



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Tom Vander Woude, Planning Director

Meeting Date: September 14, 2021

Agenda Item: PC Docket No. 21-012
PC Docket No. 21-013
PC Docket No. 21-014

Applications: **21-012 Planned Unit Development Amendment**
21-013 Commercial Subdivision Preliminary Plat
21-014 Development Plan Approval

Hearing: **PRELIMINARY HEARING**

Summary: Hospitality Project Services requesting an amendment to the Lake Business Center PUD, approval of the 2nd Resubdivision of Lot 1 of Lake Business Center Subdivision, and approval of a development plan to permit the development of a Home2Suites hotel at 9200 Calumet Ave. in the Lake Business Center PUD

Applicant: Hospitality Project Services represented by Darci Pellom of Cripe Architects and Engineers

Property Address: 9200 Calumet Avenue

Current Zoning: Planned Unit Development

Adjacent Zoning: North: SD-PUD
South: SD- PUD
East: SD- PUD
West: SD- PUD

Action Requested: Schedule public hearing

Additional Actions Required: Public hearing
Findings of fact
Approval of final plat
Town Council approval of PUD amendment

Staff Recommendation: **Schedule public hearings**

Attachments:

1. Project Narrative
2. Plat of Survey prepared by Cripe dated 08.26.2021
3. Updated Parking Analysis for Lake Center Business PUD prepared by Cripe dated 08.25.2021
4. Vicinity Map
5. Home2Suites by Hilton civil plan set prepared by Shrewsberry dated 07.22.2021
6. Site Development Hydraulic Narrative prepared by 06.29.2020
7. Home2Suites Munster, Indiana architectural renderings dated 06.18.2020
8. Trash enclosure plan and details
9. Exterior Elevations prepared by Cripe dated 06.01.2020
10. Site photometric plan 06.29.2020
11. Light fixture specification sheets
12. Landscape plan prepared by Hitchcock Design Group dated 06.26.2020
13. Preliminary plat prepared by Cripe dated 09.09.2021

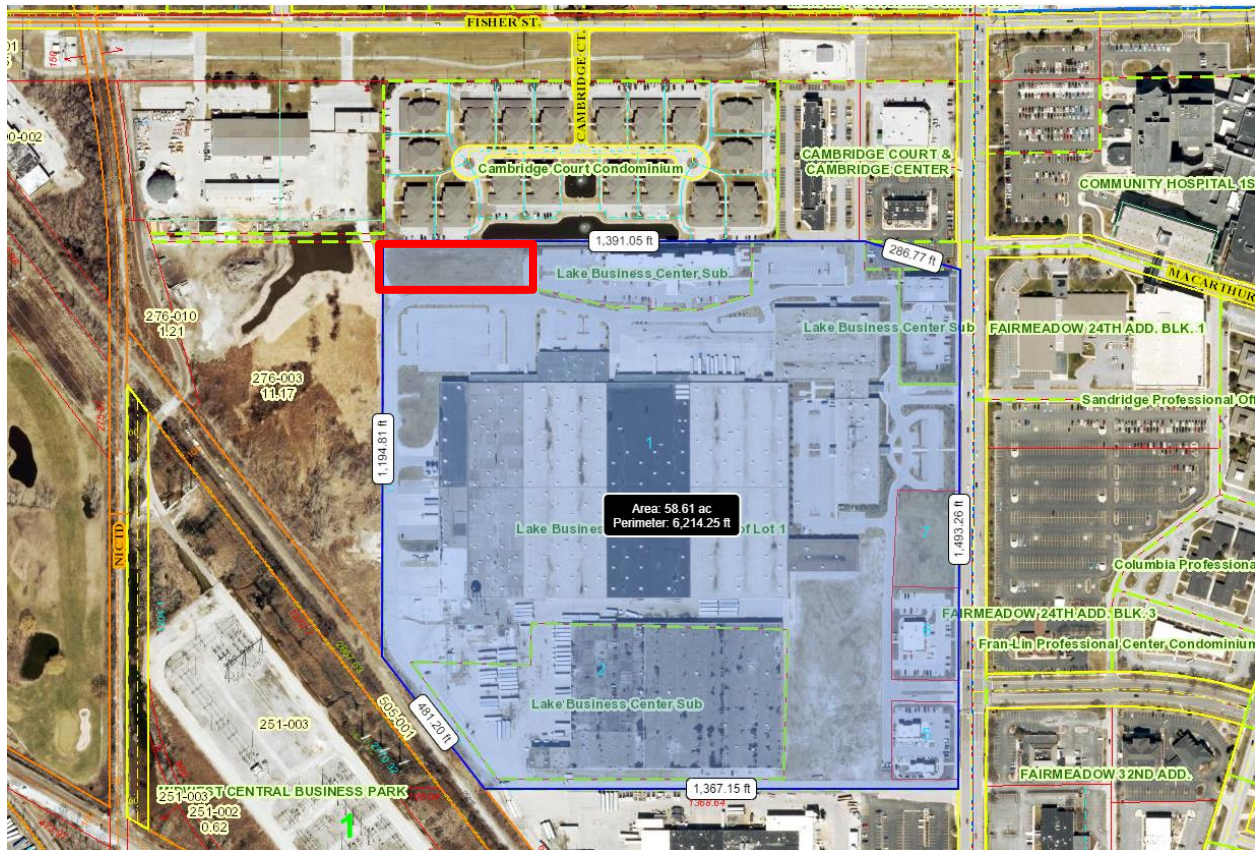


Figure 1: Lake Business Center PUD in blue. Subject property outlined in red.

BACKGROUND

1005 Ridge Road • Munster, IN 46321 • (219) 836-8810 • Police/Fire Emergencies 911

Police Non-Emergency (219) 836-6600 • Fire Non-Emergency (219) 836-6960

www.munster.org

Hospitality Project Services, represented by Cripe Architects and Engineers, has presented plans to construct a four-story, 107 room Home2Suites with a 21-space parking lot at the northwest corner of the Lake Business Center PUD at 9200 Calumet Avenue. The Lake Business Center PUD is an approximately 56-acre parcel of land that includes multiple lots located along Calumet Avenue south of Fisher Street and north of the Pepsi Bottling plant. The PUD contains a mix of uses that includes professional offices, medical offices, restaurants, warehousing and manufacturing, and a 99-room hotel.



Figure 2: Google streetview of subject parcel

The area of the proposed development is currently a 1.489 acre open grass berm with 9 parking spaces, located west of an existing Homewood Suites hotel. The west half of the parcel covers an underground stormwater detention structure. The area is not platted as a separate lot, but is included in the Resubdivision of Lot 1 For Lake Business Center. The site is accessed by a 27' private road established by an ingress-egress easement.

The Lake Business Center was established in 2006 as a lifestyle center development. It has been amended multiple times since then to modify the uses and form of the development and to develop the outlots along Calumet Avenue. It is currently governed by a site plan and a set of sign standards.

The site plan is shown below and shows the subject parcel to be developed as a 153 space parking lot for shared use within the development.

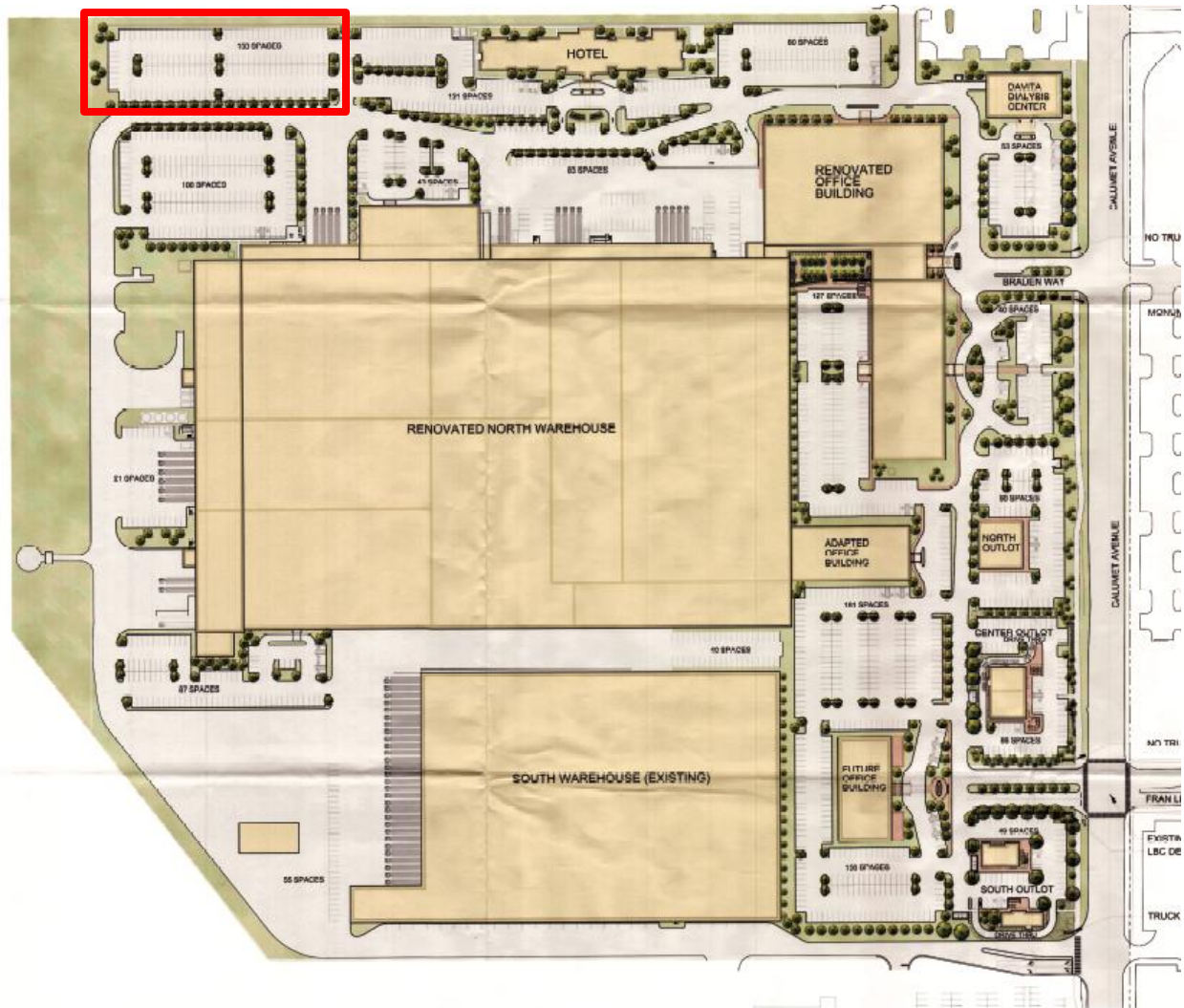


Figure 3: Lake Business Center site plan. Subject property outlined in red.

