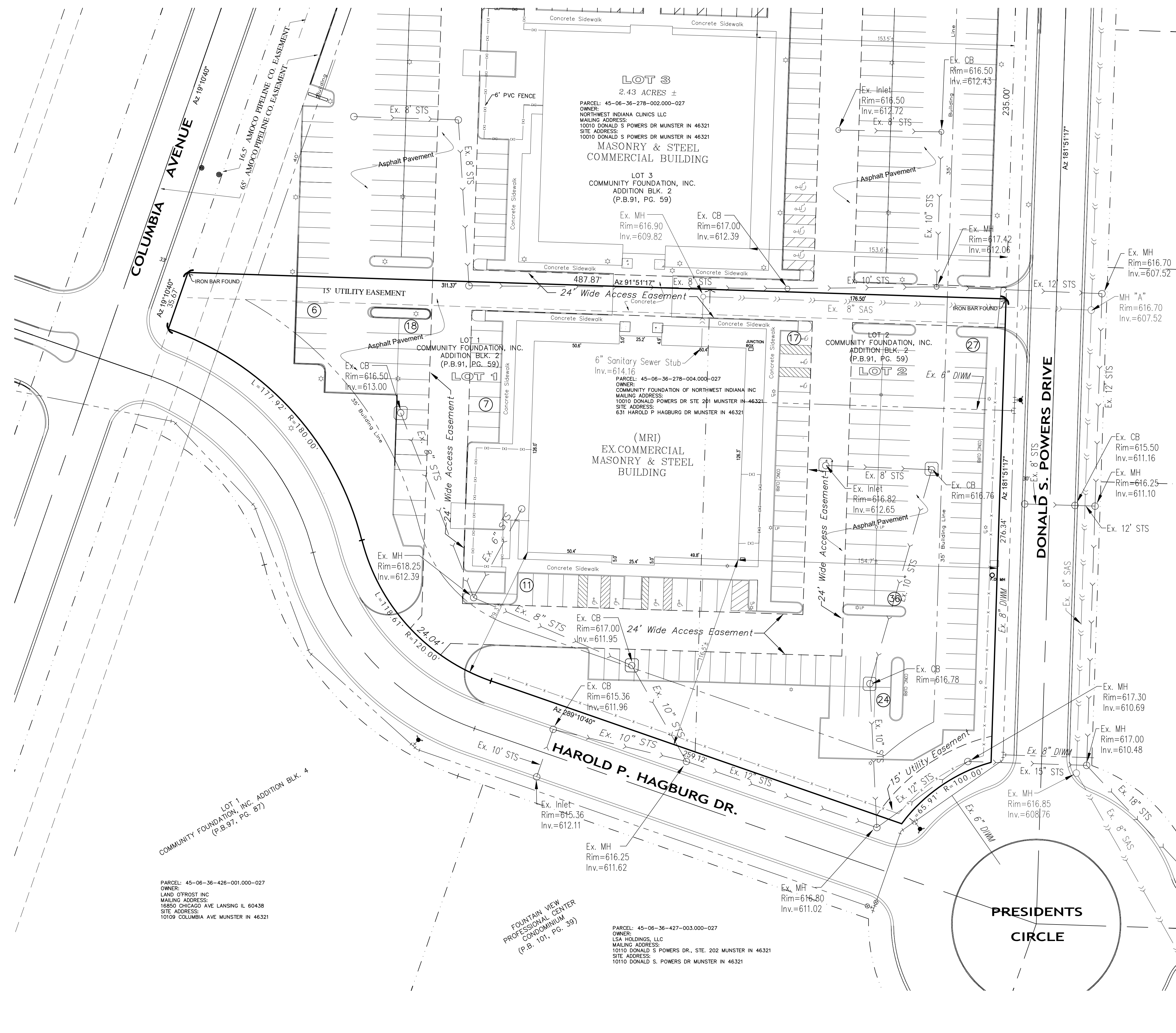
CLIENT/OWNER:
Shive-Hattery
57 Franklin Street
Valparaiso, IN 46383

PREPARED BY:
Torrenga Engineering, Inc.
907 Ridge Road
Munster, Indiana 46321
(219)836-8918

CERTIFIED BY: DONALD C. TORRENGA
P.E. # 19868



Donald C. Torrenga



LEGAL DESCRIPTION:

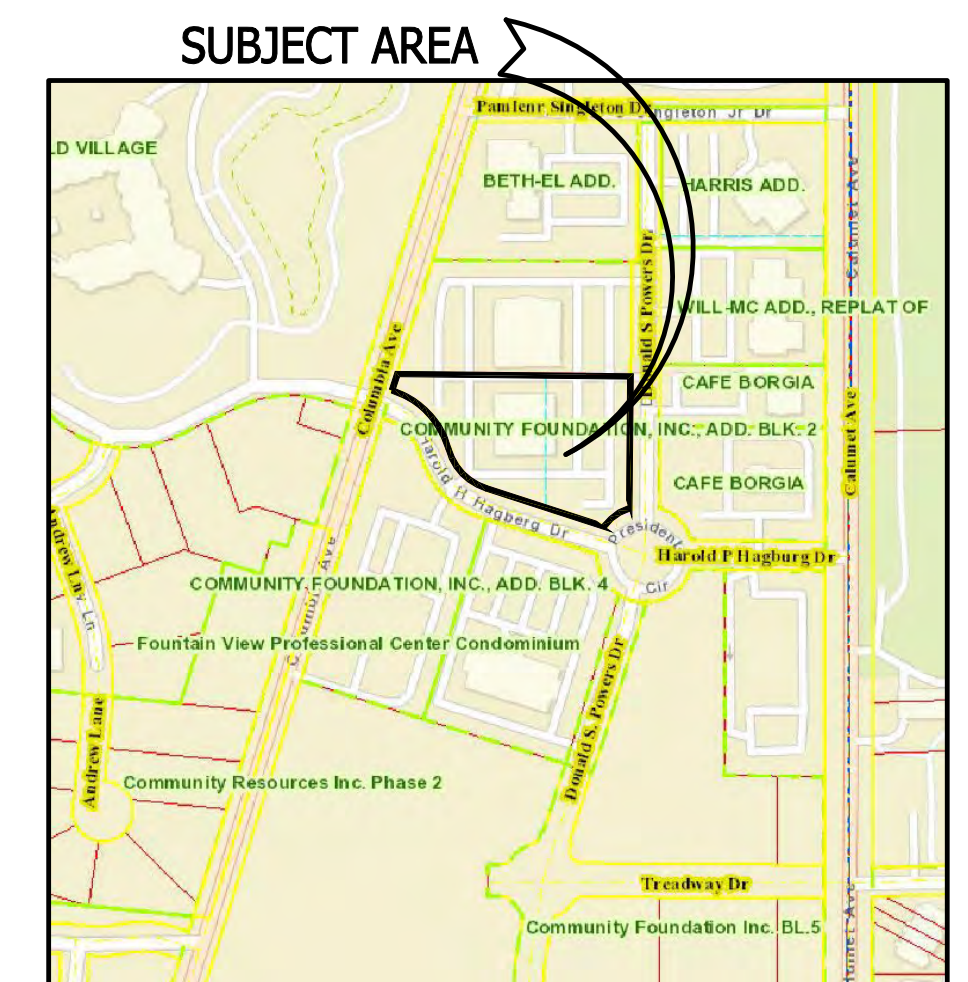
LOTS 1 & 2 IN COMMUNITY FOUNDATION INC. ADDITION, BLOCK 2, TO THE TOWN OF MUNSTER, INDIANA, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 91, PAGE 59, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

EXISTING PARKING:

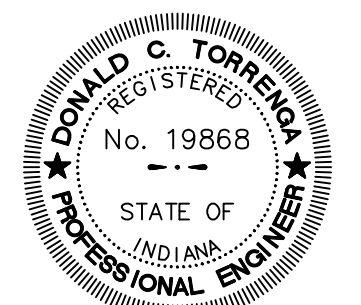
PARKING SPACES: 139 SPACES

HANDICAP SPACES: 7 SPACES

TOTAL SPACES: 146 SPACES



VICINITY MAP
NOT TO SCALE



Ronald C. Luenga



(IN FEET)
1 inch = 30 ft.

MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
EXISTING CONDITION

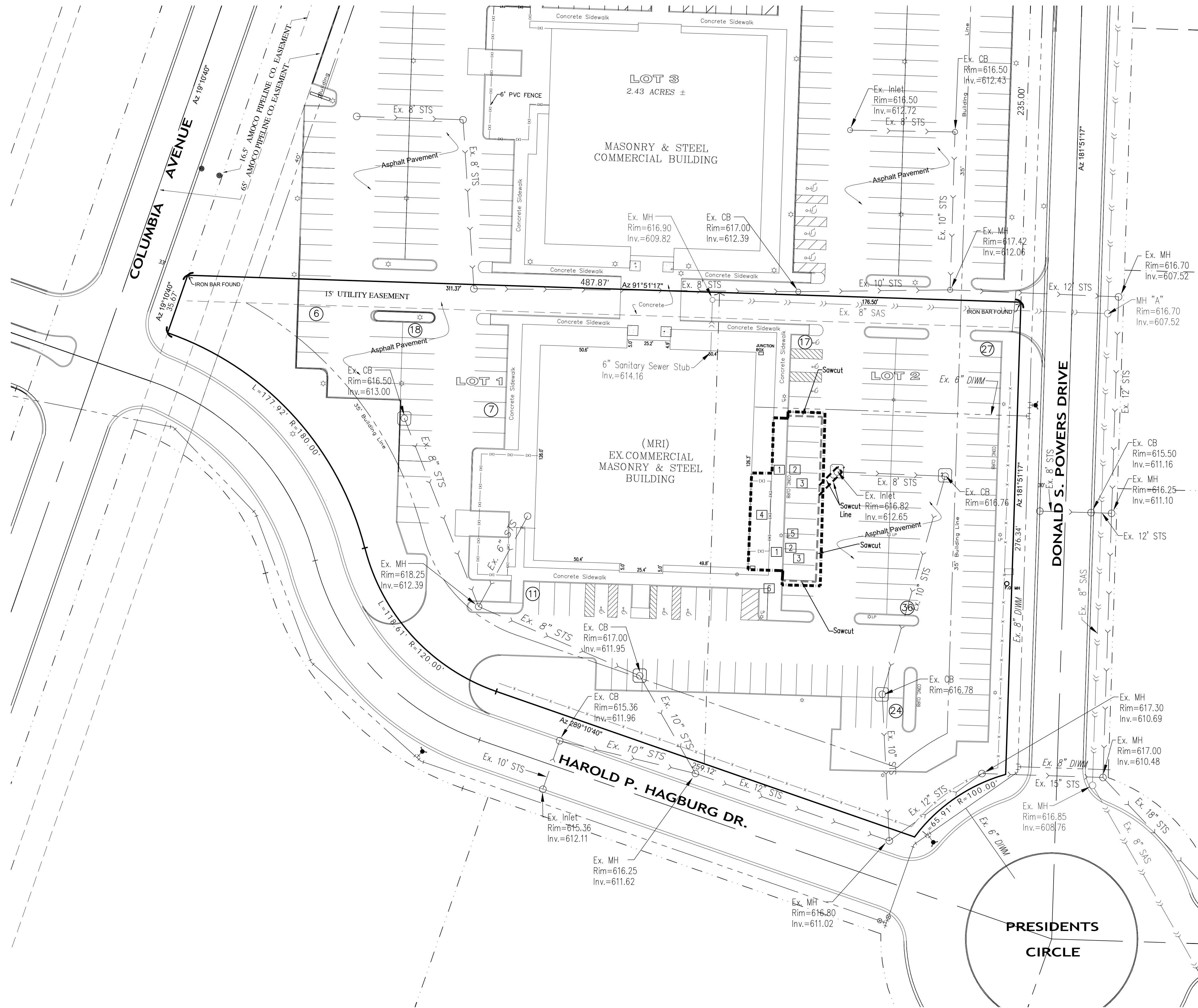
TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrenga.com

CLIENT:
Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383

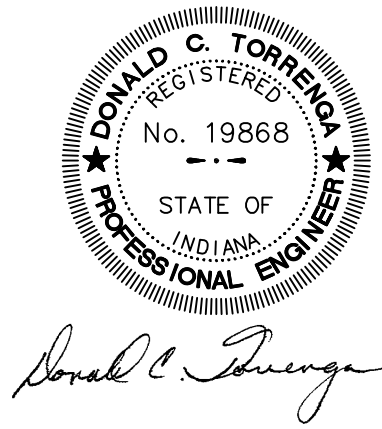
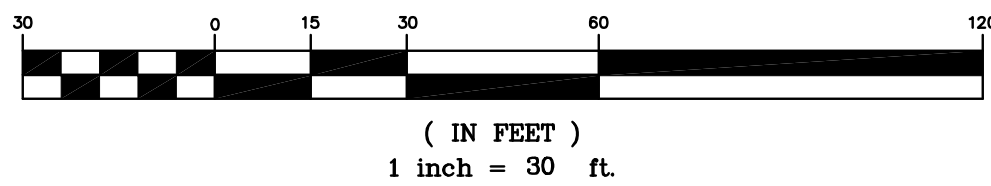
JOB NO: 2023-5019

SCALE: 1" = 30'

SHEET
C-1.0



- DEMOLITION NOTES**
- 1 REMOVE CONCRETE WALK
 - 2 REMOVE CURB
 - 3 REMOVE PAVEMENT
 - 4 REMOVE FENCE
 - 5 REMOVE AND RELOCATE LIGHT POLE
 - 6 RELOCATE JUNCTION BOX



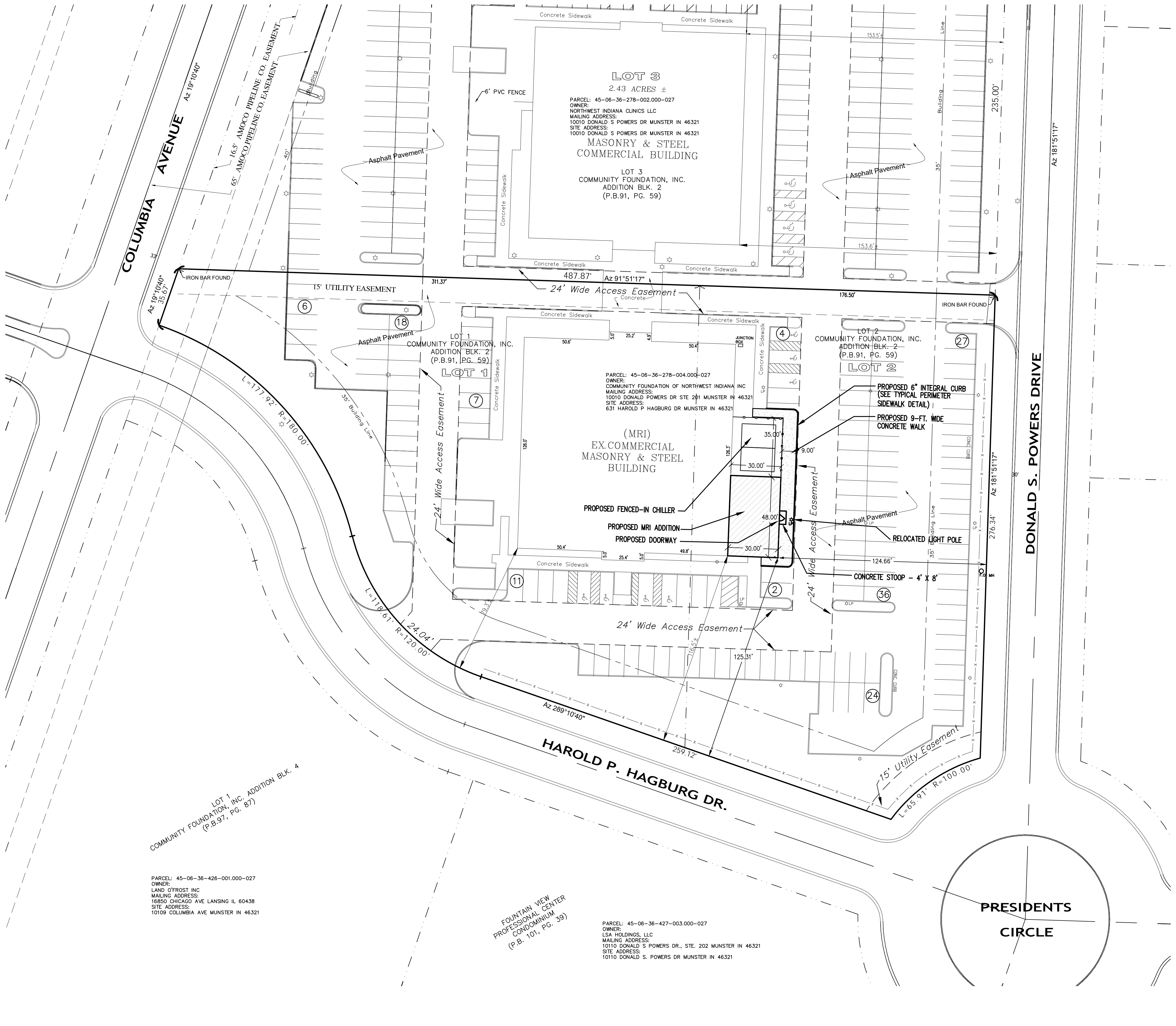
MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
DEMOLITION PLAN

