



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Tom Vander Woude, Planning Director

Meeting Date: March 14, 2023

Agenda Item: PC Docket No. 22-023

Application: **Development Plan**

Hearing: **PUBLIC HEARING**

Summary: OKW Architects on behalf of Simborg Development requesting approval of development plan for 9,000 square feet of warehouse space, additional truck docks, new parking areas, and landscaping at the Lake Business Center Planned Unit Development at 9200 Calumet Avenue.

Applicant: OKW Architects on behalf of Simborg Development

Property Address: 9200 Calumet Avenue

Current Zoning: Planned Unit Development

Adjacent Zoning: North: PUD/CD-4.A
South: SD-M
East: CD-4.A
West: SD-M

Action Requested: Approval of Development Plan

Additional Actions Required: Findings of Fact

Staff Recommendation: **Approval with conditions**

Attachments:

1. Lake Business Center Development Plan including EXISTING SITE PLAN, PROPOSED SITE PLAN, PROPOSED EXPANSION LINK AND DOCK REWORK EXTERIOR ELEVATIONS, SITE LIGHTING PHOTOMETRIC PLAN prepared by OKW Architects dated 03.07.2023.
2. LBC Pepsi Landscape Plan prepared by Kathryn Talty landscape architecture dated 03.03.2023

In February 2023 the Plan Commission reviewed and an amendment to the LBC PUD and voted to forward a favorable recommendation to approve to the Town Council. This pending PUD amendment provides for a revised site plan that includes the additional warehouse space, the modified dock area, additional surface parking spaces, and installation of a lawn and other landscaping.

The proposed development plan is intended to implement the PUD amendment and provides more detailed site plans, including landscaping plans and photometric plans, lighting specifications, and information about building materials.

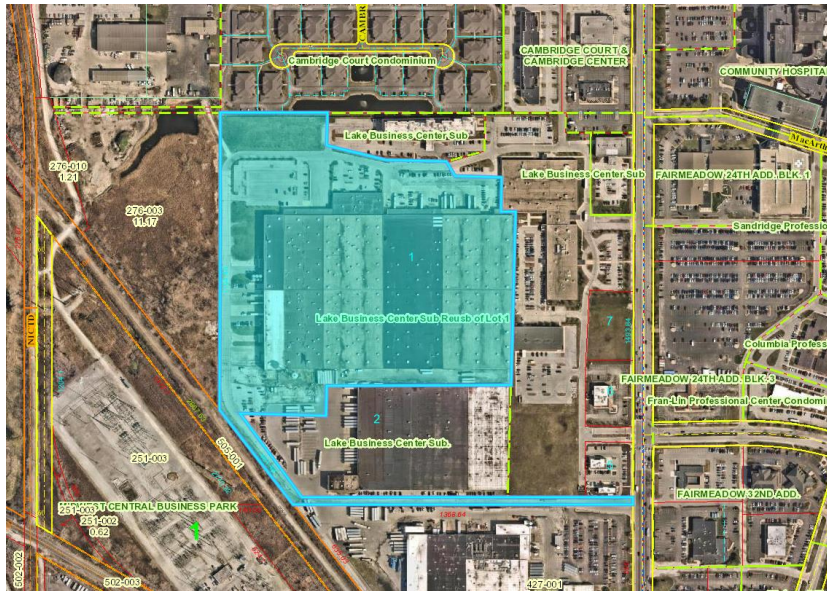


Figure 2 Subject property north lot highlighted in blue.

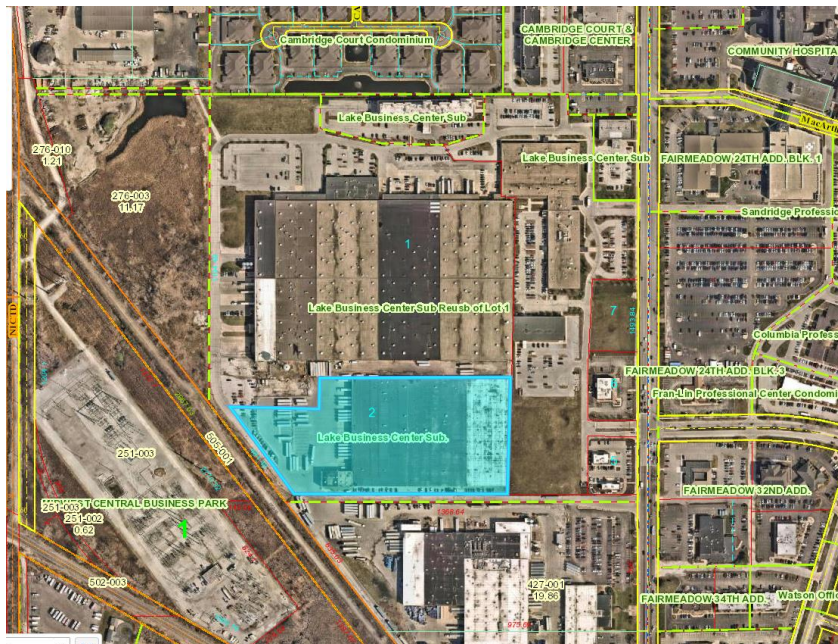


Figure 3 Subject property south lot highlighted in blue

ANALYSIS

Parking

The previous PUD site plan includes 1,621 parking spaces. The proposed plan increases the total number of parking spaces to 1,625, though they are inaccessible to the east portion of the Lake Business Center.

Landscaping

The proposed plan will establish a lawn between the two buildings east of the warehouse connection in an area that is currently rubble which will improve the aesthetics of the development. The landscaping plan show 10 shade trees, which meet the Town's standards, to be planted in the landscape area.



Figure 4 Area proposed to be lawn.

The reconfiguration of the parking lot eliminates the proposed parking lot landscaping at the southwest corner of the north warehouse. In keeping with staff recommendation, the proposed parking areas are proposed to be landscaped in keeping with Town standards: a 5-foot-wide landscaped area along drive aisles and one landscape island for every 10 parking spaces and islands at the ends of all parking rows. The islands include the required shade trees. No landscaping is required or shown in the truck loading and maneuvering areas. The southwest edge of the property is identified as a future landscape buffer to be established at the time that Maple Leaf Boulevard is constructed.

Architecture and Building Materials

The materials for the east elevation facing Calumet Avenue are proposed to match the existing buildings in the development with a brick base: *HEBRON BRICK COMPANY "RED" | MODULAR | RUNNING BOND* and painted metal siding: *FIRESTONE UNA-CLAD | CHAMPAGNE | INSTALLED VERTICALLY WITH CONCEALED CLIPS*. The west (rear) elevation will be standard metal warehouse siding.

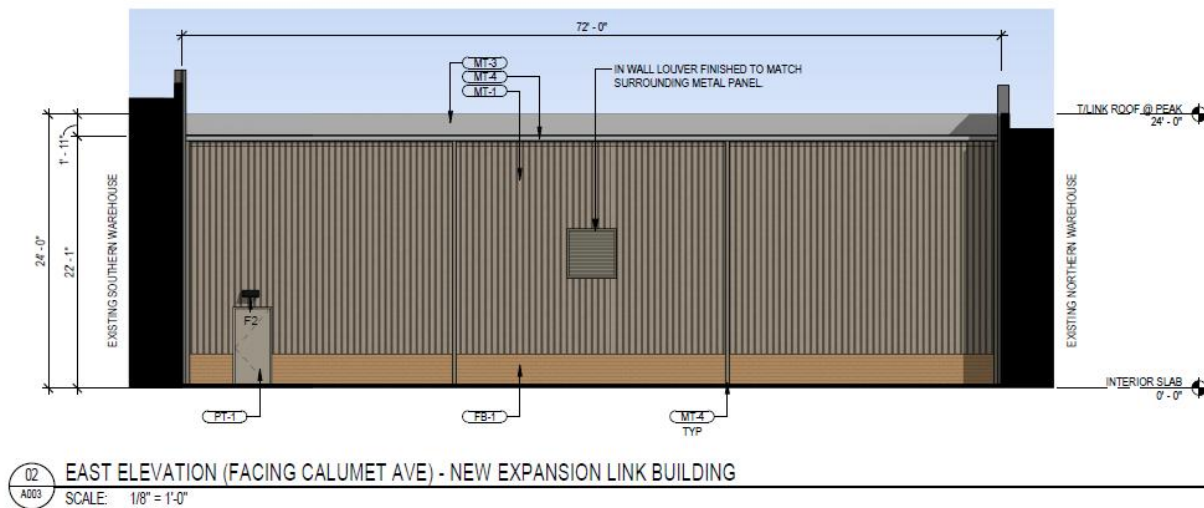


Figure 5 East elevation

Stormwater

The proposed warehouse will be constructed in an area that is currently paved. Since there is no additional impervious surfaces, no additional stormwater retention is needed.

Access

In keeping with the Town's intention to relocate truck traffic to the future Maple Leaf Boulevard, the applicant has proposed a connection to the proposed Maple Leaf Boulevard extension, which is shown on the west side of the property. The exact location is yet to be determined.