To construct the proposed hotel, the applicant is requesting three actions:

1. Amendment of the Lake Business Center Planned Unit Development to remove the planned parking lot and permit the construction of a hotel.
2. A one-lot resubdivision of the Lake Business Center subdivision to plat the subject property as a separate lot
3. Approval of a development plan for the proposed Home2Suites hotel

All three actions will require public hearings by the Plan Commission. The Plan Commission can approve the subdivision and the development and will forward a recommendation to the Town Council for action on the PUD amendment.

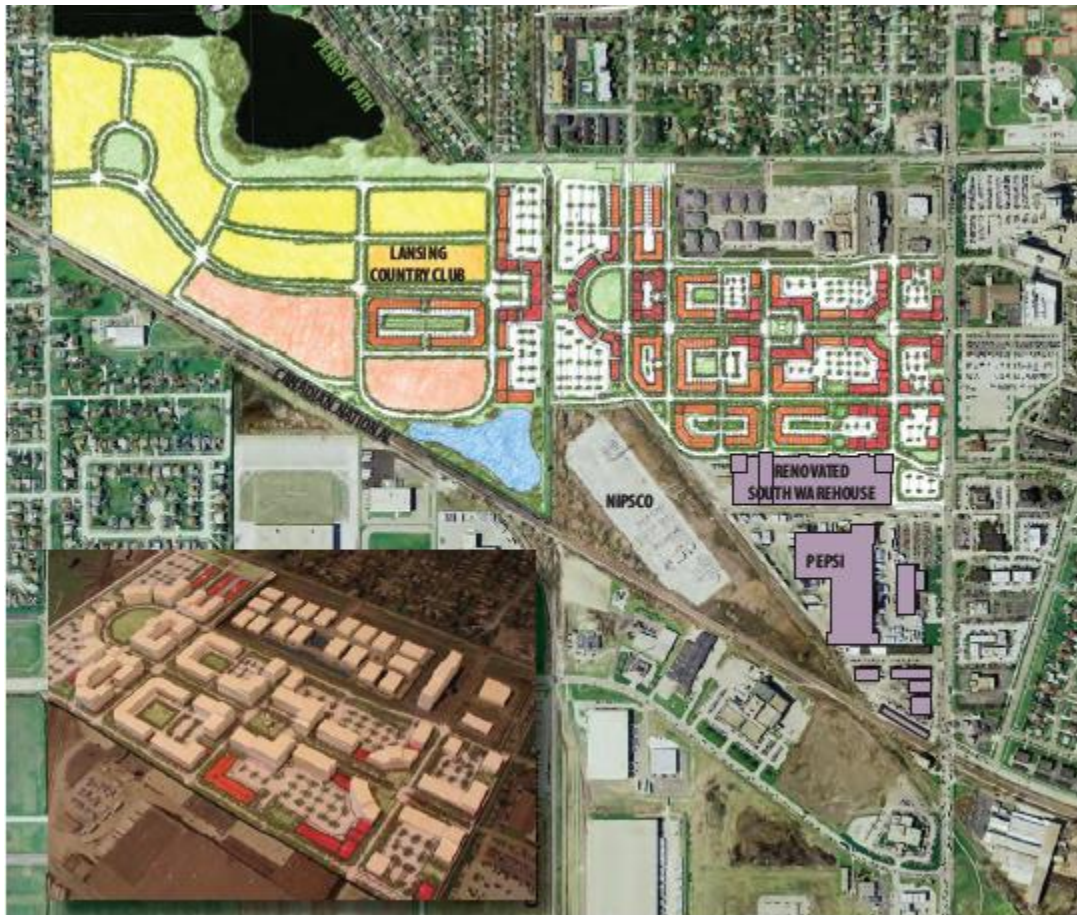
Analysis

The approval of the Planned Unit Development amendment is a rezoning of the property, which is a legislative action and is left to the discretion of the Town Council upon the recommendation of the Plan Commission.

The criteria for reviewing amendments to the zoning ordinance is established in Indiana Code 36-7-4-601, et seq.

- (1) securing adequate light, air, convenience of access, and safety from fire, flood, and other danger;
- (2) lessening or avoiding congestion in public ways;
- (3) promoting the public health, safety, comfort, morals, convenience, and general welfare; and
- (4) accomplish the purposes of the Indiana statute regarding zoning.

In addition, the Plan Commission is to pay reasonable regard to the Comprehensive Plan. In this instance, the 2010 Comprehensive Plan had identified the Lake Business Center as a mixed-use transit-oriented district under the expectation that a South Shore station would be constructed at its west end. In the ensuing years, the train station was relocated, though, so the proposed plan is no longer applicable.



58 CHAPTER 3: REDEVELOPMENT OPPORTUNITIES

Figure 4: LBC concept plan from 2010 Munster Comprehensive Plan

With respect to the subdivision, the approval is a ministerial decision based on the established criteria of the Munster Subdivision ordinance. Staff has reviewed the plat presented here and finds it to be in compliance with the standards of that ordinance, with the exception of the drainage plans which are still under review and the subject of discussion between the Town and the applicant.

Unlike other Planned Unit Developments in the Town of Munster, there are no development standards included in the PUD ordinances for the Lake Business Center, other than the shared parking minimums and sign standards. The development plan, therefore, defaults to the Munster Zoning Ordinance standards. These are as follows:

- i. all off-street parking must be located in the Third Lot Layer;
- ii. parking and loading space shall be provided in accordance with Section 26- 6.405.O.1, Section 26-6.405.O.2, and **Table 26-6.405.O-1 (Vehicular Parking Requirements)** and **Table 26-6.405.O- 5 (Loading Space Requirement)**, and shall be designed, located, and arranged in accordance with Section 26-6.405.O;
- iii. garbage or trash receptacles shall be provided in accordance with Section 26- 6.405.O;
- iv. landscaping, Screens, and Streetscreens shall be provided as if the property were in Character District CD-5;
- v. Buildings must be Setback from the front Lot Line no more than twenty feet (20') from the Enfronting public or private Thoroughfare or Drive Aisle;
- vi. Buildings must be oriented toward and be parallel to a public or private Thoroughfare, Drive Aisle, or Open Space;
- vii. all public and private Thoroughfares or Drive Aisles must comply with the Thoroughfare standards as if the property were in Character District CD-5, including without limitation, the Public Frontage standards;
- viii. Building Facades must have an entrance facing a public or private Thoroughfare or Drive Aisle;
- ix. signage shall comply with the Sign Standards of Division 7 as if the property were in Character District CD-5;

Staff has reviewed the plans preliminarily and finds the project to be in compliance with these standards with the exception of the proposed signage, adherence to the Thoroughfare standards, and some minor items related to lighting, architecture, and landscaping. Staff also notes that the location of the proposed parking lot is to the front of the building, which is typically not permitted. In this instance though, the parking is separated from the building by a drive aisle so that it can be considered a separate parking lot, rather than a parking area for the building.

Staff notes that the required parking for the hotel is 1.25 spaces per room for a total of 133 required spaces. 21 new spaces are proposed. The originally prepared parking plan for the Lake Business Center included 153 spaces on the subject property and was still 216 spaces fewer than required by Town code. As noted these spaces were never developed, so the parking deficit in the development is in fact 369. The elimination of 112 spaces will increase this deficit to 481. The applicant is proposing to use an existing lot to the south to accommodate the hotel's parking needs. Anecdotally, from staff visits to the site, this appears to be viable, since that lot is not as heavily used as others. That being said, staff recommends that a formal letter or agreement be made between the owners of the hotel site and the owners of the adjacent property to ensure that the shared parking is maintained for the life of the hotel.