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918 website: www.torrengea.com

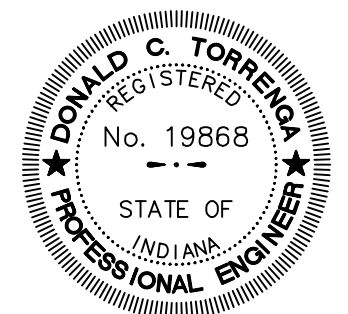
CLIENT:
Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383

JOB NO: 2023-5019
SCALE: 1" = 30'

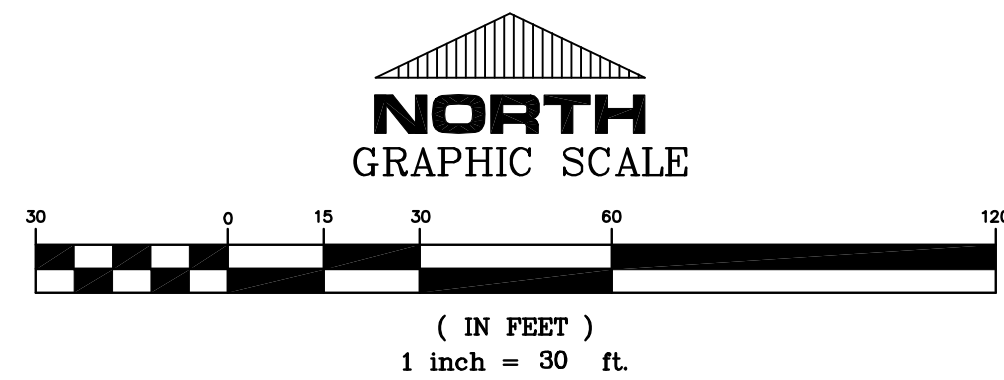
REVISIONS:
DATE: 06-02-2023



PROPOSED PARKING:	
PARKING SPACES:	128 SPACES
HANDICAP SPACES:	7 SPACES
<hr/>	
TOTAL SPACES:	135 SPACES



Dorak C. Tenege



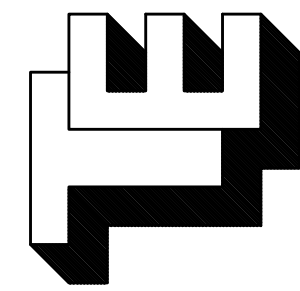
MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
SITE PLAN

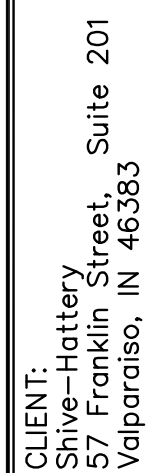
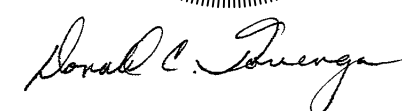
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Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383

JOB NO: 2023-5019

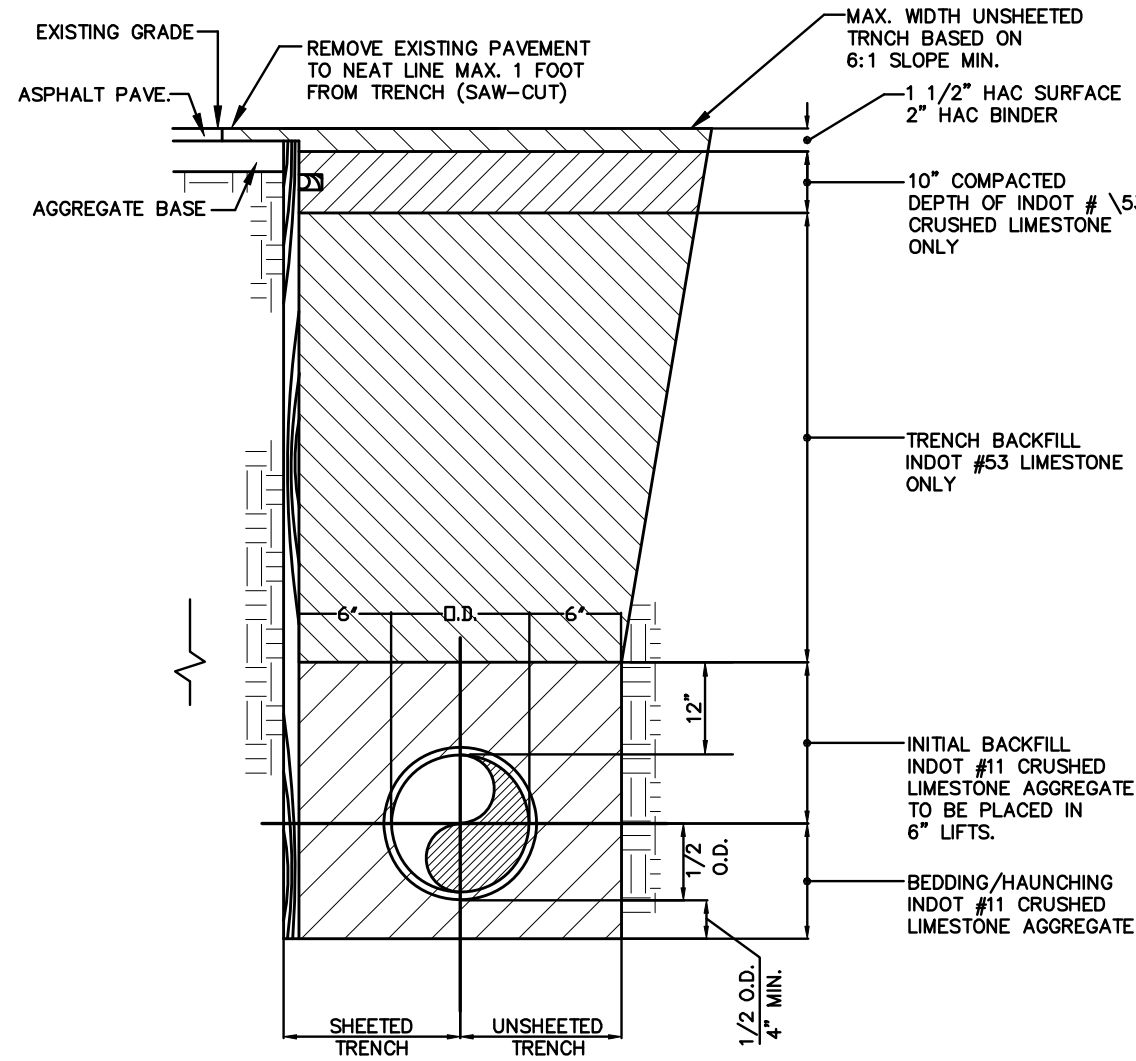
SCALE: 1" = 30'

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrengea.com

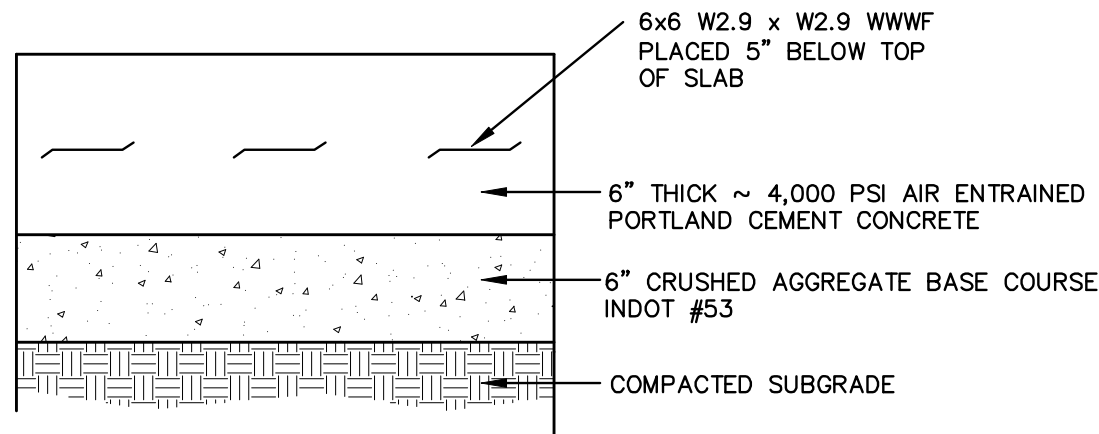




FILE NO:Z\2023-5019 MRI Munster\dwg\2023-5019 MRI Munster.dwg 5/25/2023 11:37:57 AM CDT