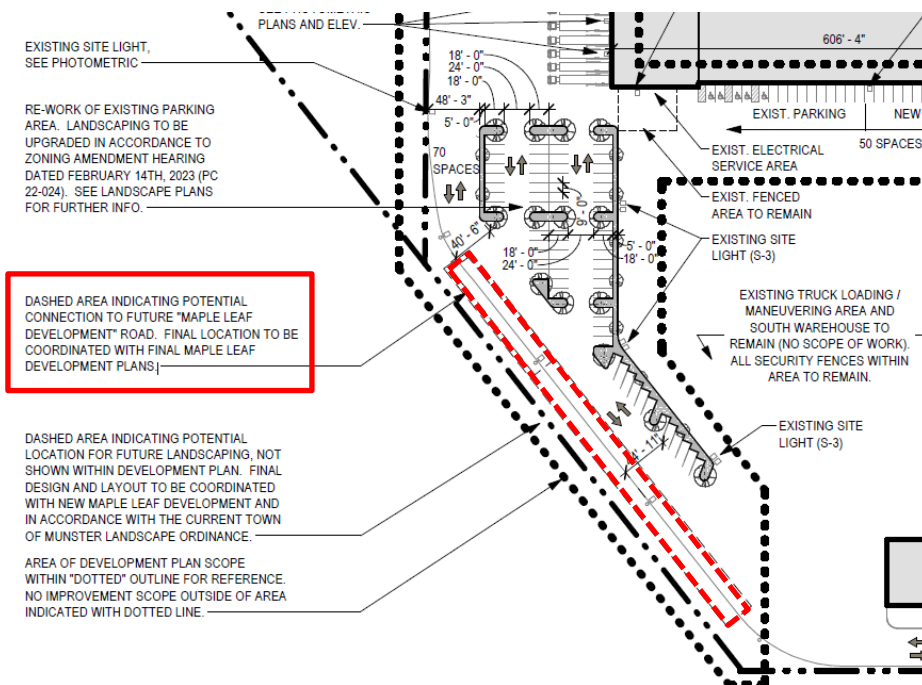


Figure 6 Area reserved for Maple Leaf Boulevard connection.

Lighting

The development plan includes a lighting plan that includes a mixture of existing lights illuminating the existing parking lot on the southwest corner of the site and new lights to illuminate the new parking area between the warehouses and the new truck docks. The plan shows new light fixtures that do not meet the zoning standards for color temperature (less than or equal to 3000K). The applicant has not provided spec sheets of the fixtures, so it is unknown whether the fixtures are full cut-off as is required. The applicant has indicated that a revision to the plans is forthcoming, but staff did not receive it at the time that this memo was finalized.

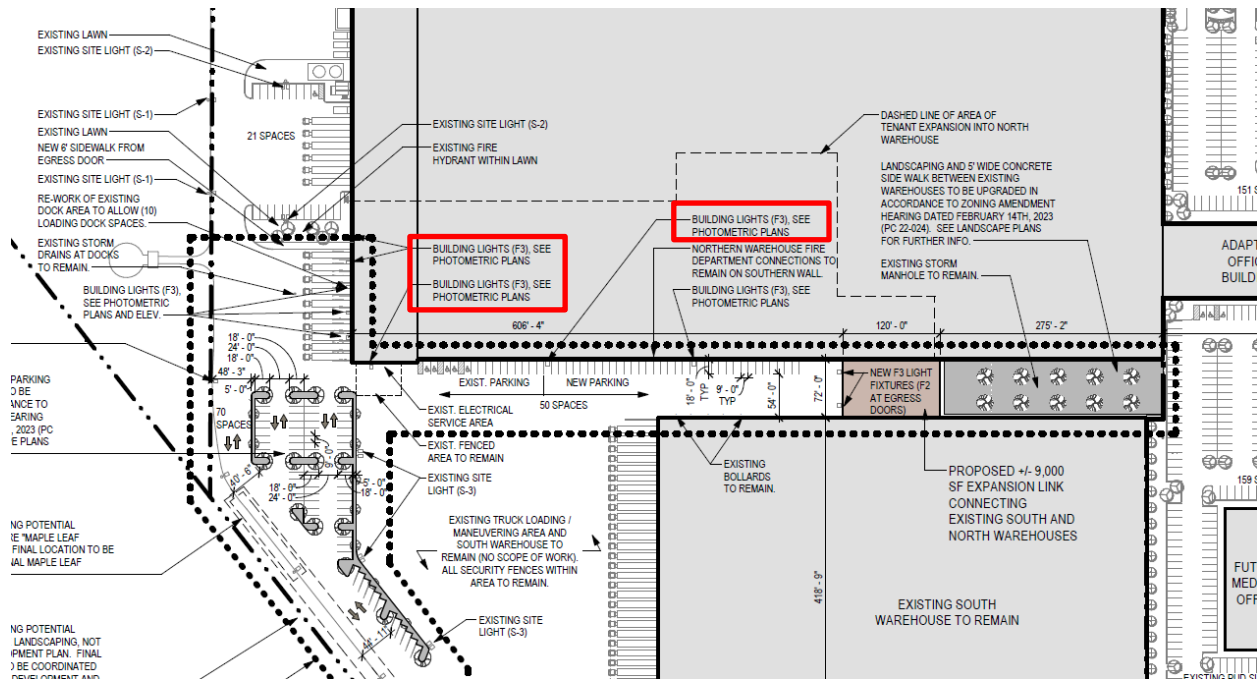
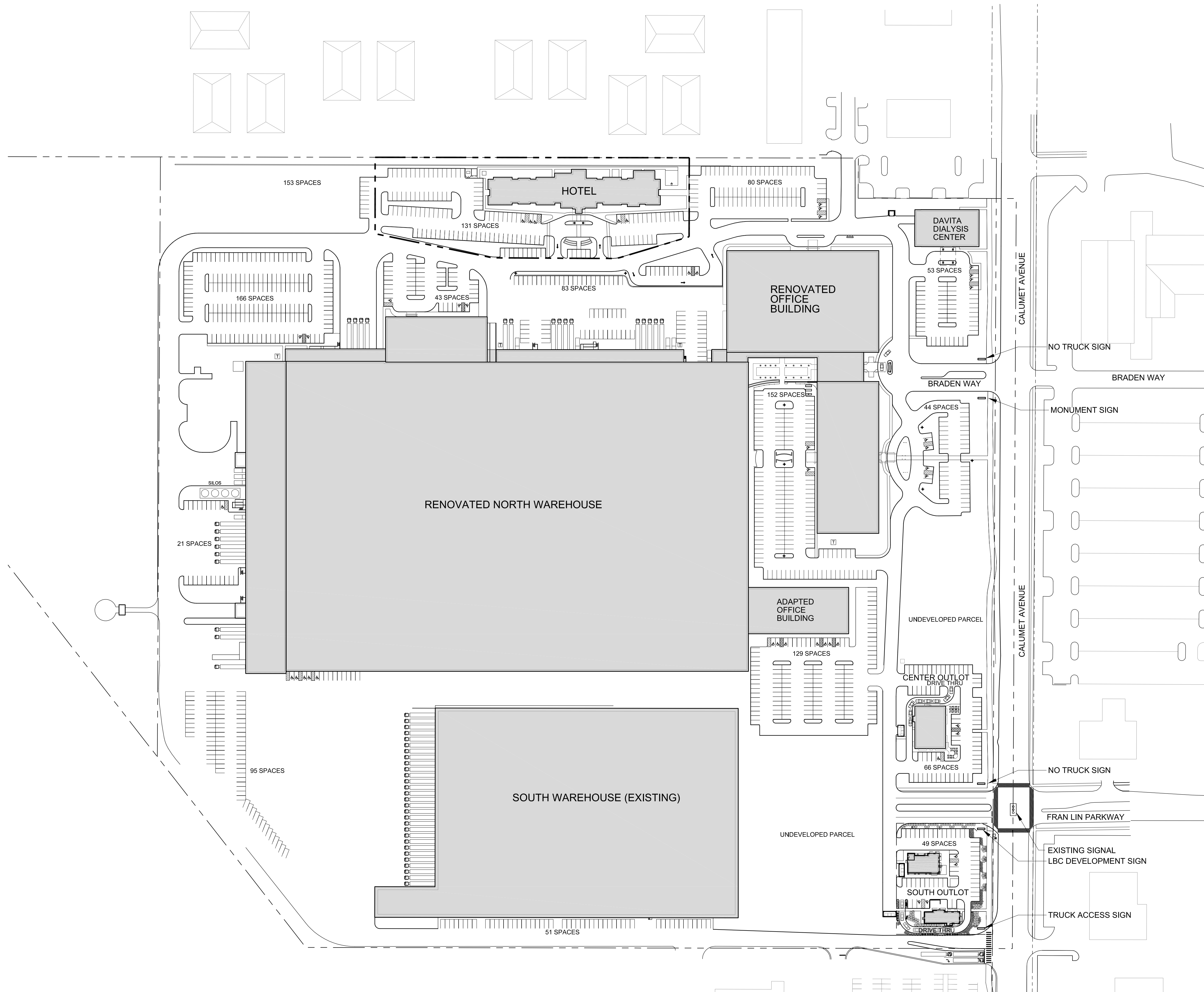


Figure 7 Location of new light fixtures

MOTION

The Plan Commission may wish to consider the following motion:

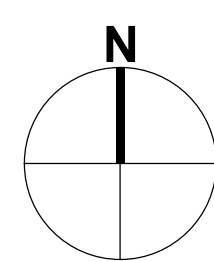
Motion to approve PC Docket No. 22-023 to approve a development plan for 9,000 square feet of warehouse space, additional truck docks, new parking areas, and landscaping at the Lake Business Center Planned Unit Development at 9200 Calumet Avenue, contingent upon receipt of a compliant lighting plan and upon Town Council approval of the PUD amendment submitted under PC Docket 22-024.