MOTION

The Plan Commission may wish to consider the following motions:

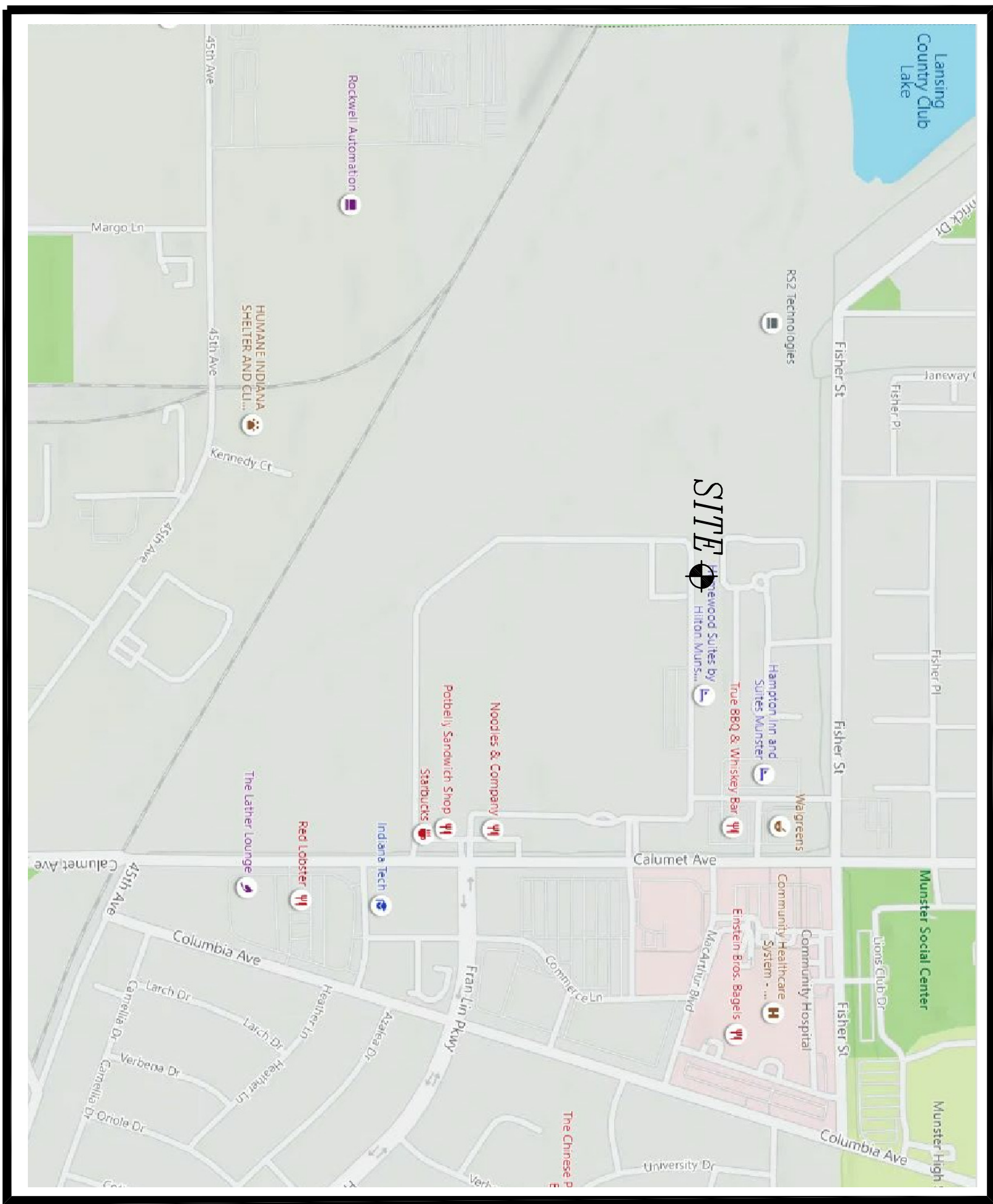
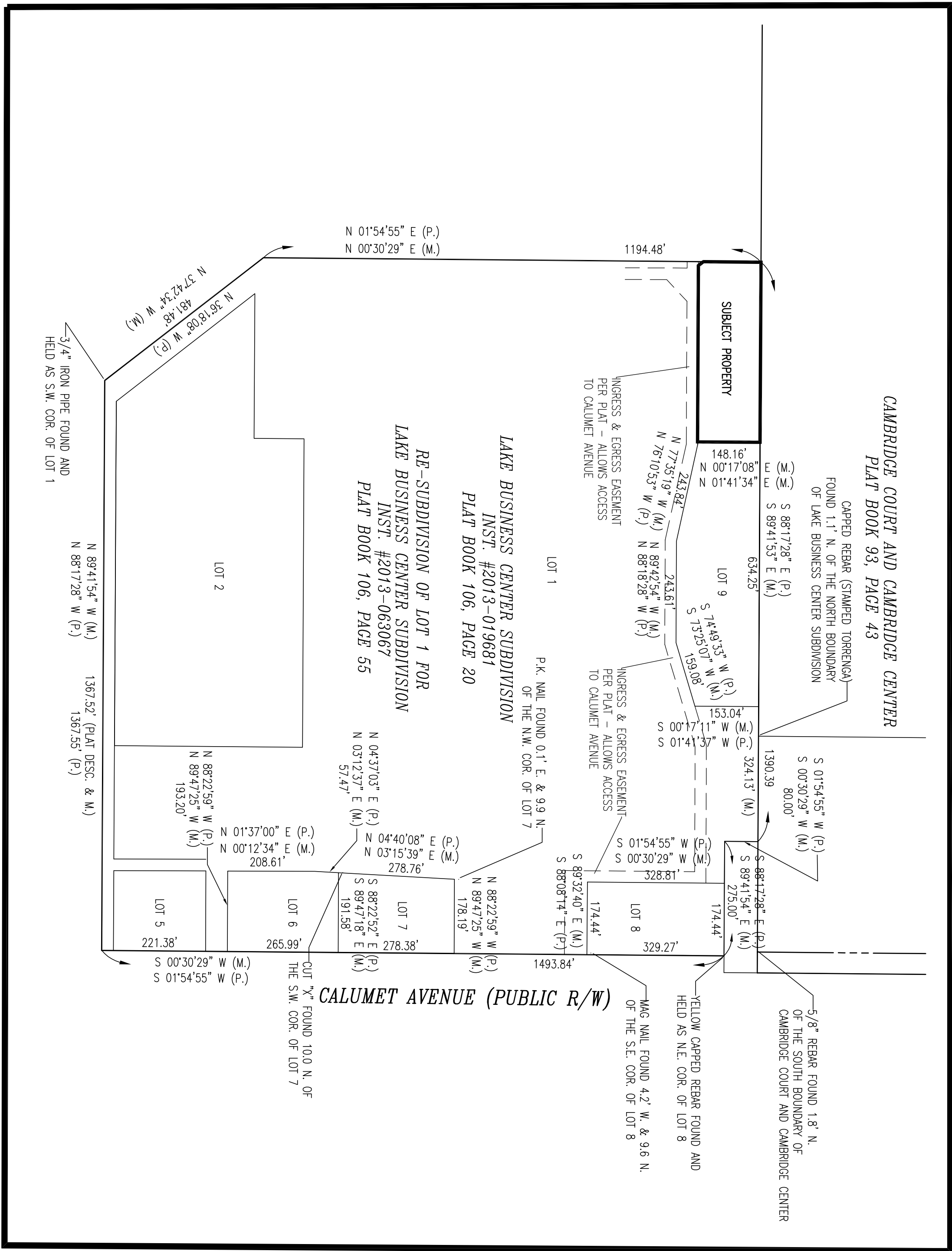
1. *Motion to schedule a public hearing for PC Docket 21-012.*
2. *Motion to schedule a public hearing for PC Docket 21-013.*
3. *Motion to schedule a public hearing for PC Docket 21-014.*

Home2 Suites Munster, Indiana

Project Narrative

The proposed Home2 Suites hotel is a 107 room, 4 story wood framed structure to be built on the northwest corner of the Lake Business Center Planned Unit Development, 9200 Calumet Avenue. The adjacent uses include a residential area on the north and undeveloped land on the west. On the south is an interior access road that provides entry into the parking area and internal circulation to the front receiving area. The site is designed so that a welcoming area is created immediately east of the building including a street style design approach with broad islands including generous walks, street trees and plantings. Shared parking is available on the east and south. On the east 55 spaces are available while on the south 58 spaces are available. On any given day approximately 20 to 30 of these spaces are used. With the 21 new spaces provided in the development area added to the shared parking, the required 134 space count is easily met. Pedestrian crossings are provided to create safe walking circulation to and from the building.

The building exterior incorporate brick in two colors, a limestone first story with vertical elements at the long facades/entry corner and metal panel accents at the parapet and corner transitions in conformance with Munster zoning requirements. The entrance includes a generous Porte cochere and on the southeast a comfortable seating area for people watch or wait for family.

VICINITY MAP
NO SCALE

SUBDIVISION PLAT DETAIL

SCALE: 1"=200'

Certify to: Hospitality Project Services

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8, 9, 11, and 13 in Table A thereof. The field work was completed January 23, 2020 and August 25, 2021.

I, the undersigned, do hereby certify that to the best of my professional knowledge and belief the within plat accurately represents a survey performed on January 23, 2020 and August 25, 2021 of the within described real estate and that said survey was performed in accordance with Title 865, Article 1, Rule 12 of the Administrative Code establishing minimum standards for the practice of Land Surveying in Indiana.

LAND DESCRIPTION

The following decision is based on a survey performed by Cripe and certified by Eric C. White, P.S., No. 292000012, dated August 26, 2021, Job No. 19049-10000. Part of Lot Number 1 of Re-Subdivision of Lot 1 for Lake Business Center Subdivision, on addition to the Town of Munster, Lake County, Indiana, as per plat of record, recorded as instrument No. 2013-063007, Plat Book 106, Page 52, in the Office of the Recorder of Lake County, Indiana, more particularly described as follows:

BECKING at the west corner of said Lot 1; thence South 89 degrees 44 minutes 55 seconds East (grid bearing based upon Indiana State Plane Coordinate System – East Zone, NAD83) along the north boundary of said Lot 1 a distance of 420.211 feet to the northwest corner of Lot 9 of Lake Business Center Subdivision, recorded as Instrument No. 2013-01-09681, in said Recorder's Office and a 5/8 inch diameter rebar with yellow cap stamped "Cape Firm No. 0055" (hereinafter referred to as "rebar"); thence South 00 degrees 17 minutes 06 seconds West along the west line of said Lot 9 and the South/East extension thereof 149.97 feet to the boundary of an ingress and egress easement as shown on said re-Subdivision and a moat and with westerly stamped Cape Firm No. 0055; thence North 89 degrees 44 minutes 52 seconds West along said north boundary 423.13 feet to a rebar; thence North 57 degrees 42 minutes 06 seconds West 15.51 feet to the west boundary of said Lot 1 and a rebar; thence North 00 degrees 30 minutes 29 seconds East along said east boundary 138.23 feet to the POINT OF BEGINNING, containing 1.488 acres, more or less.