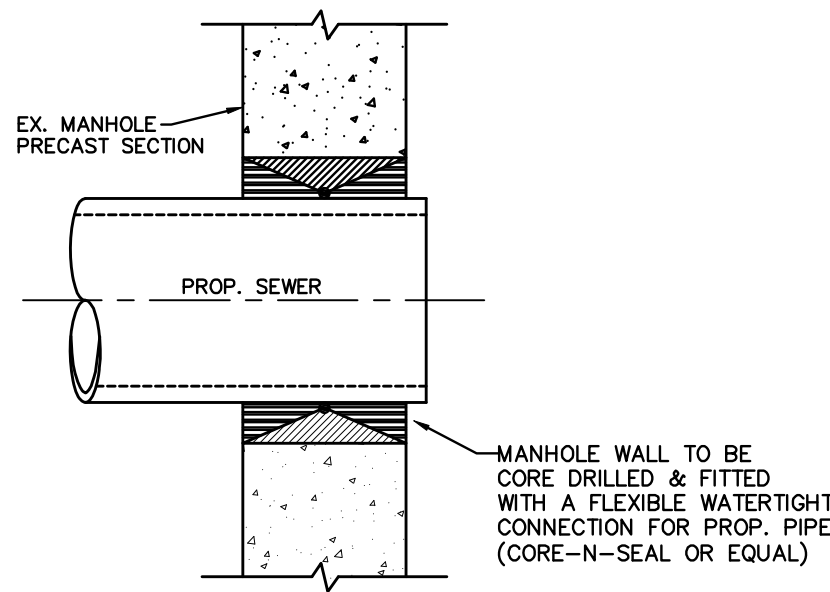
PIPE BEDDING DETAIL FOR
TRENCH IN PAVED AREAS
NOT TO SCALE



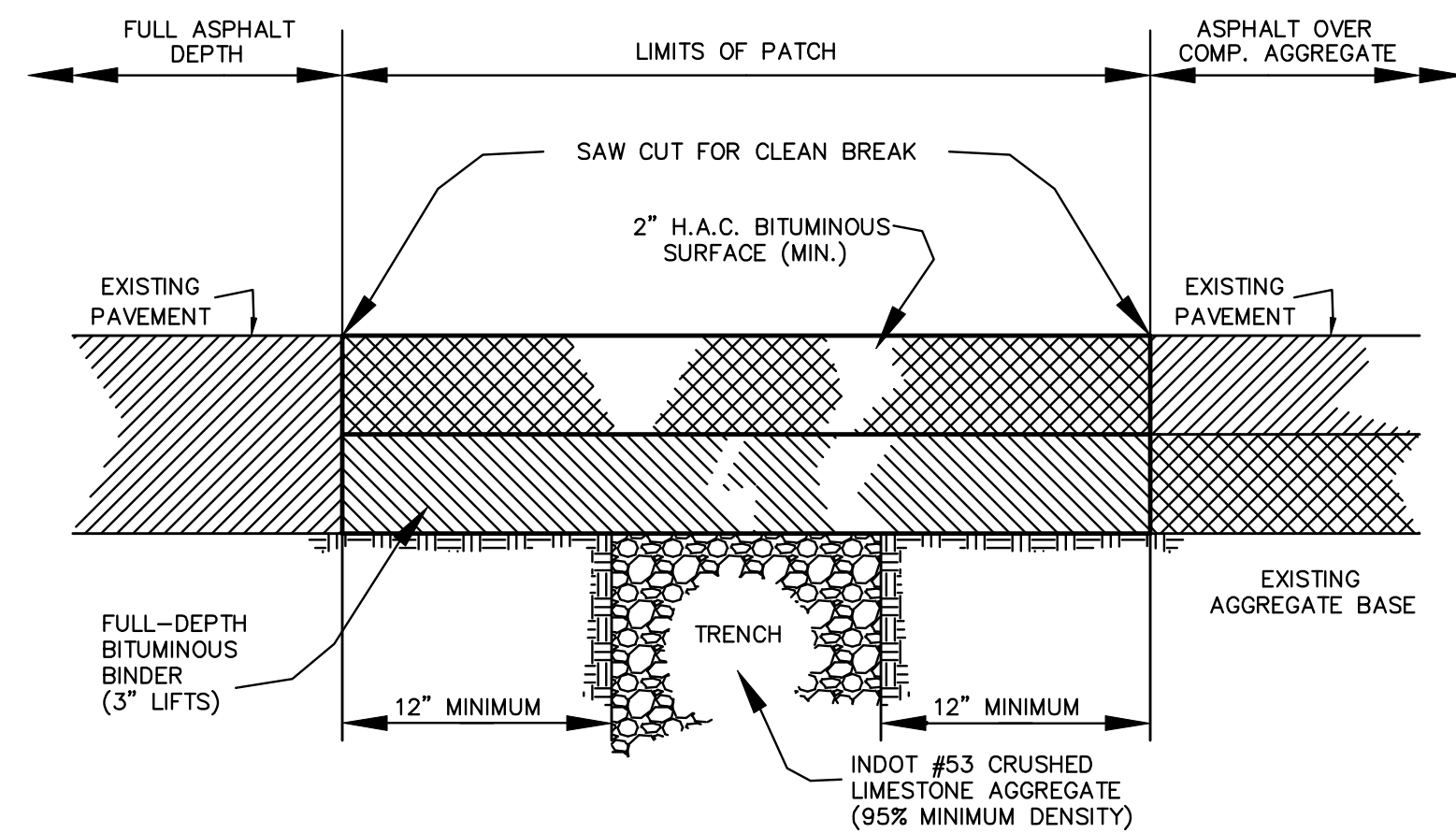
NOTES:

1. WHERE FILL IS REQUIRED, SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 METHOD OF TESTING.
2. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY PONDING PROBLEMS THAT MAY OCCUR AFTER THE FINAL SURFACE IS LAID.