EXISTING SITE PLAN



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



TRUE

SCALE: 1" = 100'

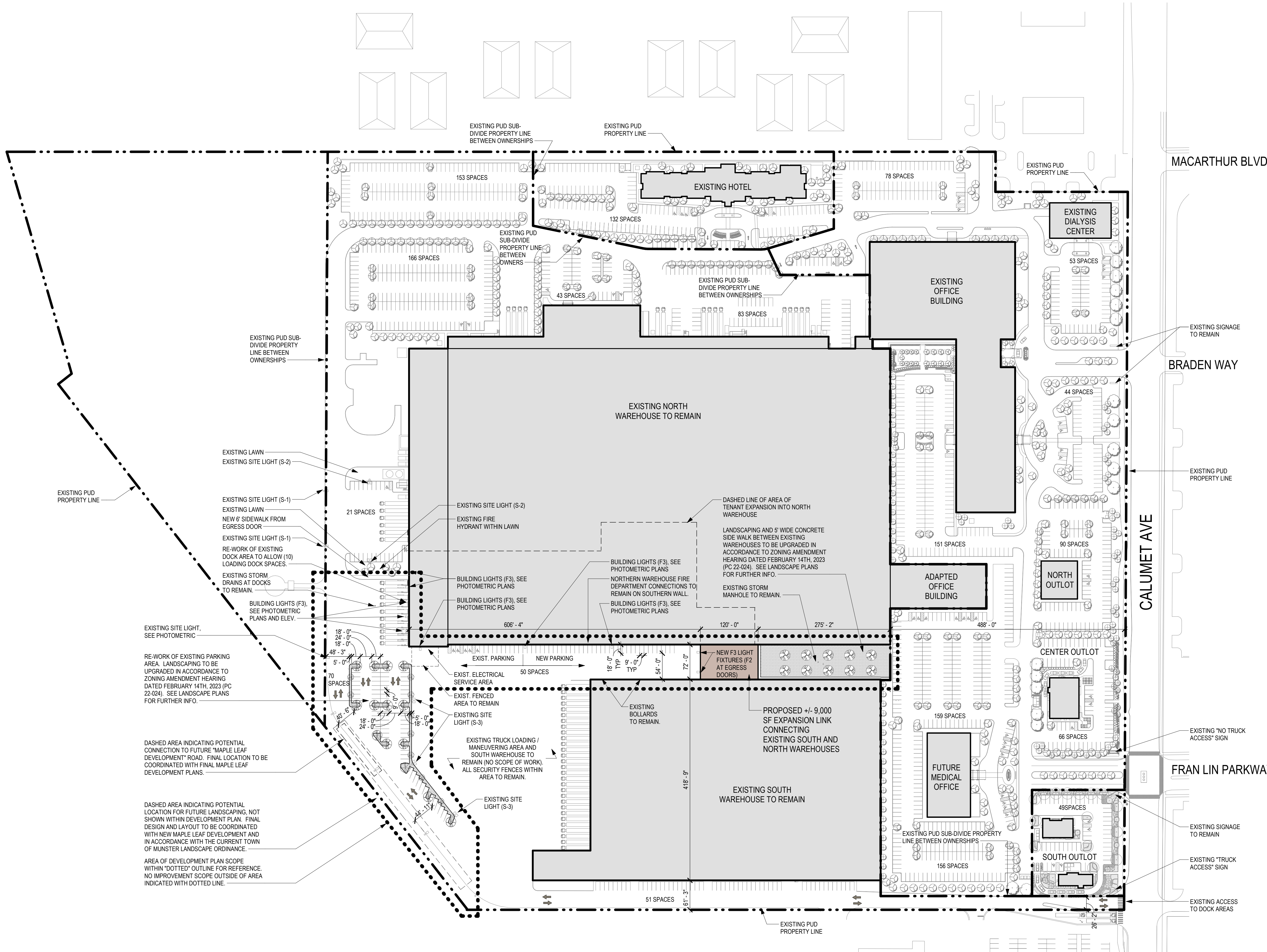
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**DEVELOPMENT
PLAN REVIEW**

9200 CALUMET AVE
MUNSTER, IN 46321

03/07/2023 Project #: 22079

A001

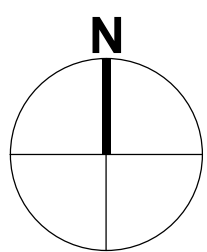


EXISTING SITE INFORMATION:		
ZONING: SD-PUD (EXISTING)		
LOT AREA: +/- 69.7 ACRES (TOTAL PUD SITE AREA) +/- 38 ACRES (PORTION OF PUD OWNED BY SIMBORG DEVELOPMENT)		
-THE SUBJECT PROPERTY IS LOCATED IN THE LAKE BUSINESS PARK PLANNED UNIT DEVELOPMENT. THE PUD WAS ESTABLISHED IN 2006 AND WAS AMENDED IN 2012, 2013, AND 2015. THE APPLICANT, SIMBORG DEVELOPMENT CURRENTLY OWNS THE TWO WEST PARCELS WITHIN THE PUD, WHICH ARE SHOWN IN THE FIGURES BELOW. THE REMAINDER OF THE PARCELS ARE OWNED BY OTHERS, BUT THE PUD REQUIRES SHARED PARKING AND INGRESS-EGRESS THROUGHOUT THE DEVELOPMENT.		
-DEVELOPMENT PLAN FOCUSES ON +/- 38 ACRES OWNED BY SIMBORG DEVELOPMENT LOCATED AND LEGALLY DESCRIBED AS LAKE BUSINESS CENTER SUB RESUB LOT 1 PT. OF LOT 1 AND LAKE BUSINESS CENTER SUB LOT 2.		
IMPERVIOUS SURFACE AREA: -STORMWATER: PER ZONING AMENDMENT HEARING DATED FEBRUARY 14TH, 2023 (PC 22-024). THE PROPOSED WAREHOUSE (LINK) WILL BE CONSTRUCTED IN AN AREA THAT IS CURRENTLY PAVED. SINCE THERE IS NO ADDITIONAL IMPERVIOUS SURFACES, NO ADDITIONAL STORMWATER RETENTION IS NEEDED.		
SITE TABULATION:		
BUILDING / USE(S)	AREA	PARKING REQUIRED
EXISTING DIALYSIS MEDICAL CLINIC	8,650 SF	50 SPACES REQUIRED
EXISTING HOTEL HOTEL	99 ROOMS	124 SPACES REQUIRED
EXISTING OFFICE BUILDING OFFICE MEDICAL CLINIC	16,334 SF 69,616 SF	54 SPACES 397 SPACES
ADAPTED OFFICE BUILDING MEDICAL CLINIC	18,430 SF	105 SPACES
RENOVATED NORTH WAREHOUSE MANUFACTURING WAREHOUSE/STORAGE	188,850 SF 463,030 SF	236 SPACES 324 SPACES
EXISTING SOUTH WAREHOUSE AND NEW LINK EXISTING WAREHOUSE/STORAGE INCLUDES NEW 9,000 SF EXPANSION LINK	268,760 SF	188 SPACES
FUTURE MEDICAL OFFICE BUILDING MEDICAL CLINIC	32,000 SF	183 SPACES
NORTH OUTLOT RESTAURANT	6,500 SF	37 SPACES
CENTER OUTLOT RESTAURANT(114 SEATS) RESTAURANT (90 SEATS)	2,404 SF 2,637 SF	40 SPACES (46) 44 SPACES (36)
SOUTH OUTLOT NORTH RESTAURANT(60SEAT) SOUTH RESTAURANT(60SEAT)	2,250 SF 1,825 SF	38 SPACES (20) 30 SPACES (20)
CODE REQUIRED PARKING RATIOS:		
USE	PARKING REQUIRED	
HOTEL	1.25 / ROOM	
RESTAURANT	5.00 / 300 SF	
	1.00 / 2.5 SEATS	
OFFICE	3.30 / 1,000 SF	
MEDICAL CLINIC	5.70 / 1,000 SF	
MANUFACTURING	1.25 / 1,000 SF	
WAREHOUSE/STORAGE	0.70 / 1,000 SF	
SITE PARKING ANALYSIS:		
PARKING REQUIRED	PARKING PROVIDED	DIFFERENCE
1,850 SHARE SPACES	1,625 SHARED SPACES	225 SPACES UNDER PER TOWN CODE, 1 LESS THAN PREVIOUS APPROVED PLAN
SITE SIGNAGE:		
*PER TOWN APPROVED LAKE BUSINESS CENTER DEVELOPMENT SIGNAGE GUIDELINES DATED 8 APRIL 2014. NO NEW SIGNAGE WITHIN SCOPE OF IMPROVEMENTS		
SITE LIGHTING:		
TAG	DESCRIPTION	
S-1	SINGLE POLE MOUNT EL-MS-SL-150W27V50KD T5 SINGLE	
S-2	TWIN (SIDE BY SIDE) POLE MOUNT EL-MS-SL-150W27V50KD T5 DUAL	
S-3	QUAD (AT 90 DEGREE) POLE MOUNT EL-MS-SL-150W27V50KD T5	
F2	ARCHITECTURAL WALL SCONCE - TRAPEZOID WITH 90 MIN. BATTERY (EGRESS LIGHTING) WSTLED-P1-40K-VW-277-PE-DOBXD-E20WC	
F3	LED WALL PACK (SITE LIGHTING) EL-MS-WP-135W27V50KD	