I further certify that the subject property is located within an unshaded Flood Zone X (areas determined to be outside the 0.2% annual chance floodplain) as plotted by scale from "FIRM", Flood Insurance Rate Map, Community Number 180139 0117 E, Town of Munster, Lake County, Indiana, effective date, January 18, 2012, as prepared by the Federal Emergency Management Agency. The accuracy of any flood hazard data shown on this Flood Insurance Rate Map is subject to map scale uncertainty and to any other uncertainty in location or elevation on the reference

SURVEYOR'S REPORT

In accordance with the 865, Article 1, Rule 12, of the Indiana Administrative Code, establishing minimum standards for the practice of land surveying in Indiana, effective August 16, 1991, the following observations and opinions are submitted regarding the various uncertainties in the location of the lines and corners established on this survey as a result of:

- b) Avoidability and condition of reference monuments;
- c) Clarity or ambiguity of the record description used and of adjoining descriptions and the relationship of the lines of the subject tract with adjoining lines;
- d) Occupation or possession lines;
- e) The relative positional accuracy of the measurements;

This is a survey of a new parcel of land that is part of Lot 1 of the Re-Subdivision of Lot 1 of Lake Business Center Subdivision, recorded as Instrument No. 2013-063067, Plat Book 106, page 55.

The location of the corners and the lines of the subject real estate is dependent upon the location of the west and north boundaries of said Lot 1, the west line of Lot 9 of Lake Business Center Subdivision (Inst. No. 2013-019681, Plat Book 106, page 20), and the north boundary of the 27 foot wide ingress-egress easement as shown in said Re-Subdivision of Lot 1 of Lake Business Center Subdivision and said Lake Business Center Subdivision.

The basis of bearings is Indiana State Plane Coordinate System West Zone (NAD83)

The location of the pitpits for Lake Business Center Subdivision and the Re-Subdivision of Lot 1 for Lake Business Center Subdivision were established from holding the plotted angles and distances and holding a yellow cedar¹ found and accepted as the northeast corner of Lot 8 and relating it to fit a 3/4 inch from pitpits found and accepted as the southwest corner of Lot 1. Several other monuments were found near the corners of the lots within the plot but none of them fit together. If some of the other found monuments were used to fix the location of the pit it would create a possible overlap of 9 to 10 feet with the plot to the north (Cambridge Center and Cambridge Center) based on occupation and monuments found along the line between Lake Business Center Subdivision and Cambridge Court and Cambridge Center.

The south line of the subject property is contiguous with the west line of Lot 1 of Lake Business Center. The east line of said subject property is contiguous with the west line of Lot 9 of said Lake Business Center Subdivision. The south line of the subject property is contiguous with the north boundary of the ingress–egress easement shown on said Re-Subdivision and said Lake Business Center.

The site has access to Calumet Avenue (public right of way) through the platted ingress-egress easement.


Occupation evidence is as shown on the within survey. There are no fences located along the boundary of the subject real estate. There is an asphalt parking area that is located as much as 283 feet onto the east side of the property. It appears to be used by the east adjoining hotel property. There is a stone access drive that cuts across the southwest corner of the property that appears to allow access to a property to the north that is owned by the Town of Munster.

There are no major discrepancies (gaps and overlaps) between the subject property and the adjoining plats and deeds.

This survey is classified as an urban survey. The acceptable relative positional accuracy for an urban survey is 0.07 feet + 50 ppm, as defined in 865 I.A.C. 1-12-7.

The within plot of survey was prepared without the benefit of current title and as such is subject to any information disclosed in said document. The plats and deeds were provided by Indiana Search Technologies.

FROM: PM/ECW	TO: CC & J. WHITE
DATE: 26. 8. 2021	TIME: 10. 30. 2021
ORDERED BY: <i>Eric C White</i> NAME: ERIC C. WHITE, P.S. #29700012 SEX: 8-26-2021	

Sheet No. 2 of 2 Page Number 150149-10000	Scale 1" = 30'	Legal Township: NORTH TWP. — LAKE CO.			ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY			 <div>3939 Priority Way South Drive, Suite 200 Indianapolis, Indiana 46240 (317) 844-6777 E-Mail cripe@cripe.biz</div> <ul style="list-style-type: none">● Architecture + Interiors● Civil Engineering● Survey + 3D Laser Scanning● Energy + Facilities● Equipment Planning● Real Estate Services	Revisions		
		Section: 25	Township: 36-N	Range: 10-W	HOME2 SUITES - MUNSTER, IN				Mark	Date	Description
		Record Owner: LBC OWNER LLC			HOSPITALITY PROJECT SERVICES						
					2501 S. HIGH SCHOOL ROAD						
					INDIANAPOLIS, IN 46241						
					PHONE: (317)-556-1585 FAX: (XXX)-XXX-XXXX						



Solutions by Design Since 1937

Telephone 317.844.6777

3939 Priority Way South Drive, Suite 200, Indianapolis, Indiana 46240

www.cripe.biz

Updated Parking Analysis for Lake Center Business PUD

DATE: August 25, 2021

PROJECT: Home2 Suites

NEAREST ADDRESS: 9200 Calumet Avenue
Munster, IN 46321

ENGINEER: Cripe

CRIFE PROJECT NUMBER: 190149-10000

1.0 Introduction

A parking analysis report based on the PUD of the Lake Business Center Master Plan in Munster; Indiana as compared to the town standard of parking. This comparison includes parking space count with the proposed Home2 Suites hotel and current with the Homewood 2 Suites hotel. The previous parking analysis map used for comparison was provided by the Town of Munster Planning Department completed by OKW architects dated 2015. The PUD was reviewed and found to be silent on parking requirements, therefore the 2019 Zoning Code was used to determine parking count by use. The OKW plan shows the Lake Business Center to be 485 spaces under the town ordinance.

2.0 Project Description

2.1 General Description

The proposed hotel is situated in the Northwest section of the Lake Business Center. This is a SD-PUD district in the town of Munster. To the south of the project is a parking lot and a warehouse. To the east is the Homewood Suites hotel, the west is open space and the public works department, and to the north is multi-family residential.

Hilton Brand hotels standards requires one parking spaces per guest room for any new build hotel. The Home2 Suite will have 107 rooms. The proposed zoning ordinance requires 1.25 spaces per room.



Solutions by Design Since 1937

Telephone 317.844.6777

3939 Priority Way South Drive, Suite 200, Indianapolis, Indiana 46240

www.cripe.biz

2.2 Existing Conditions

The existing condition of the site is currently a green space with grass as the vegetation. In the master plan, the green space is transformed into a parking lot with 153 parking spaces and landscape islands. On the proposed PUD plan, there are several different types of buildings and 1489 shared total parking spaces.

2.3 Proposed Conditions

The proposed parking lot in the PUD shows a maximum of 153 parking spaces on the proposed hotel lot. The Home2 Suites parking includes 21 spaces on the 1.489 acres site. Shared parking with lot to the south and the Homewood Suites is anticipated for the new Home2 Suites hotel.

New parking is required to meet town code of standard parking requires. Per town code, the Lake Business Center must have 1981 parking spaces when fully utilized. The original plan allocated 268 spaces for a hotel which is sufficient for a 214-room hotel. The Homewood Suites was added with 99 rooms requiring 124 parking spaces leaving 144 spaces unallocated. With the addition of the 107 Room hotel requiring 134 spaces then 10 spaces of the original 268 allocated could be utilized for the Home2 Suites hotel. The Homewood Suites and Home2 Suites hotel combined requires per ordinance 258 parking between the two.

The PUD site includes 1489 parking spaces before the hotel. This does not meet with the town parking standards code with the variety of building uses in the PUD. After the hotel, the number of parking spaces would still be under the town requirements. The master plan proposal falls short of these numbers as well.

3.0 Conclusion

Table 1 shows a comparison of the parking count to the requirement per the town code. The first column is according to the 2015 study, with the second adding in Homewood Suite and then the third column is the addition of the Home2 Suites is incorporated into the Site Tabulations, Lake Business Center is 492 under spaced for town code. The outcome is the same after Home2 Suites is incorporated in the site tabulations.