CONCRETE STOOP DETAIL
NOT TO SCALE



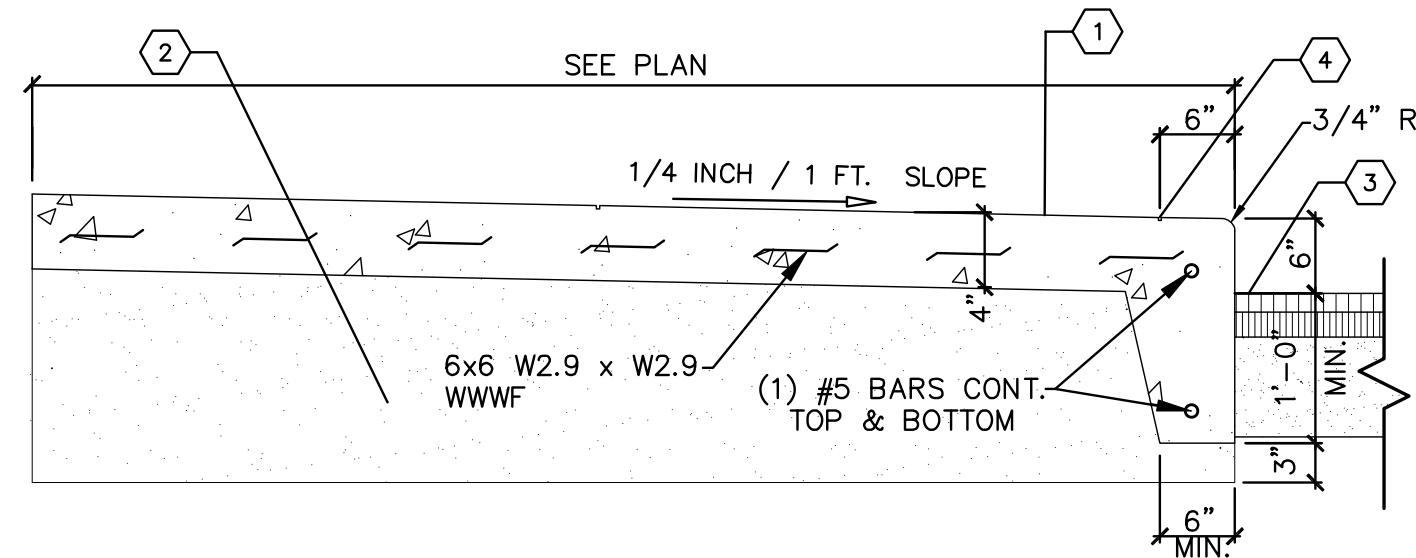
PIPE CONNECTION DETAIL
TO EXISTING MANHOLE
NOT TO SCALE



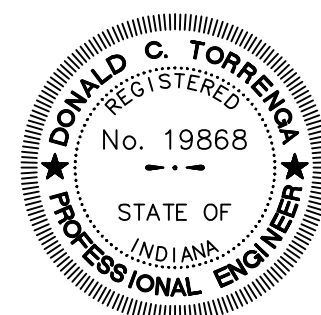
ROADWAY CUT PATCHING DETAIL
NOT TO SCALE

KEYED NOTES

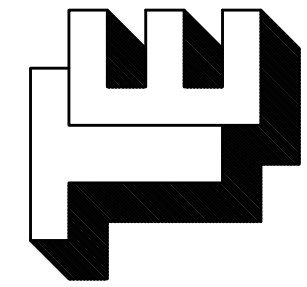
- 1 4" THICK CONC. BROOM FINISH WITH 6X6 W2.9XW2.9 WWF
- 2 6" COMPACTED GRANULAR FILL
- 3 EXISTING/PROPOSED PAVEMENT
- 4 1/4" TOOLED JOINT (SEE TYPICAL SIDEWALK DETAIL)



TYPICAL PERIMETER SIDEWALK
NOT TO SCALE



Donald C. Torrenza



TORRENZA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrenza.com

MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
DETAILS & SPECIFICATIONS

CLIENT:
Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383

JOB NO: 2023-5019

SCALE: NTS

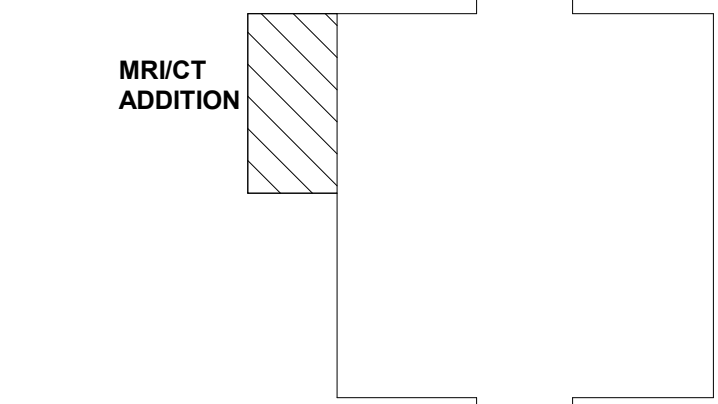
REVISIONS:
DATE: 06-02-2023

SHEET
C-4.0

(A5) FIRST FLOOR PLAN
1/4" = 1'-0" 0' 6"

(D5) FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0" 0' 6"

KEY PLAN



CEILING PLAN NOTES

- NOTIFY ARCHITECT OF INADEQUATE CLEARANCES FOR CEILING LAYOUT PRIOR TO COMMENCING WORK.
- LOCATIONS OF LIGHT FIXTURES, DIFFUSERS, ETC. SHALL BE AS SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS AND DETAILS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION. REFER TO DRAWINGS AND SPECIFICATIONS OF ALL TRADES FOR SYSTEM DESIGN AND ADDITIONAL INFORMATION.
- COORDINATE WITH ALL TRADES TO CONFIRM THEIR WORK CAN BE INSTALLED TO ACHIEVE CEILING HEIGHTS AS SHOWN. TRADE PRIORITY SHALL BE AS FOLLOWS UNLESS DIRECTED OTHERWISE BY THE ARCHITECT:
 - ELECTRICAL LIGHTING FIXTURES
 - MECHANICAL GRILLES AND DIFFUSERS
 - MECHANICAL DUCTWORK
 - ELECTRICAL CONDUIT
 - PIPING SYSTEMS
- COORDINATE WITH ALL TRADES TO CONFIRM THE LOCATION OF ACCESS PANELS WITH ASSOCIATED INSTALLED EQUIPMENT. INFORM ARCHITECT OF PROPOSED LOCATIONS PRIOR TO INSTALLATION AND CONSTRUCTION OF NEW WORK.
- ALL CEILING LIGHT FIXTURES TO BE CENTERED ON CEILING PANELS UNLESS SHOWN OTHERWISE. GRID OR PANEL IS TO BE CENTERED IN ROOM UNLESS SHOWN AND DIMENSIONED OTHERWISE.
- SOFFITS TO RECEIVE **[DESIGNATE FINISH]** ON VERTICAL AND HORIZONTAL SURFACES **[UNLESS NOTED OTHERWISE]**

ARCHITECTURAL DEMOLITION NOTES

- FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION WORK. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN WORK SHOWN IN THE DRAWINGS AND FIELD CONDITIONS ENCOUNTERED.
- TO PROTECT OWNER AND CONTRACTOR, PHOTOGRAPHICALLY DOCUMENT EXISTING CONDITIONS TO REMAIN, PRIOR TO START OF DEMOLITION AND CONSTRUCTION ACTIVITIES. COPY ARCHITECT AND OWNER ON PHOTOGRAPHIC DOCUMENTATION.
- OPEN FLAME EQUIPMENT IS NOT PERMITTED FOR REMOVAL OF EXISTING WORK WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE OWNER.
- COORDINATE WITH OWNER ANY ITEMS TO BE SALVAGED.
- OWNER WILL REMOVE ALL NON-FIXED FURNISHINGS AND EQUIPMENT FROM THE CONSTRUCTION AREA PRIOR TO START OF CONSTRUCTION UNLESS NOTED OTHERWISE.
- MAINTAIN BUILDING IN A WEATHER-TIGHT CONDITION. DO NOT PERFORM WORK ON EXTERIOR OPENINGS THAT CANNOT BE COMPLETED OR MADE WEATHER-TIGHT WHEN INCLEMENT WEATHER IS POSSIBLE.
- REMOVE FLOOR MATERIALS TO THE EXTENT SHOWN OR DESCRIBED IN THE DRAWINGS. REMOVAL INCLUDES ADHESIVES, GROUTING BEDS, ANCHORING DEVICES, ASSOCIATED WALL BASE, ETC. CLEAN AND PREPARE SURFACES FOR INSTALLATION OF NEW FLOOR MATERIALS.
- SEE STRUCTURAL DRAWINGS FOR LITTELS AT NEW PENETRATIONS THROUGH EXISTING WALLS. COORDINATE PENETRATION LOCATIONS WITH ASSOCIATED TRADES.
- COORDINATE WITH OTHER TRADES CUTTING AND PATCHING REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION.
- ANY DEMOLITION OR REMOVAL INDICATED IS SHOWN IN GENERAL TO PROVIDE THE EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED AS A RECORD DRAWING OF EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR IN FIELD VERIFICATION AND COORDINATION WITH THE ARCHITECT PRIOR TO COMMENCING WITH STATED WORK.
- ALL CONSTRUCTION TO REMAIN WHICH IS AFFECTED BY DEMOLITION SHALL BE PATCHED, BE PROPERLY ALIGNED AND FINISHED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR. REPAIR OR REPLACE ANY EXISTING CONSTRUCTION, MATERIALS, OR EQUIPMENT DAMAGED DURING DEMOLITION TO LIKE NEW CONDITION.
- THE CONTRACTOR IS TO RETURN SALVAGEABLE MATERIALS, INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, HARDWARE, MARBLE, EQUIPMENT, AND LIGHTING FIXTURES TO THE OWNER AND STOCKPILE THEM IN AN APPROVED CONSTRUCTION AREA. DISPOSE OF THESE MATERIALS AFTER OWNER'S REVIEW AND APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL FINISHES (TO REMAIN) IN THE PROJECT AREA. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL ENSURE THAT DUST AND DEBRIS ARE PREVENTED FROM ENTERING THE EXISTING HVAC SYSTEM AND ADJOINING SPACES WITH TEMPORARY BARRIERS AS REQUIRED PER THE BUILDING.
- INDICATION OF NEW MATERIALS SHALL INFER ALL REMOVAL OR DEMOLITION AND PATCHING REQUIRED OF EXISTING MATERIALS AND SUBSTRATES FOR PROPER ALIGNMENT. MATCH EXISTING FINISHES.
- ALL NEW AND EXISTING PENETRATIONS IN EXISTING WALLS, FLOORS AND CEILING DECKS SHALL BE THE RESPONSIBILITY OF THE PRIME CONTRACTOR AND SHALL RECEIVE UL AND FACILITY APPROVED FIRE SEALANT MATERIALS TO MATCH RATING REQUIREMENT OF AREA BEING PENETRATED.