PROPOSED SITE PLAN



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



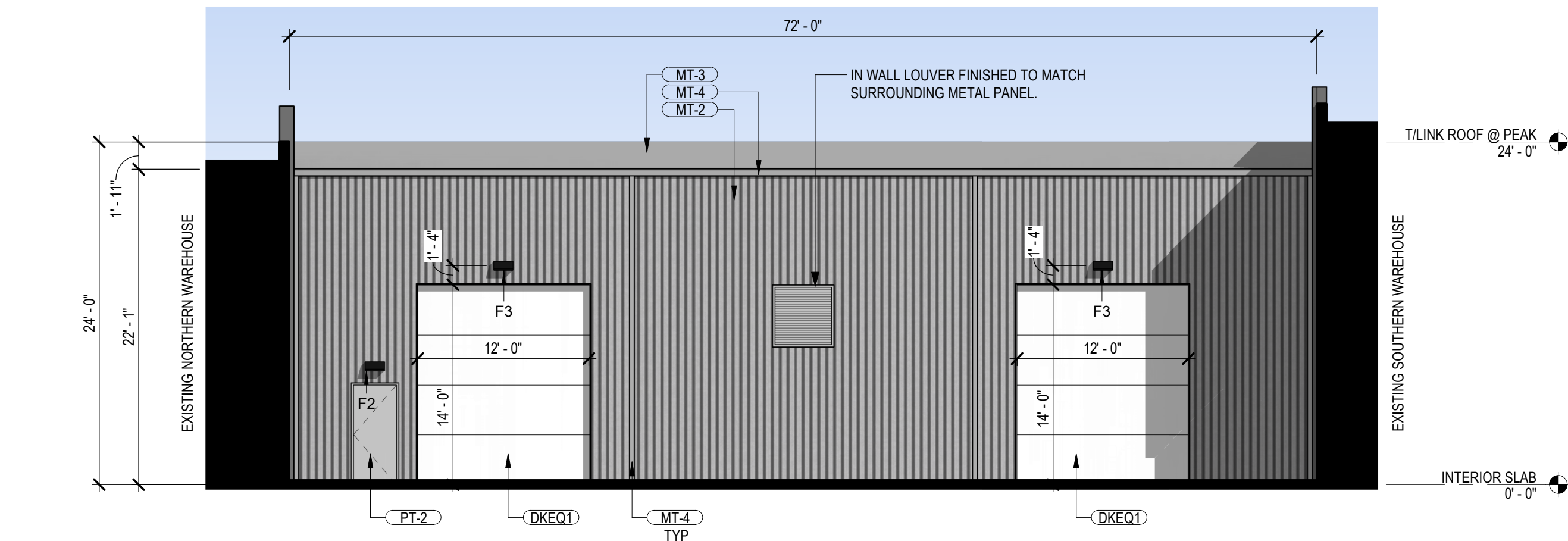
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DEVELOPMENT
PLAN REVIEW
9200 CALUMET AVE
MUNSTER, IN 46321

A002

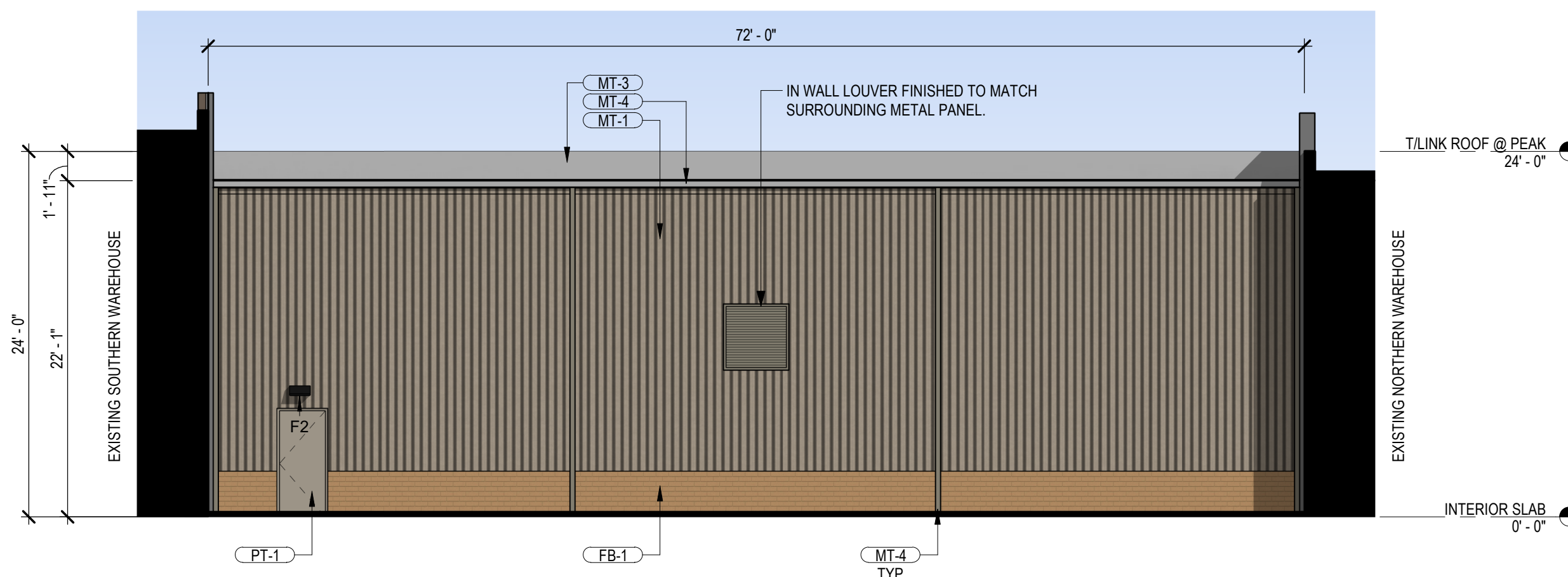
03/07/2023 Project #: 22079

EXTERIOR MATERIAL SCHEDULE			NEW EXTERIOR LIGHTING	
ITEM TAG	DESCRIPTION	COMMENTS	ITEM TAG	DESCRIPTION
FB-1	BRICK MASONRY BASE	BRICK BASE ON EASTERN FACADE OF NEW LINK BUILDING. HEBRON BRICK COMPANY "RED" MODULAR RUNNING BOND. **IN ACCORDANCE TO ZONING AMENDMENT HEARING DATED FEBRUARY 14TH, 2023 (PC 22-024); THE MATERIALS ON THE EAST ELEVATION FACING CALUMET AVE ARE TO MATCH EXISTING BUILDINGS IN DEVELOPMENT WITH BRICK BASE**	F2	ARCHITECTURAL WALL SCONCE - TRAPEZOID WITH 90 MIN. BATTERY WSTLED-P1-40K-VW-277-PE-DBXD-E20WC
MT-1	METAL WALL PANEL 1	PREFINISHED CORRUGATED METAL PANELS @ EASTERN FACADE OF NEW LINK BUILDING. FIRESTONE UNA-CLAD CHAMPAGNE INSTALLED VERTICALLY WITH CONCEALED CLIPS. **IN ACCORDANCE TO ZONING AMENDMENT HEARING DATED FEBRUARY 14TH, 2023 (PC 22-024); THE MATERIALS ON THE EAST ELEVATION FACING CALUMET AVE ARE TO MATCH EXISTING BUILDING METAL SIDING.**	F3	LED WALL PACK - SITE LIGHTING EL-MS-WP-135W27V50KD
MT-2	METAL WALL PANEL 2	PREFINISHED CORRUGATED METAL PANELS @ WESTERN FACADE OF NEW LINK BUILDING. NUCOR CLASSIC PANEL OR SIMILAR WALL PANEL "GRAY" COLOR TO MATCH EXISTING NORTHERN WAREHOUSE INSTALLED VERTICALLY WITH CONCEALED CLIPS. NORTHERN WAREHOUSE PANELS TO BE INFILLED AS NEEDED WITH MATCHING PANELS. **IN ACCORDANCE TO ZONING AMENDMENT HEARING DATED FEBRUARY 14TH, 2023 (PC 22-024); THE MATERIALS ON THE WEST (REAR) ELEVATION, STANDARD METAL WAREHOUSE SIDING (TO MATCH EXISTING NORTHERN WAREHOUSE) WILL BE PROVIDED.**		
MT-3	METAL ROOF PANEL	PREFINISHED STANDING SEAM METAL ROOFING.		
MT-4	GUTTER AND DOWNSPOUTS	NUCOR OR SIMILAR STANDING SEAM METAL ROOFING COLOR TO MATCH NUCOR "GRAY" WALL PANELS GUTTERS AND DOWNSPOUTS BY PRE-ENGINEERED METAL BUILDING SUPPLIER. GUTTERS TO MATCH PREFINISHED STANDING SEAM METAL ROOFING. DOWNSPOUTS TO MATCH METAL WALL PANEL ON ELEVATION BEING PROVIDED ON.		
PT-1	HOLLOW METAL DOOR PAINT 1	FRAME AND DOOR PAINTED TO MATCH MT-1		
PT-2	HOLLOW METAL DOOR PAINT 2	FRAME AND DOOR PAINTED TO MATCH MT-2		
DKEQ1	NORTHERN WAREHOUSE DOCK EQUIPMENT	DOCK LEVELER: RITE HITE RH5000 VEHICLE RESTRAINT: RITE HITE GWL-2300 GLOBAL WHEEL-LOK DOCK SHELTER: RITE HITE ECLIPSE DOCK SHELTER DOCK DOORS: RITE HITE RITE-FLEX SECTIONAL DOCK DOOR		
DKEQ2	NEW LINK BUILDING OVERHEAD DOORS	DOCK DOORS: RITE HITE RITE-FLEX SECTIONAL DOCK DOOR		