Solutions by Design Since 1937

Telephone 317.844.6777

3939 Priority Way South Drive, Suite 200, Indianapolis, Indiana 46240

www.cripe.biz

Ordinance required Parking Counts - 2015 plans, adding Homewood Suites and Home2 Suites				
Use	Code Requirement	Ordinance required PUD Master Plan Parking Analysis - dated 2015	Added Home2 Suites - ordinance required	Total Provided Spaces (Allocated by proximity)
Medical Clinic	5.70/1000 SF	52	52	53
Hotel - Homewood Suite = 99 rooms	1.25/room	268	124	131
Renovated Office Building				
Office	3.30/1000 SF	100	100	80
Medical Clinic	5.70/1000 SF	316	316	167
Adapted Office Building				
Office	3.30/1000 SF	31	31	31
Medical Clinic	5.70/1000 SF	53	53	150
Renovated North Warehouse - Manufacturing				
Office	1.25/1000 SF	102	102	130
Manufacturing	1.25/1000 SF	113	113	166
Warehouse/Storage	0.70/1000 SF	370	370	104
South Warehouse - Storage	0.70/1000 SF	182	182	95
Future Office Building				
Medical Clinic	5.70/1000 SF	92	92	92
Office	1.25/1000 SF	53	53	64
North Outlot - Restaurant	5.00/SF or 2.5/seat (whichever is greater)	97	97	90
Center Outlot - Restaurant	5.00/SF or 2.5/seat (whichever is greater)	84	84	66
South Outlot - Restaurant	5.00/SF or 2.5/seat (whichever is greater)	68	68	49
Home2 Suites Hotel - Proposed	1.25/room	0	134	21
		Total	Total	Total
		1981	1971	1489



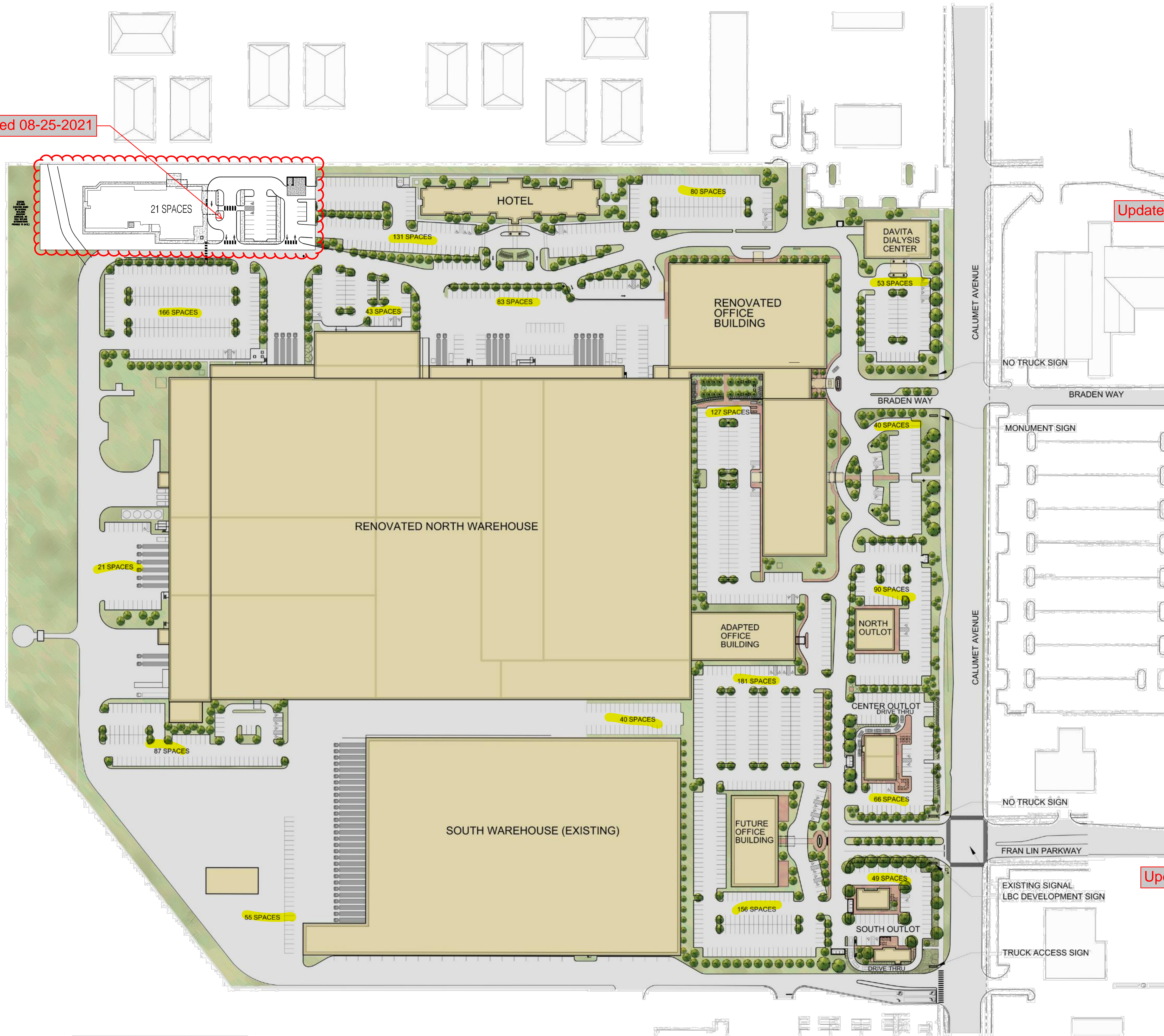
Solutions by Design Since 1937

Telephone 317.844.6777

3939 Priority Way South Drive, Suite 200, Indianapolis, Indiana 46240

www.cripe.biz

Updated 08-25-2021



Updated 8-25-2021

Home 2 Suites		HOTEL	107 Rooms	134 SPACES REQUIRED
SITE TABULATION:				
BUILDING	USE(S)	AREA	PARKING REQUIRED	
DAVITA DIALYSIS		9,000 SF		
	MEDICAL CLINIC	9,000 SF	52 SPACES REQUIRED	
Homewood Suites	HOTEL	99 Rooms	124 SPACE REQUIRED	
RENOVATED OFFICE BUILDING		106,100 SF		
	OFFICE	30,300 SF	100 SPACES	
	MEDICAL CLINIC	55,500 SF	316 SPACES	
	SERVICE AREAS	5,000 SF	NA	
	CIRCULATION	15,300 SF	NA	
ADAPTED OFFICE BUILDING		18,500 SF		
	OFFICE	9,250 SF	31 SPACES	
	MEDICAL CLINIC	9,250 SF	53 SPACES	
RENOVATED NORTH WAREHOUSE		649,200 SF		
	OFFICE	30,750 SF	102 SPACES	
	MANUFACTURING	90,000 SF	113 SPACES	
	WAREHOUSE/STORAGE	528,450 SF	370 SPACES	
SOUTH WAREHOUSE		259,175 SF		
	WAREHOUSE/STORAGE	259,175 SF	182 SPACES	
FUTURE OFFICE BUILDING		32,000 SF		
	MEDICAL CLINIC	16,000 SF	92 SPACES	
	OFFICE	16,000 SF	53 SPACES	
NORTH OUTLOT		6,000 SF		
	RESTAURANT	5,800 SF	97 SPACES	
	SERVICE	200 SF	NA	
CENTER OUTLOT		5,245 SF		
	RESTAURANT(114 SEATS)	2,404 SF	40 SPACES (46)	
	RESTAURANT (90 SEATS)	2,637 SF	44 SPACES (36)	
	SERVICE	204 SF	NA	
SOUTH OUTLOT				
	NORTH RESTAURANT(50EST)	2,250 SF	38 SPACES (20)	
	SOUTH RESTAURANT(50EST)	1,825 SF	30 SPACES (20)	
	SERVICE	200 SF	NA	
CODE REQUIRED PARKING RATIOS:				
USE	PARKING REQUIRED			
HOTEL	1.25 / ROOM			
RESTAURANT	5.00 / 300 SF			
	1.00 / 2.5 SEATS			
OFFICE	3.30 / 1,000 SF			
MEDICAL CLINIC	5.70 / 1,000 SF			
MANUFACTURING	1.25 / 1,000 SF			
WAREHOUSE/STORAGE	0.70 / 1,000 SF			
SITE PARKING ANALYSIS:				
PARKING REQUIRED	PARKING PROVIDED	DIFFERENCE		
1,981 SHARE SPACES	1,489 SHARED SPACES	492 SPACES UNDER PER TOWN CODE		
SITE SIGNAGE:				
*PER TOWN APPROVED LAKE BUSINESS CENTER DEVELOPMENT SIGNAGE GUIDELINES DATED 8 APRIL 2014				

Updated 08-25-2021



GENERAL LOCATION MAP
LAKE COUNTY, INDIANA

BENCHMARK INFORMATION: (NAVD 1988)

ORIGIN B.M.— DESIGNATED AS "LANSPORT" LOCATED AT THE LANSING MUNICIPAL AIRPORT
APPROX. 1 MILE S.W. OF SITE, A STAINLESS STEEL ROD IN SLEEVE, STAMPED LANSPORT 1990.
ELEV.=613.30 (NAVD 88)