FLOOR PLAN NOTES

- COORDINATE THE LOCATION OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL AND MILLWORK. PROVIDE BLOCKING FOR TOILET ACCESSORIES, GRAB BARS, HANDRAILS, COAT HOOKS, SHELVING, FITTING ROOM PARTITIONS, WALL-MOUNTED EQUIPMENT, SURFACE-MOUNTED STANDARDS OR FIXTURES, MILLWORK, ETC., AS REQUIRED FOR ANCHORING IN DRYWALL PARTITIONS. COORDINATE WITH OWNER FOR LOCATIONS OF WALL HUNG DEVICES NOT INSTALLED BY CONTRACTOR THAT REQUIRE BLOCKING. WOOD BLOCKING TO BE FIRE RETARDANT WHERE REQUIRED BY CODE.
- WATER-RESISTANT GYPSUM BOARD SHALL BE USED FOR STUD PARTITIONS IN TOILET ROOMS, JANITOR'S CLOSETS, FIRE SERVICE ROOMS, MECHANICAL ROOMS, AND ANY ADDITIONAL LOCATIONS DESIGNATED IN CONTRACT DOCUMENTS.
- WHERE STRUCTURAL ELEMENTS INTERFERE WITH FIRE-RATED PARTITIONS, FRAME TOP OF WALL AROUND STRUCTURAL ELEMENT.
- REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL INFORMATION REGARDING ITEMS PENETRATING FLOORS, WALLS, AND CEILINGS.
- ALL NEW PARTITIONS ARE DIMENSIONED TO FACE OF STUD, MASONRY, OR CONCRETE COMPONENT UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING ELEMENTS ARE TO EXPOSED FACE.
- ALL DOORS IN STUD WALL CONSTRUCTION ARE TO BE LOCATED WITH EDGE OF FRAME 4" FROM FACE OF ADJACENT PARTITION UNLESS NOTED OTHERWISE. DIMENSIONS LOCATING DOORS NOT DIRECTLY ADJACENT TO WALLS ARE GIVEN TO OUTSIDE EDGE OF FRAME.

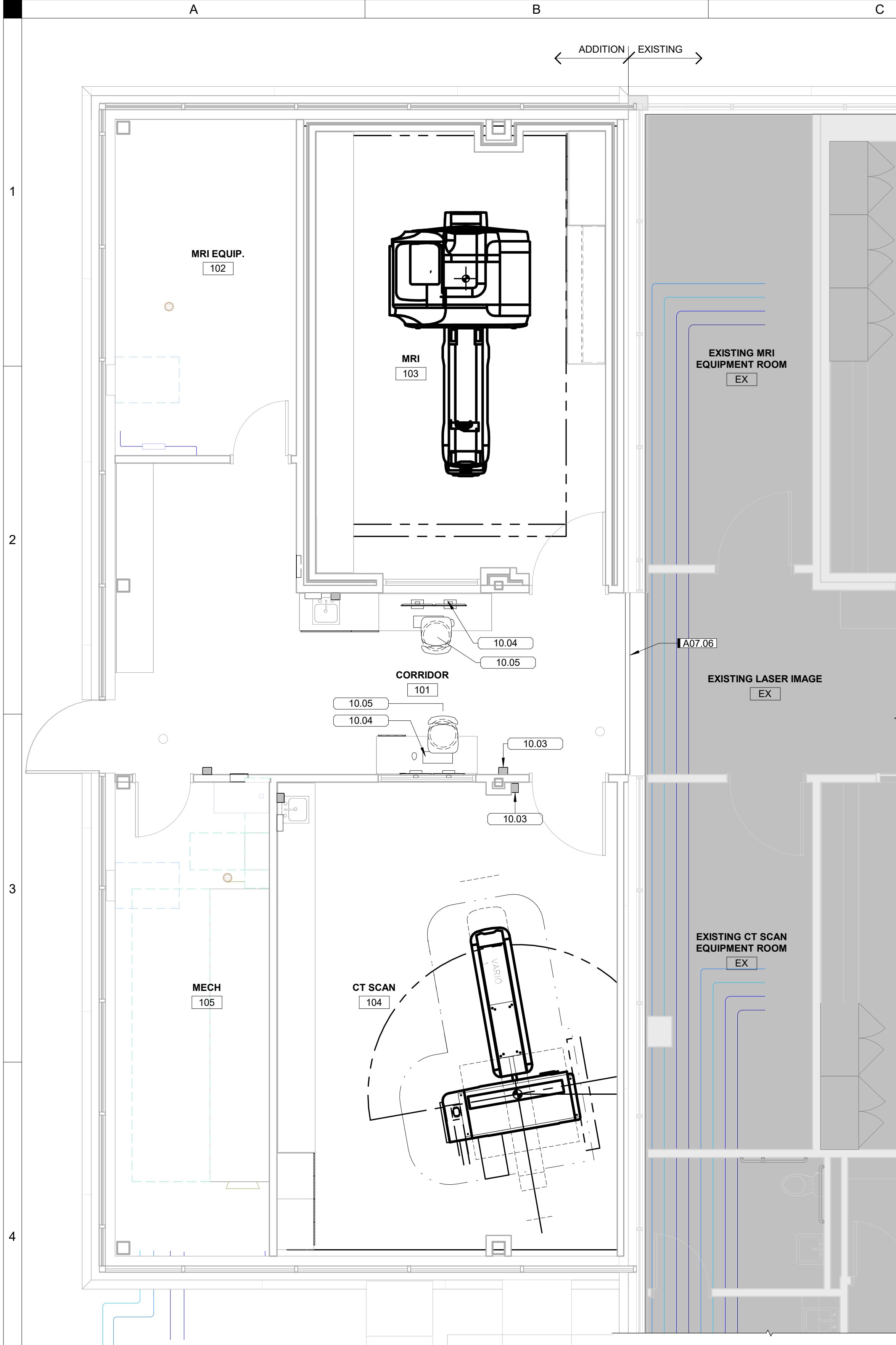
KEYNOTES

KEY	NOTE
A07.02	EXISTING WALL, GLAZING, AND SILL TO STAY IN PLACE. EXPANSION JOINT TO FORM TO EXISTING BUILDING
A07.04	EXPANSION JOINT COVER, CONSTRUCTION SPECIALTIES, ALWAYS WALL COVER.
A07.05	EXPANSION JOINT COVER, CONSTRUCTION SPECIALTIES, ALWAYS CEILING COVER.
A08.04	24" X 24" PRESSURE RELIEF DOOR BY MRI SHIELDING CONSULTANT; SEE VENDOR DRAWINGS.
AD.01	REMOVE STUD WALL, BRICK, STONE SILL AND GLAZING UP TO TOP OF EXISTING GLAZING. EXISTING GLAZING IS SUPPORTED BY WALL BELOW.
AD.02	REMOVE EXISTING GLAZING BACK TO EXISTING MULLION. INFILL WALL TO BE FLUSH WITH GYPSUM BOARD BELOW. WALL INFILL TO BE 5/8" METAL STUD FRAMING FINISHED WITH 5/8" GYPSUM BOARD.
AD.03	REMOVE CASEWORK, COUNTERTOPS, AND ELECTRICAL WIRING FROM WALL. TERMINATE ELECTRICAL WIRES AS NEEDED.