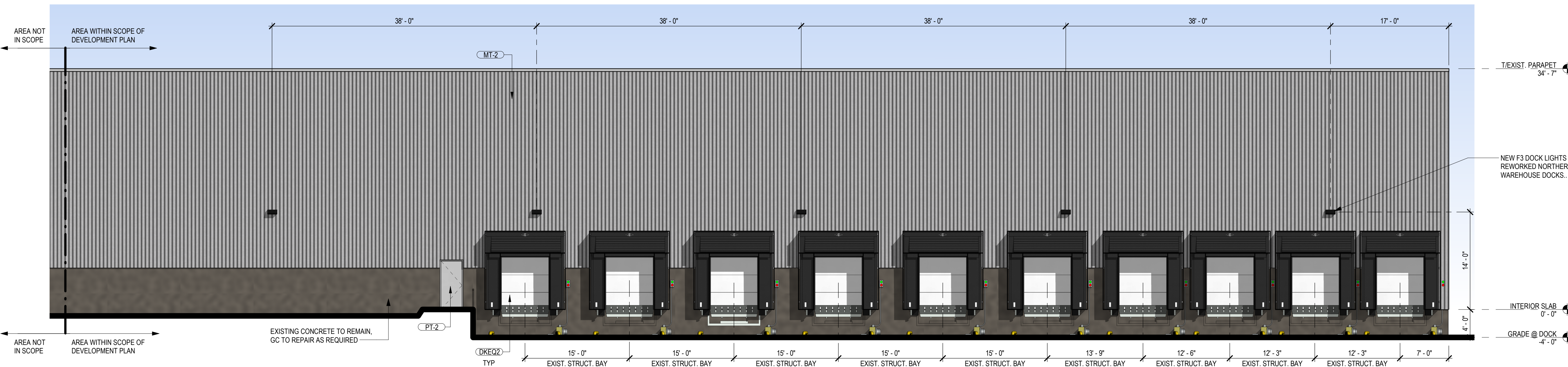
03 WEST ELEVATION - NEW EXPANSION LINK BUILDING

SCALE: 1/8" = 1'-0"



02 EAST ELEVATION (FACING CALUMET AVE) - NEW EXPANSION LINK BUILDING

SCALE: 1/8" = 1'-0"



01 WEST ELEVATION @ NORTHERN WAREHOUSE TRUCK DOCK REWORK

SCALE: 1/8" = 1'-0"

PROPOSED EXPANSION LINK AND
DOCK REWORK EXTERIOR ELEVATIONS



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Chicago, IL 60661

SCALE: 1/8" = 1' 0"


DEVELOPMENT
PLAN REVIEW

9200 CALUMET AVE
MUNSTER, IN 46321

03/07/2023 Project #: 22079

A003





Drawn By: Noah Rabic

Checked By: Bob Cantarutti

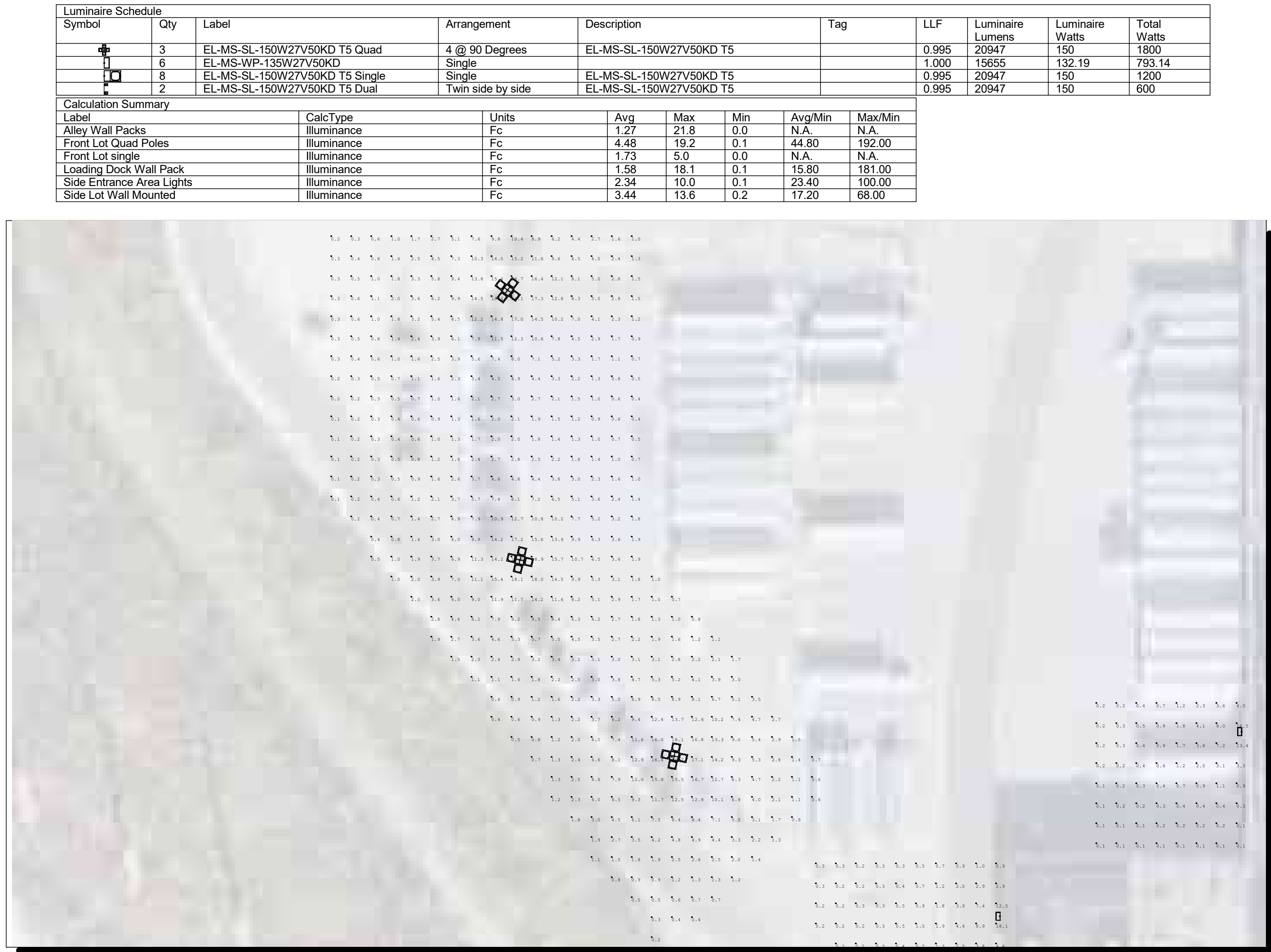
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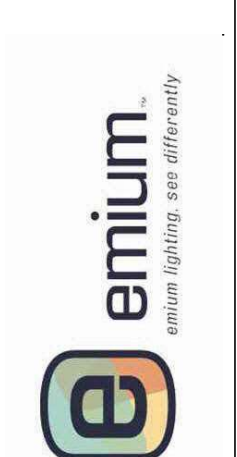
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Lakes Business Center

Quad and Wall Mount Addition

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Checked By: Bob Cantarutti

Date: 3/7/2023

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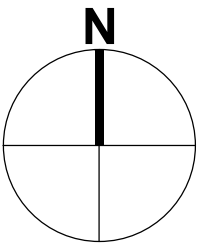
Lakes Business Center