TBM: MAG NAIL SET IN N. SIDE OF CONC. LIGHT BASE NEAR N.E. COR. OF SITE.
ELEV.=618.47

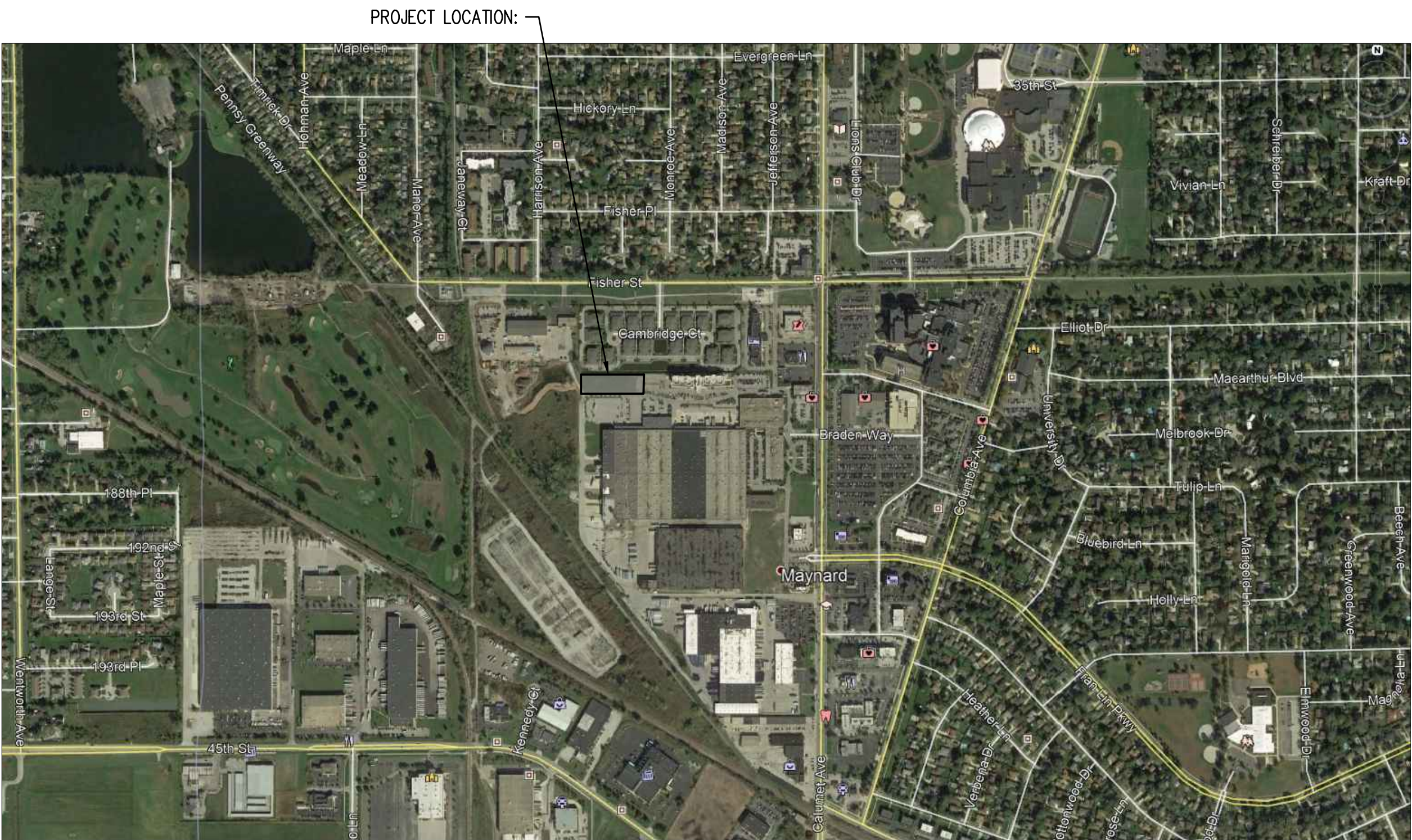


SOILS LEGEND:
Mm — MAUMEE LOAMY FINE SAND, 0 TO 1 PERCENT SLOPES
Rs — RENSSELAER LOAM, CALCAREOUS SUBSOIL VARIANT

SOILS MAP
NOT TO SCALE

GENERAL NOTES:

- UTILITY RELOCATIONS REQUIRED BY THE PROJECT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. UTILITY LINE RELOCATIONS REQUIRED FOR ROAD PROJECTS THAT RESULT IN A CONFLICT WITH PROPOSED DEVELOPMENT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RESOLVE WITH THE UTILITY. EXISTING POLE LINES REQUIRED TO BE RELOCATED SHALL BE RELOCATED TO WITHIN ONE FOOT OF THE PROPOSED RIGHT-OF-WAY LINE.
- NO EARTH DISTURBING ACTIVITY MAY COMMENCE WITHOUT AN APPROVED STORMWATER MANAGEMENT PERMIT.
- DAMAGE TO THE EXISTING RIGHT-OF-WAY SHALL BE RESTORED/REPAIRED TO THE SATISFACTION OF THE CITY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS ENCOURAGED TO INSPECT THE RIGHT-OF-WAY WITH THE CITY PRIOR TO THE START OF THE CONSTRUCTION TO DOCUMENT THE EXISTING CONDITION OF THE RIGHT-OF-WAY.

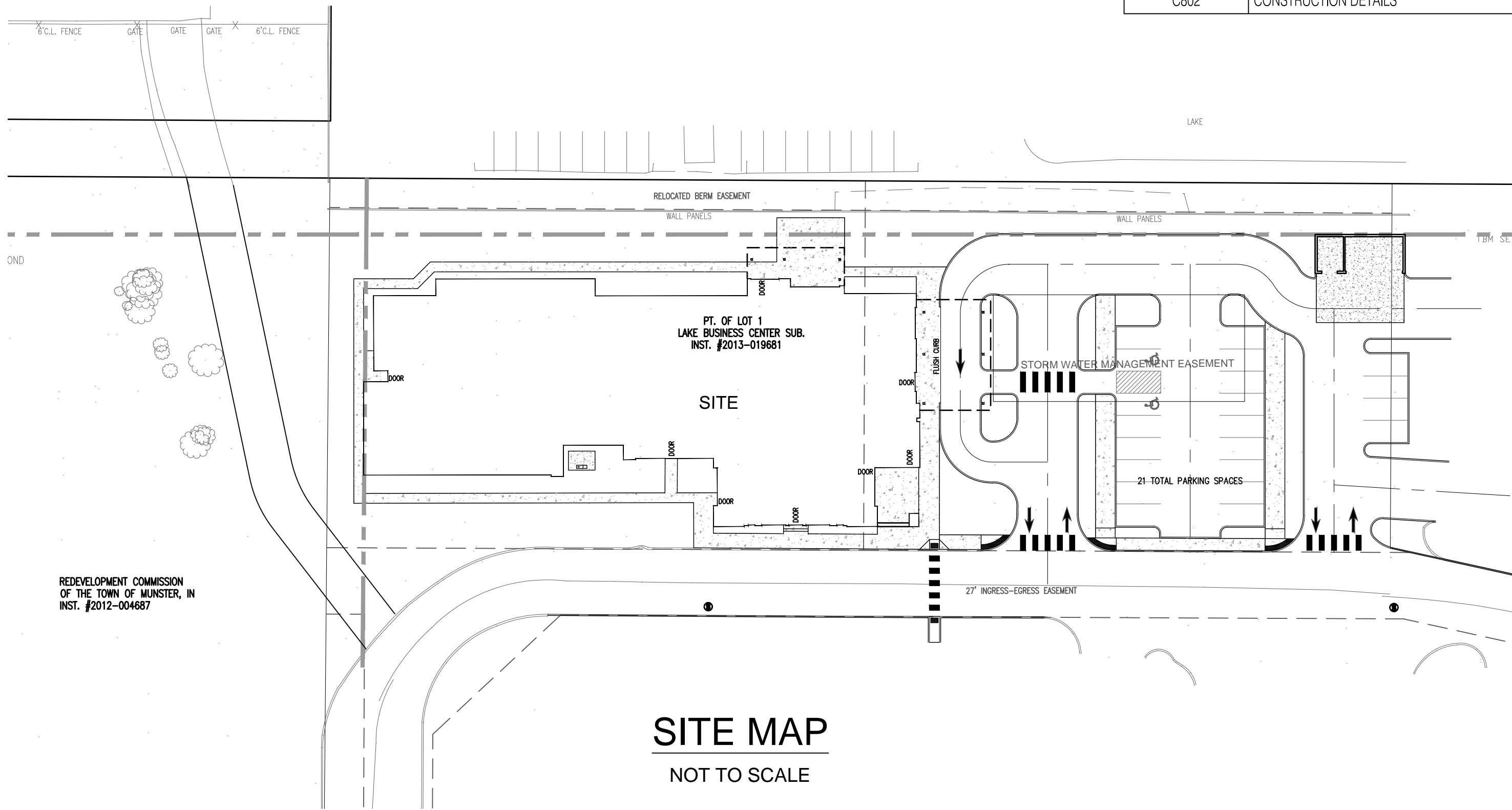


PROJECT LOCATION MAP
NOT TO SCALE

HOME 2 SUITES BY HILTON TOWN OF MUNSTER, INDIANA LAKE BUSINESS CENTER

CIVIL ENGINEER:
SHREWSBERRY & ASSOCIATES, LLC
7321 SHADELAND STATION WAY, SUITE 160
INDIANAPOLIS, IN 46256
(317)983-2109
kbuck@shrewsusa.com

Sheet Index	
Sheet Number	Sheet Title
C100	COVER
C101	EXISTING CONDITIONS AND DEMOLITION PLAN
C201	SITE PLAN
C301	GRADING PLAN
C401	UTILITY PLAN
C501	SANITARY PLAN AND PROFILE
C502	STORM PLAN AND PROFILE
C503	STORM PLAN AND PROFILE
C504	STORM PLAN AND PROFILE
C601	STORMWATER POLLUTION PREVENTION PLAN
C602	STORMWATER POLLUTION PREVENTION DETAILS
C701	STORMWATER POLLUTION PREVENTION NOTES
C801	CONSTRUCTION DETAILS
C802	CONSTRUCTION DETAILS



SITE MAP
NOT TO SCALE

LEGAL DESCRIPTION

PT. OF LOT 1
LAKE BUSINESS CENTER SUB.
INST. #2013-019681

UTILITY CONTACT INFORMATION:

PUBLIC WORKS:

DEPT. OF PUBLIC WORKS
1005 RIDGE ROAD
MUNSTER, IN 46321
(219)836.6970

SURVEYOR:

CRPE ENGINEERING
3939 PRIORITY WAY S. DRIVE, SUITE 200
INDIANAPOLIS, IN 46240
ERIC WHITE
(317)844-6777
crpe@crpe.biz

TELEPHONE:

AT&T
302 SOUTH EAST ST.
CROWN POINT, IN 46307
(219)662.4418

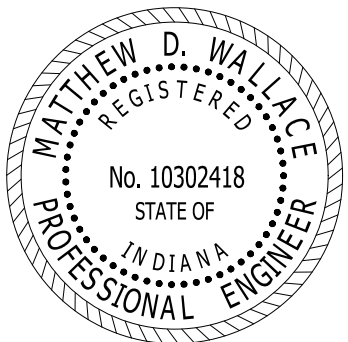
GAS & ELECTRIC:

NIPSCO
1460 EAST 15TH AVE.
GARY, IN 46402
(219)886.5510

CABLE:

COMCAST
844 169TH STREET
HAMMOND, IN 46324

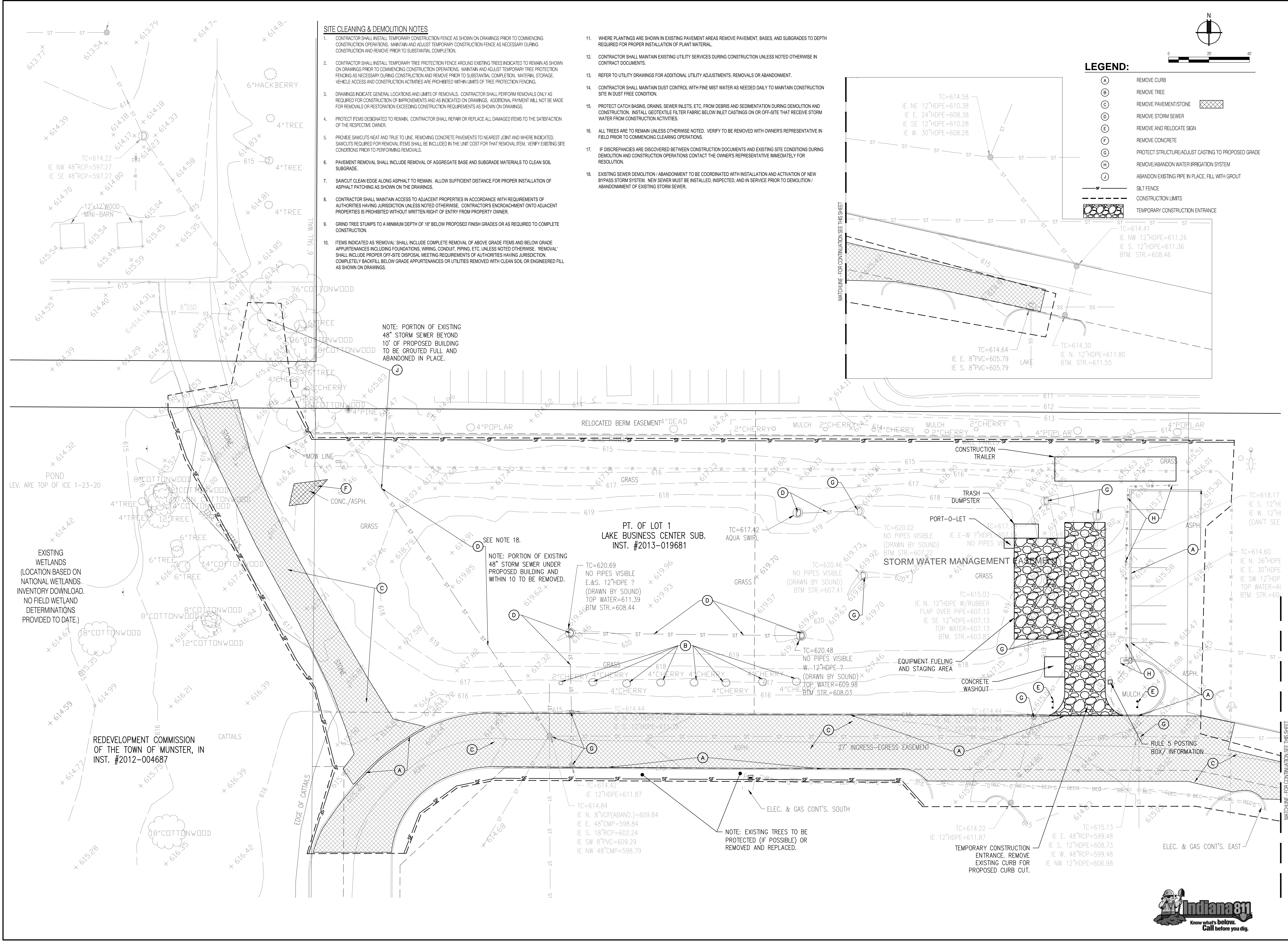
PREPARED BY:
SHREWSBERRY & ASSOCIATES, LLC
7321 SHADELAND STATION WAY, SUITE 160
INDIANAPOLIS, IN 46256
(317)841-4799



DATE: 7/22/2021
E-MAIL: mwallace@shrewsusa.com

JOB No. 19-0161

SHEET
C100



SITE CLEANING & DEMOLITION NOTES

1. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCE AS SHOWN ON DRAWINGS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS. MAINTAIN AND ADJUST TEMPORARY CONSTRUCTION FENCE AS NECESSARY DURING CONSTRUCTION AND REMOVE PRIOR TO SUBSTANTIAL COMPLETION.
2. CONTRACTOR SHALL INSTALL TEMPORARY TREE PROTECTION FENCE AROUND EXISTING TREES INDICATED TO REMAIN AS SHOWN ON DRAWINGS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS. MAINTAIN AND ADJUST TEMPORARY TREE PROTECTION FENCING AS NECESSARY DURING CONSTRUCTION AND REMOVE PRIOR TO SUBSTANTIAL COMPLETION. MATERIAL, STORAGE, VEHICLE ACCESS AND CONSTRUCTION ACTIVITIES ARE PROHIBITED WITHIN LIMITS OF TREE PROTECTION FENCING.
3. DRAWINGS INDICATE GENERAL LOCATIONS AND LIMITS OF REMOVALS. CONTRACTOR SHALL PERFORM REMOVALS ONLY AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS AND AS INDICATED ON DRAWINGS. ADDITIONAL PAYMENT WILL NOT BE MADE FOR REMOVALS OR RESTORATION EXCEEDING CONSTRUCTION REQUIREMENTS AS SHOWN ON DRAWINGS.
4. PROTECT ITEMS DESIGNATED TO REMAIN. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED ITEMS TO THE SATISFACTION OF THE RESPECTIVE OWNER.
5. PROVIDE SAWCUTS NEAT AND TRUE TO LINE. REMOVING CONCRETE PAVEMENTS TO NEAREST JOINT AND WHERE INDICATED. SAWCUTS REQUIRED FOR REMOVAL ITEMS SHALL BE INCLUDED IN THE UNIT COST FOR THAT REMOVAL ITEM. VERIFY EXISTING SITE CONDITIONS PRIOR TO PERFORMING REMOVALS.
6. PAVEMENT REMOVAL SHALL INCLUDE REMOVAL OF AGGREGATE BASE AND SUBGRADE MATERIALS TO CLEAN SOIL SUBGRADE.
7. SAWCUT CLEAN EDGE ALONG ASPHALT TO REMAIN. ALLOW SUFFICIENT DISTANCE FOR PROPER INSTALLATION OF ASPHALT PATCHING AS SHOWN ON THE DRAWINGS.
8. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION UNLESS NOTED OTHERWISE. CONTRACTOR'S ENCROACHMENT ONTO ADJACENT PROPERTIES IS PROHIBITED WITHOUT WRITTEN RIGHT OF ENTRY FROM PROPERTY OWNER.
9. GRIND TREE STUMPS TO A MINIMUM DEPTH OF 18" BELOW PROPOSED FINISH GRADES OR AS REQUIRED TO COMPLETE CONSTRUCTION.
10. ITEMS INDICATED AS 'REMOVAL' SHALL INCLUDE COMPLETE REMOVAL OF ABOVE GRADE ITEMS AND BELOW GRADE APPURTENANCES INCLUDING FOUNDATIONS, WIRING, CONDUIT, PIPING, ETC. UNLESS NOTED OTHERWISE. 'REMOVAL' SHALL INCLUDE PROPER OFF-SITE DISPOSAL MEETING REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. COMPLETELY BACKFILL BELOW GRADE APPURTENANCES OR UTILITIES REMOVED WITH CLEAN SOIL OR ENGINEERED FILL AS SHOWN ON DRAWINGS.
11. WHERE PLANTINGS ARE SHOWN IN EXISTING PAVEMENT AREAS REMOVE PAVEMENT, BASES, AND SUBGRADES TO DEPTH REQUIRED FOR PROPER INSTALLATION OF PLANT MATERIAL.
12. CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICES DURING CONSTRUCTION UNLESS NOTED OTHERWISE IN CONTRACT DOCUMENTS.
13. REFER TO UTILITY DRAWINGS FOR ADDITIONAL UTILITY ADJUSTMENTS, REMOVALS OR ABANDONMENT.
14. CONTRACTOR SHALL MAINTAIN DUST CONTROL WITH FINE MIST WATER AS NEEDED DAILY TO MAINTAIN CONSTRUCTION SITE IN DUST FREE CONDITION.
15. PROTECT CATCH BASINS, DRAINS, SEWER INLETS, ETC. FROM DERRIS AND SEDIMENTATION DURING DEMOLITION AND CONSTRUCTION. INSTALL GEOTEXTILE FILTER FABRIC BELOW INLET CASTINGS ON OR OFF-SITE THAT RECEIVE STORM WATER FROM CONSTRUCTION ACTIVITIES.
16. ALL TREES ARE TO REMAIN UNLESS OTHERWISE NOTED. VERIFY TO BE REMOVED WITH OWNER'S REPRESENTATIVE IN FIELD PRIOR TO COMMENCING CLEARING OPERATIONS.
17. IF DISCREPANCIES ARE DISCOVERED BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING SITE CONDITIONS DURING DEMOLITION AND CONSTRUCTION OPERATIONS CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
18. EXISTING SEWER DEMOLITION / ABANDONMENT TO BE COORDINATED WITH INSTALLATION AND ACTIVATION OF NEW BYPASS SYSTEM. NEW SEWER MUST BE INSTALLED, INSPECTED, AND IN SERVICE PRIOR TO DEMOLITION / ABANDONMENT OF EXISTING STORM SEWER.