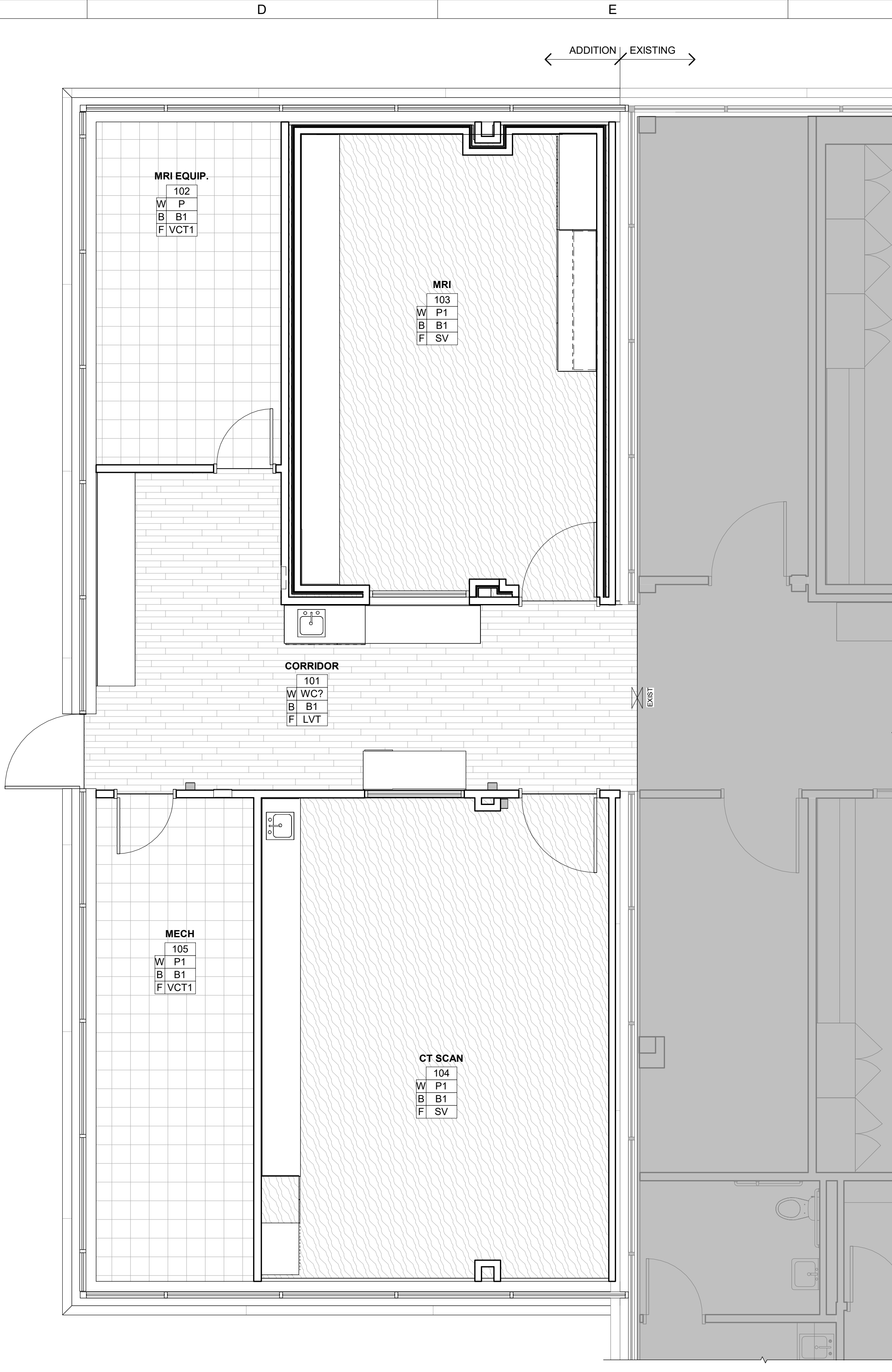
FLOOR PLAN SYMBOLS LEGEND

	DOOR MARK
	GLAZED OPENING MARK
	NOT IN SCOPE
	DEMOLITION

CEILING PLAN SYMBOLS LEGEND	
	CEILING MATERIAL DESIGNATION
	CEILING HEIGHT
	ACCENT FINISH DESIGNATION
	GYPSUM BOARD CEILING/ SOFFIT. SEE MATERIAL FINISH LEGEND
	ACOUSTICAL CEILING PANEL SYSTEM. SEE MATERIAL FINISH LEGEND
	SURFACE LIGHT
	RECESSED LIGHT
	SUSPENDED OR PENDANT LIGHT
	RECESSED LIGHT
	STRIP LIGHT
	COVE LIGHT
	EXIT LIGHT
	ACCESS PANEL
	RETURN AIR GRILLE
	SUPPLY AIR GRILLE
	EXHAUST AIR GRILLE
	SPEAKER
	SMOKE DETECTOR
	NOT IN SCOPE



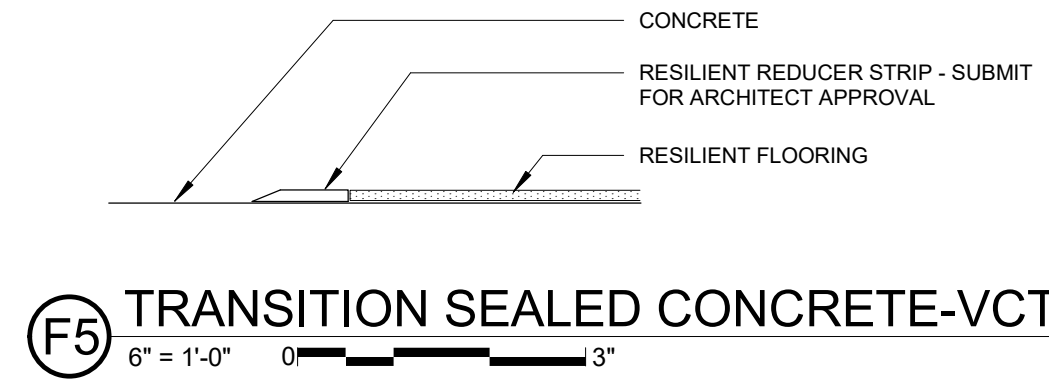
A5 FIRST FLOOR FFE PLAN
1/4" = 1'-0" 0' 6'



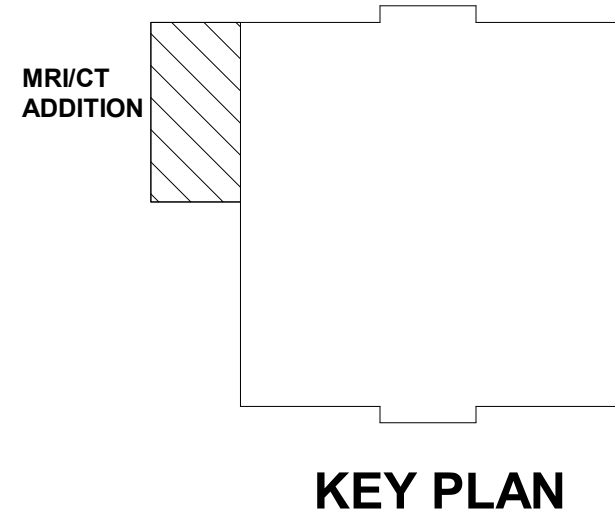
C5 FIRST FLOOR FINISH PLAN
1/4" = 1'-0" 0' 6'

MATERIAL FINISH SCHEDULE					
TAG	MANUFACTURER	STYLE	COLOR NAME/ NUMBER	CONTACT NAME/ NUMBER	REMARKS
ACOUSTICAL CEILING PANEL					
ACP1					
BASE					
B1	TARKETT	4" COVE BASE, THERMOSET RUBBER "TS" 120" COILED LENGTHS	PEBBLE #32		
PAINT					
P2	SHERWIN WILLIAMS		GREEK VILLA		HOLLOW METAL DOOR FRAMES
PLASTIC LAMINATE					
PL1	WILSONART		#60 MATTE FINISH		CASEWORK AND DOORS
PL2	PIONITE		HONEY MAPLE #WM951		
SHEET VINYL					
SV1	TBD	HETEROGENOUS SHEET GOODS WITH MANUFACTURERS HEAT WELD RODS	TBD		
SOLID SURFACE					
SS1	WILSONART		ANGEL FALLS #9223SS		
VINYL COMPOSITE TILE					
VCT1					
VINYL TILE					
LVT1	MANNINGTON	SPACIA PLANK GLUE DOWN			
WALL PROTECTION					
CG1	INPRO	SURFACE MOUNTED ADHESIVE, STAINLESS STEEL CORNER GUARDS, 4"H x 3.5" OR 2" WING; SURFACE MOUNT, #16 GAUGE, TYPE #430	SATIN FINISH #4		
WP1	INPRO	48"x120" SHEETS x 0.079" THICKNESS; USE MANUFACTURERS PVC TRIM PIECES	PEPPERDUST #927		
WALLCOVERING					
WC1	KOROSEAL	INTERLOOM, 52.54" REVERSE HANG, RANDOM MATCH VINYL WALLCOVERING	SILVER SKIES #NM21-01		

FIXTURE AND EQUIPMENT SCHEDULE							
MARK	DESCRIPTION	CFCI	OFCI	OFOI	EXIST	NEW	REMARKS
<varies>							
10.01	PAPER TOWEL DISPENSER						
10.02	SOAP DISPENSER						
10.03	HAND SANITIZER DISPENSER						
10.04	MONITOR AND KEYBOARD						
083116							



F5 TRANSITION SEALED CONCRETE-VCT
6" = 1'-0" 0' 3"



KEY PLAN

KEYNOTES	
KEY	NOTE
A07.06	EXPANSION JOINT COVER: CONSTRUCTION SPECIALITES, RESTOFIT FLOOR COVER.