Quad and Wall Mount Addition

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TRUE

SITE LIGHTING PHOTOMETRIC PLAN

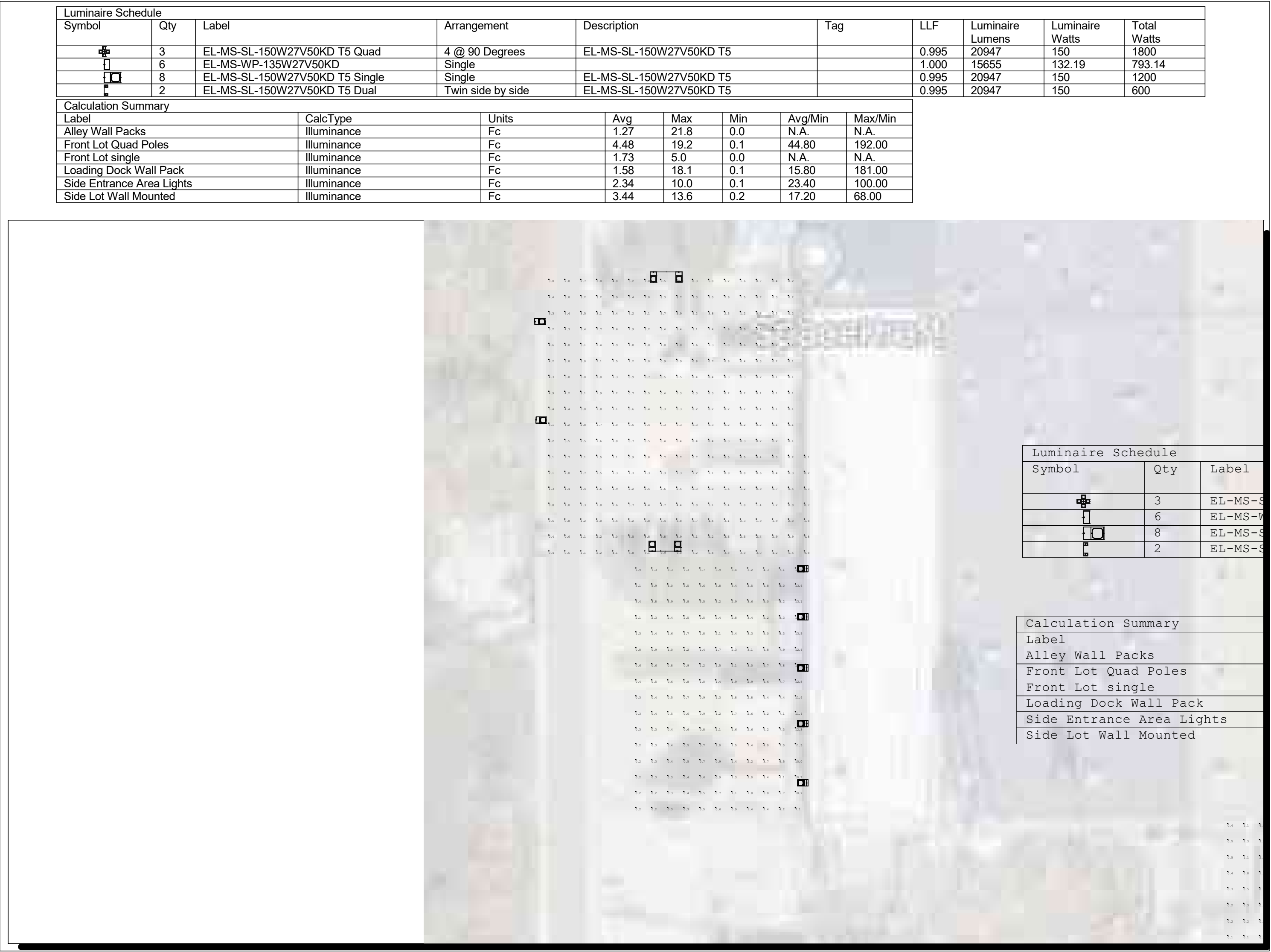
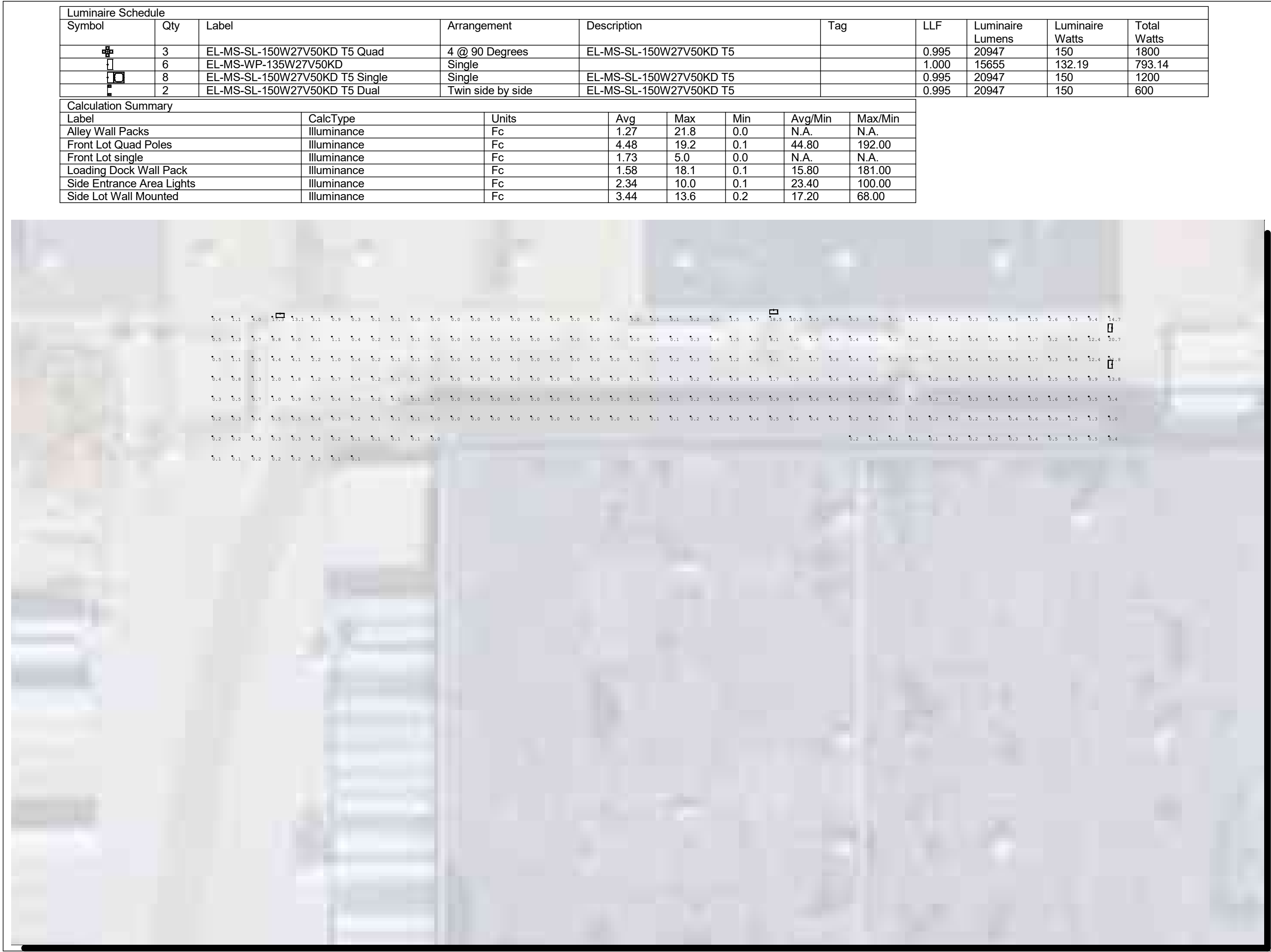


LAKE BUSINESS CENTER

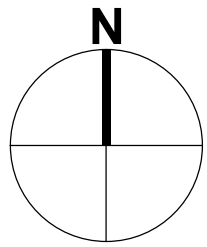
DEVELOPMENT
PLAN REVIEW
9200 CALUMET AVE
MUNSTER, IN 46321

03/07/2023 Project #: 22079

A004



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TRUE

SITE LIGHTING PHOTOMETRIC PLAN



LAKE BUSINESS CENTER

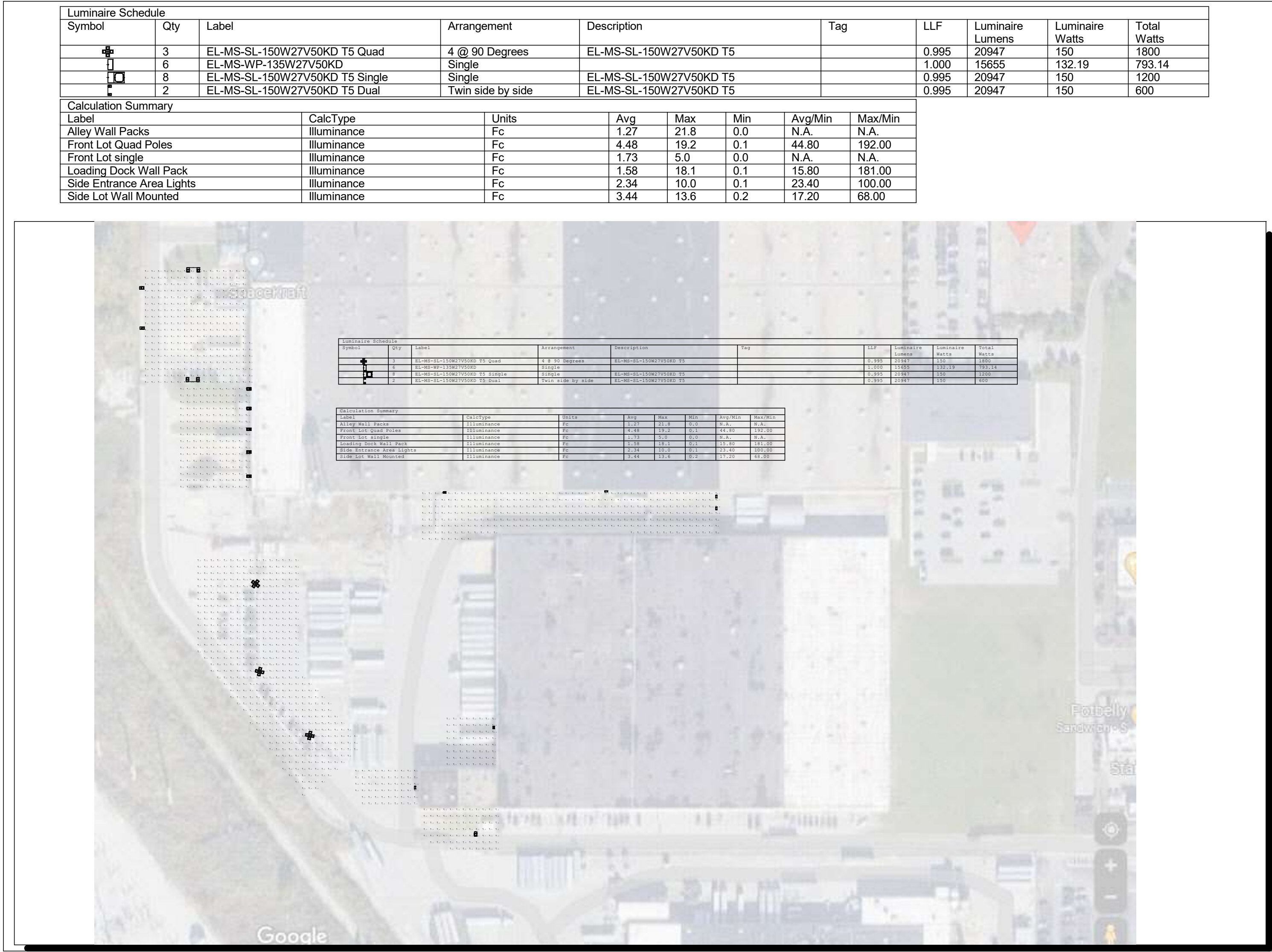
DEVELOPMENT
PLAN REVIEW


9200 CALUMET AVE
MUNSTER, IN 46321

03/07/2023 Project #: 22079

A005

SITE LIGHTING PHOTOMETRIC PLAN

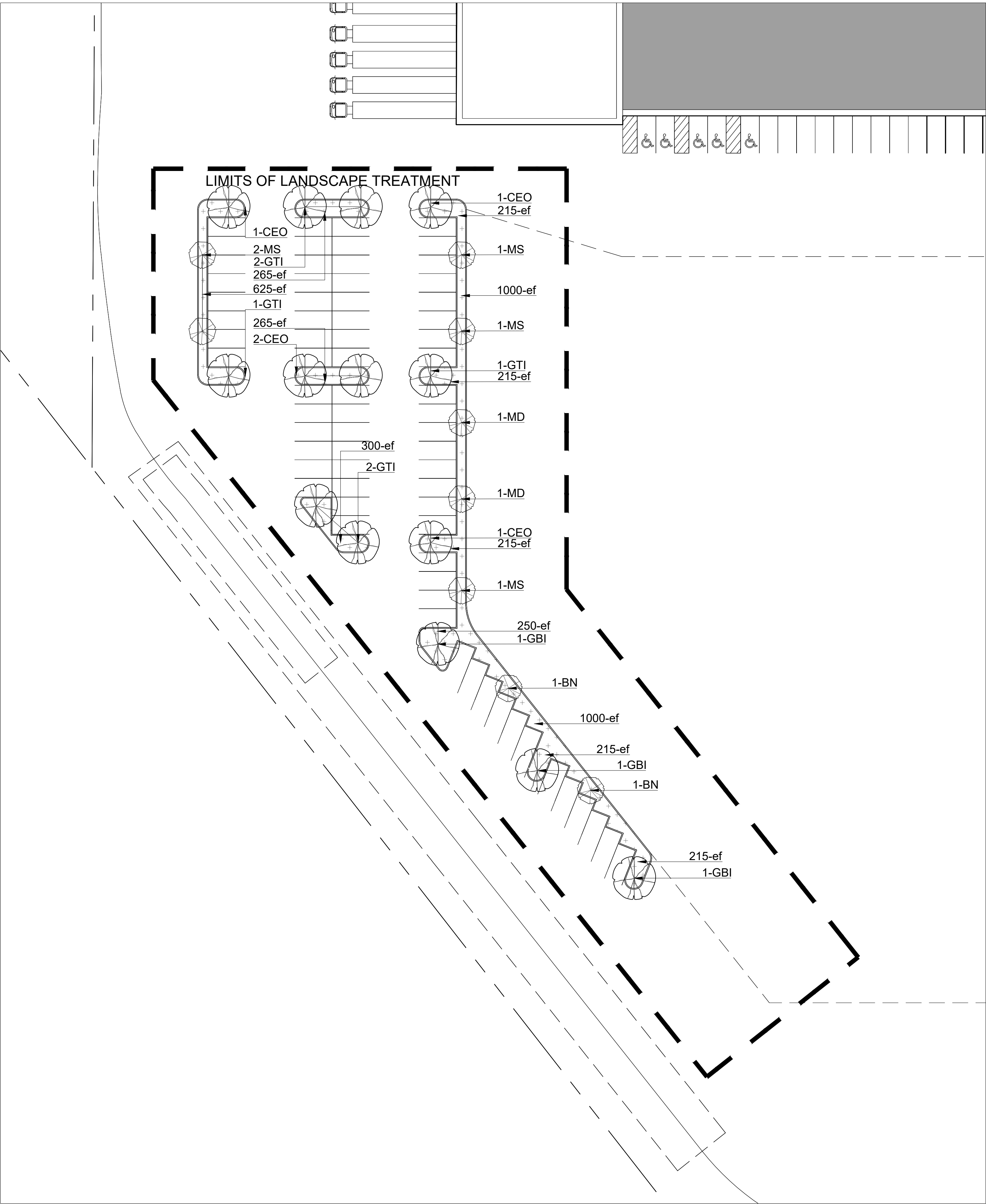




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Comments	
Date	
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Revisions	
Drawn By: Noah Ratic	Checked By: Bob Cantanuti
Date: 3/7/2023	Scale: Custom
Lakes Business Center	Quad and Wall Mount Addition

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SOUTHWEST PARKING LOT PLAN

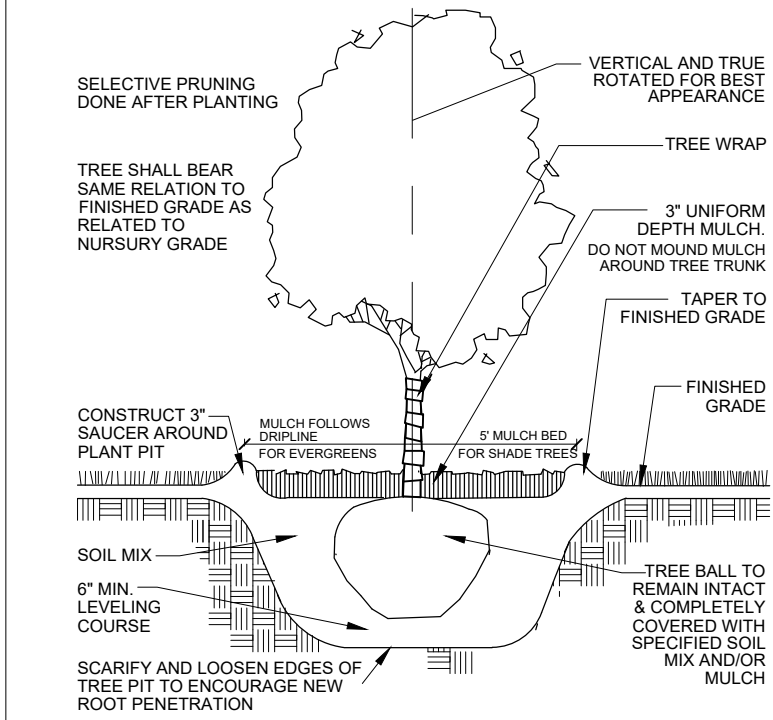
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PARKING LOT LANDSCAPE REQUIREMENT SUMMARY

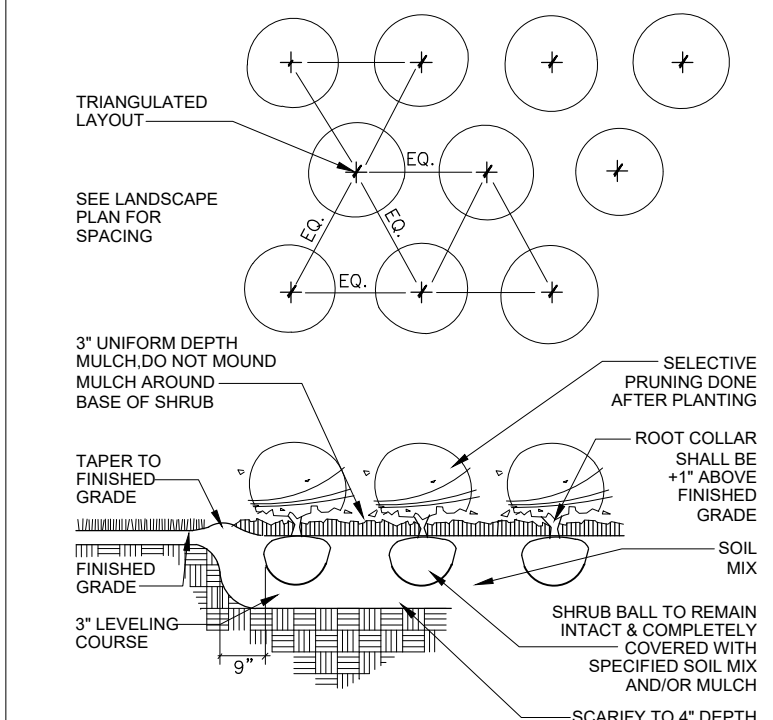
INTERNAL PARKING AREA - 1 ISLAND EVERY 10 PARKING SPACES. 1 SHADE TREE EVERY ISLAND. DOUBLE ISLANDS MUST HAVE 2 TREES.

PROPOSED SPACES:	70
REQUIRED ISLANDS:	7
PROVIDED ISLANDS:	11

PARKING LOT BUFFER - 25% OF SPACE BETWEEN PARKING LOT AND DRIVE AISLE SHALL BE BUFFERED.