- FURNITURE OR EQUIPMENT PLAN NOTES**
- COORDINATE SCHEDULING OF OWNER-PROVIDED ITEMS WITH OWNER AND SUPPLIER.
- EQUIPMENT PLAN SYMBOLS LEGEND**
- A012345(2) → EQUIPMENT OR FURNITURE IDENTIFICATION NUMBER
- UNIT QUANTITY
- EQUIPMENT OR FURNITURE PROVIDER / INSTALLER CODE
- A** – CONTRACTOR FURNISHED; CONTRACTOR INSTALLED
B – CONTRACTOR FURNISHED; OWNER INSTALLED
C – OWNER FURNISHED; CONTRACTOR INSTALLED
D – OWNER FURNISHED; OWNER INSTALLED
E – EXISTING; RELOCATED BY CONTRACTOR
F – EXISTING; RELOCATED BY OWNER
G+ – ADDITIONAL, PROJECT SPECIFIC
- FINISH PLAN NOTES**
- SUBMIT PHYSICAL SAMPLES OF ALL SPECIFIED FINISHES FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO ORDERING.
 - FINISH TAGS INDICATE GENERAL ROOM FINISHES UNLESS NOTED OTHERWISE. REFER TO FINISH PLAN FOR ACCENT WALL FINISHES.
 - ENSURE THAT SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH FINISH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.
 - REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES AND HEIGHTS.
 - INSTALL PAINTABLE SEALANT AT ALL GAPS BETWEEN CASEWORK AND WALL UNLESS NOTED OTHERWISE.
 - PREPARE EXISTING WALLS FOR NEW FINISHES CALLED FOR ON THE DRAWINGS.
 - GYPSUM WALLBOARD FINISHING SHALL BE DONE WITH LIGHTING CONDITIONS SIMULATING FINAL LIGHTING.
 - REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES AND HEIGHTS.
 - PROVIDE GYPSUM WALL BOARD FINISH LEVELS PER ASTM C840. PROVIDE LEVEL 4 DRYWALL FINISH AT WALLS SCHEDULED TO RECEIVE EGGSHELL PAINT OR WALLCOVERING UNLESS NOTED OTHERWISE. PROVIDE LEVEL 5 DRYWALL FINISH AT ALL AREAS OF VINYL WALL GRAPHIC, SEMI-GLOSS, OR GLOSS PAINT INSTALLED ON DRYWALL AND WHERE NOTED.
 - ALL PAINTED SURFACES ARE TO RECEIVE 1 COAT PRIMER AND A MINIMUM OF 2 FINISH COATS FOR FULL COVERAGE.
 - ALL WALL PAINT SHALL BE **[P1 EGGSHELL]** FINISH UNLESS NOTED OTHERWISE.
 - ALL PAINT, PRIMER, AND ADHESIVES SHALL BE LOW VOC, TYP.
 - ALL WALL PAINT SHALL BE LOW VOC LATEX EGGSHELL FINISH OR WATER BASED EPOXY IN EGGSHELL FINISH UNLESS NOTED OTHERWISE. REFER TO FINISH PLAN TAGS FOR DESIGNATED AREAS.
 - PAINTING CONTRACTOR SHALL PAINT ALL EXPOSED STRUCTURE, (INCLUDING) ALL EXPOSED DUCT WORK, PIPING, CONDUITS, ETC. **[TO REMAIN UNFINISHED.]**
 - ALL INTERIOR HOLLOW METAL DOOR PANELS AND DOOR FRAMES SHALL RECEIVE SEMI-GLOSS PAINT **[IN THE SAME COLOR AS THE ADJACENT WALL]** UNLESS NOTED OTHERWISE.
 - ALL FLOORING TRANSITIONS AT DOORS SHALL BE CENTERED ON DOOR PANELS UNLESS NOTED OTHERWISE.
 - PREPARE SUBFLOOR AS NECESSARY FOR APPLICATION OF NEW FLOOR FINISHES.
 - FLOORING PREP MUST BE COMPLETED BY THE FLOORING INSTALLER. INSTALLER TO FOLLOW FLOORING MANUFACTURER'S RECOMMENDATIONS FOR BOTH PREP AND INSTALLATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR FLOOR LEVELING BETWEEN DISSIMILAR FLOOR FINISH MATERIALS AT ALL TRANSITIONS. FLOOR FILLER COMPOUND SHALL BE FEATHERED AT A DISTANCE TO MAKE FLOORING HEIGHT TRANSITION IMPERCEPTIBLE – 36" MINIMUM.
 - VERIFY THAT ALL FLOORS ARE LEVEL AND FLUSH. CORRECT ALL DEVIATIONS BY THE APPLICATION OF SELF-LEVELING CEMENTITIOUS FILLING COMPOUND BEFORE INSTALLATION OF FINISHED FLOOR COVERING AND/OR EQUIPMENT. FEATHER OUT LEVELING COMPOUND TO WITHIN 1/8" PER 10 FEET THROUGHOUT UNLESS NOTED OTHERWISE.
 - SLOPE ALL FINISH FLOORING TO FLOOR DRAINS IN TOILET ROOMS. FLOORS SHALL BE LEVEL TO WITHIN 1/8" PER FOOT THROUGHOUT UNLESS NOTED OTHERWISE.
 - PROVIDE FLOORING TRANSITION STRIPS WHERE NEW FLOORING ABUTS DIFFERENT NEW OR EXISTING FLOORING MATERIALS (E.G. CARPET TO VINYL CARPET TO TILE) UNLESS NOTED OTHERWISE. REFER TO SECTION 09 6500 – RESILIENT FLOORING AND DETAILS FOR ADDITIONAL INFORMATION.
 - IN AREAS WHERE FLOORING MATERIAL AND/OR BASE HAS WELDED SEAMS, USE MANUFACTURER'S RECOMMENDED WELD RODS. WHEN TWO FLOOR COLORS MEET, USE THE DARKER OF THE WELD RODS. =

- MRI INTERIOR NOTES**
- ONLY NON-MAGNETIC MATERIALS ARE TO BE USED AND INSTALLED IN THE MRI ROOM.
 - A SUSPENDED CEILING MUST BE STATICALLY SUSPENDED, NOT SUSPENDED WITH MOVABLE CLAMPS, SPRINGS, ETC.
 - RODS IN SUSPENDED CEILINGS MUST BE INSTALLED SECURELY. GALVANIC CONTENT BETWEEN THE RODS MUST BE GUARANTEED. THEY MUST NOT JUST LIE ON TOP OF ONE ANOTHER. A WIREJUMPER BETWEEN RODS MAY BE USEFUL.
 - ELECTRICAL WIRING, FOR AMBIENT LIGHTS FOR EXAMPLE, MUST NOT SIMPLY REST ON THE SUSPENDED CEILING. THEY MUST BE FASTENED OR INSIDE A CONDUIT TO PREVENT MOTION.

- FINISH PLAN SYMBOLS LEGEND**
- ROOM NAME** → ROOM NUMBER
- W** → WALL FINISH DESIGNATION
- B** → WALL BASE DESIGNATION
- F** → FLOOR FINISH DESIGNATION
- R** → REMARKS (OPTIONAL)
- P1** → FINISH DESIGNATION
- LVT** → FLOOR FINISH DESIGNATION
- CT** → FINISH TRANSITION
- CPT**
- VCT**
- NOT IN SCOPE**