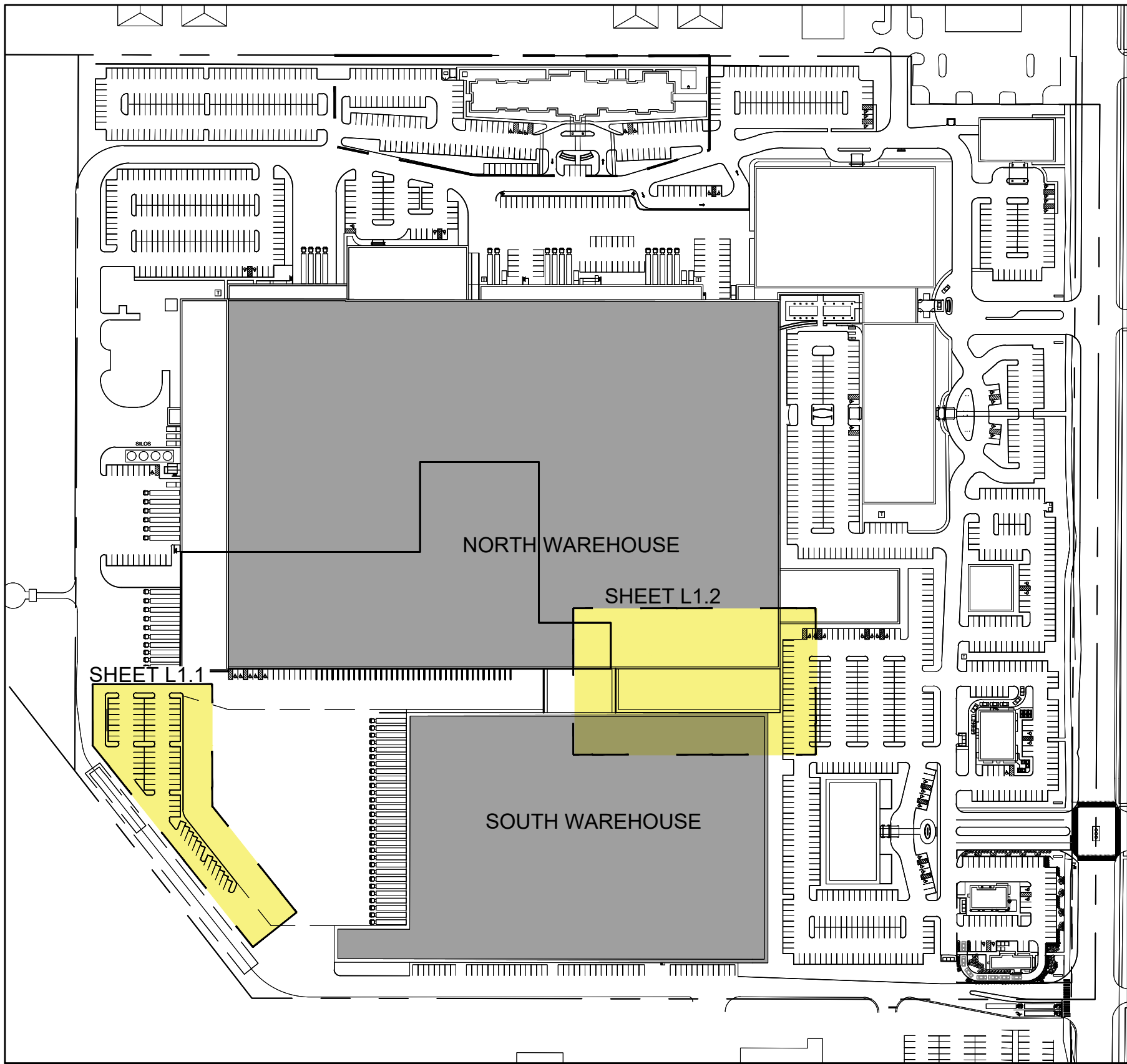
1 TREE PLANTING DETAIL
L1.1 SCALE: NO SCALE



2 GROUNDCOVER DETAIL
L1.1 SCALE: NO SCALE

GENERAL CONSTRUCTION NOTES

- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- FOUR FOOT HIGH FENCING OR OTHER RIGID MATERIAL IS TO BE ERECTED AROUND THE DRIP-LINE OF ALL TREES TO BE SAVED.
- PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
- ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESN'T MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
- ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
- ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
- ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
- ALL PARKING LOT ISLANDS SHALL BE BACKFILLED WITH THE FOLLOWING: 2' OF BLENDED GARDEN SOIL MIX (60% TOPSOIL, 30% COMPOST, 10% SAND) OR 6" OF ONE STEP BY MIDWEST TRADING, TOP DRESSED AND TILLED INTO 18" OF TOPSOIL.
- ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET. UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.



KEY PLAN

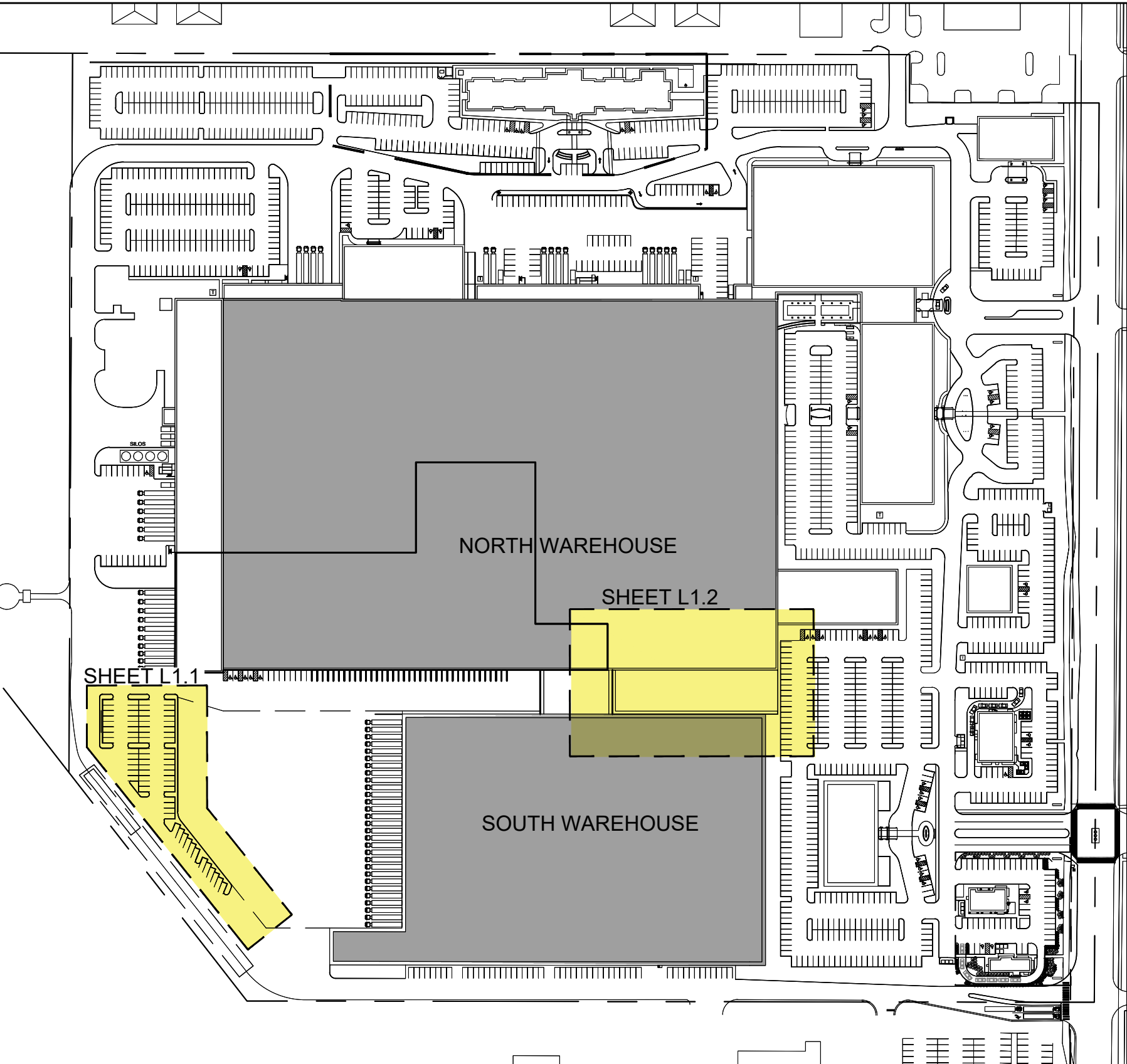
SCALE: 1" = 200'-0"

no.	revision	description	initial	date
		ISSUED FOR REVIEW	KMT	03-03-23



Master Plant List						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
Shade Trees						
AFR	6	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB		
CEO	5	CELTUS OCCIDENTALIS	HACKBERRY	3" BB		
GBI	3	GINKGO BILOBA	GINKGO	3" BB		MALE SPEC. ONLY
GTI	6	GLEDITSIA TRIACANTHOS F. INERMIS	THORNLESS HONEYLOCUST	3" BB		
TAR	4	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	Native	
Ornamental Trees						
BN	2	BETULA NIGRA	RIVER BIRCH	8' BB	Native	
MD	2	MALUS 'DONALD WYMAN'	CRABAPPLE	6' BB		25', GREEN, LT PINK
MS	5	MALUS SARGENT	SARGENT CRABAPPLE	6' BB		8', GREEN, PINK
ef	4780	EUONYMOUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS		

No-Mow Fescue Seed Mix		
Botanical Name	Common Name	PLS lbs/ACRE
Permanent Grasses/Sedges:		
<i>Festuca brevipila</i>	Hard Fescue	35.00
<i>Festuca ovina</i>	Sheep Fescue	35.00
<i>Festuca rubra subs. fallax</i>	Chewings Fescue	35.00
<i>Festuca rubra</i>	Red Fescue	35.00
<i>Festuca rubra var. rubra</i>	Creeping Red Fescue	35.00
Total		175.00
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	32.00
Total		32.00



KEY PLAN

SCALE: 1" = 200'-0"

Kathryn Talty
landscape architecture

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no.	revision	description	initial	date
1	1	ISSUED FOR REVIEW	KMT	03-03-23

LBC PEPSI
9200 CALUMET AVE
MUNSTER, IN

LANDSCAPE PLAN
MASTER PLANT LIST
MASTER PLANT LIST
SEED MIX

date	03-02-23	drawn	EN	checked	KMT
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job no.
23170

sheet no.
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