NOTE: PORTION OF EXISTING 48" STORM SEWER BEYOND 10' OF PROPOSED BUILDING TO BE GROUTED FULL AND ABANDONED IN PLACE.

SEE NOTE 18.

NOTE: PORTION OF EXISTING 48" STORM SEWER UNDER PROPOSED BUILDING AND WITHIN 10' TO BE REMOVED.

PT. OF LOT 1
LAKE BUSINESS CENTER SUB.
INST. #2013-019681

TC=620.69
NO PIPES VISIBLE
E.&S. 12"HDPE ?
(DRAWN BY SOUND)
TOP WATER=611.39
BTM. STR.=608.44

TC=620.46
NO PIPES VISIBLE
(DRAWN BY SOUND)
BTM. STR.=607.41

TC=620.48
NO PIPES VISIBLE
W. 12"HDPE-2
(DRAWN BY SOUND)
TOP WATER=609.98
BTM. STR.=608.03

TC=615.03
IE N. 12"HDPE W/RUBBER
FLAP OVER PIPE=607.13
IE SE 12"HDPE=607.13
TOP WATER=607.13
BTM. STR.=603.83

EQUIPMENT FUELING
AND STAGING AREA

CONCRETE
WASHOUT

MULCH

TRASH
DUMPSTER

PORT-O-LET

CONSTRUCTION
TRAILER

RELOCATED BERM EASEMENT

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

GRASS

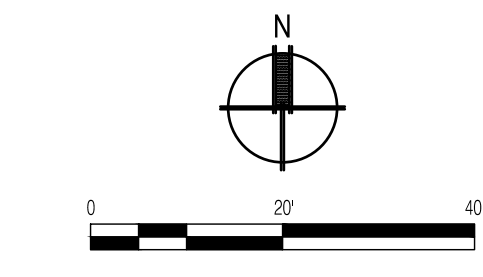
GRASS

GRASS

GRASS

LEGEND:

- (A) REMOVE CURB
- (B) REMOVE TREE
- (C) REMOVE PAVEMENT/STONE
- (D) REMOVE STORM SEWER
- (E) REMOVE AND RELOCATE SIGN
- (F) REMOVE CONCRETE
- (G) PROTECT STRUCTURE/ADJUST CASTING TO PROPOSED GRADE
- (H) REMOVE/ABANDON WATER IRRIGATION SYSTEM
- (J) ABANDON EXISTING PIPE IN PLACE, FILL WITH GROUT
- SILT FENCE
- CONSTRUCTION LIMITS
- TEMPORARY CONSTRUCTION ENTRANCE



REVISION NUMBER

REVISION DATE

REVISION DESCRIPTION

CONSULTANTS

721 SHADLAND STATION, INDIANAPOLIS IN 46204
(317) 841-4777 • (317) 841-4780
shrewsberry.com

3839 PRORITY WAY SOUTH DRIVE
SUITE 200
INDIANAPOLIS, INDIANA 46240
Phone (317) 844-6777
E-Mail: cripe@cripe.biz

EXISTING CONDITIONS AND DEMOLITION PLAN

GENERAL HOTELS CORPORATION

HOME2 SUITES BY HILTON

MUNSTER, IN

Matthew D. Wallace
REGISTERED
No. 10302418
STATE OF
INDIANA
PROFESSIONAL ENGINEER

By: RDR

Checked by: MDW

Approved by: BK

As indicated

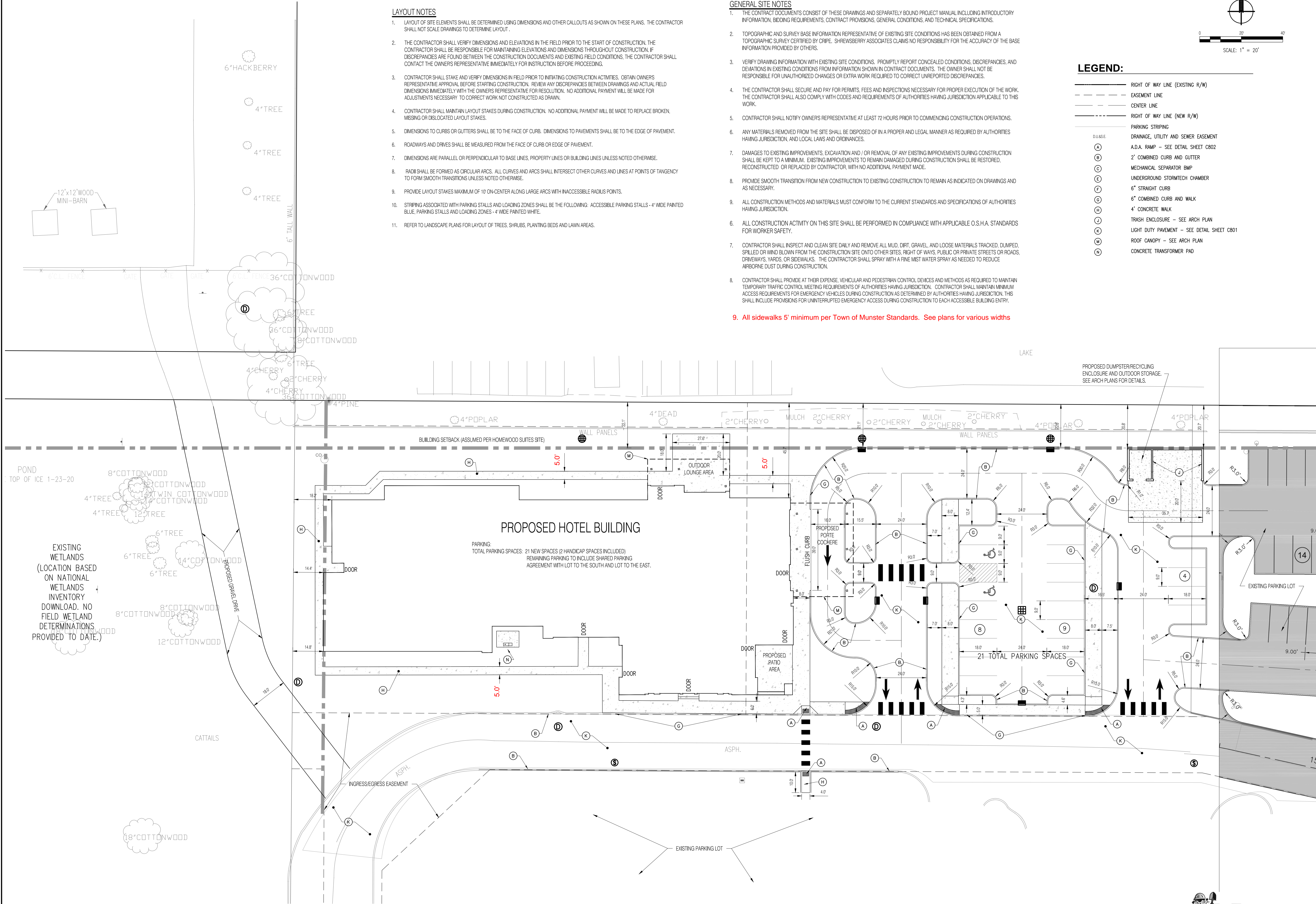
Paul C. Cripe, Inc.

C101

7/22/2021

Project Number
0190149-10000

Know what's below.
Call before you dig.



LAYOUT NOTES

- LAYOUT OF SITE ELEMENTS SHALL BE DETERMINED USING DIMENSIONS AND OTHER CALLOUTS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL NOT SCALE DRAWINGS TO DETERMINE LAYOUT.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ELEVATIONS AND DIMENSIONS THROUGHOUT CONSTRUCTION. IF DISCREPANCIES ARE FOUND BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING FIELD CONDITIONS, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY FOR INSTRUCTION BEFORE PROCEEDING.
- CONTRACTOR SHALL STAKE AND VERIFY DIMENSIONS IN FIELD PRIOR TO INITIATING CONSTRUCTION ACTIVITIES. OBTAIN OWNERS REPRESENTATIVE APPROVAL BEFORE STARTING CONSTRUCTION. REVIEW ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD DIMENSIONS IMMEDIATELY WITH THE OWNERS REPRESENTATIVE FOR RESOLUTION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTMENTS NECESSARY TO CORRECT WORK NOT CONSTRUCTED AS DRAWN.
- CONTRACTOR SHALL MAINTAIN LAYOUT STAKES DURING CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE MADE TO REPLACE BROKEN, MISSING OR DISLOCATED LAYOUT STAKES.
- DIMENSIONS TO CURBS OR GUTTERS SHALL BE TO THE FACE OF CURB. DIMENSIONS TO PAVEMENTS SHALL BE TO THE EDGE OF PAVEMENT.
- ROADWAYS AND DRIVES SHALL BE MEASURED FROM THE FACE OF CURB OR EDGE OF PAVEMENT.
- DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO BASE LINES, PROPERTY LINES OR BUILDING LINES UNLESS NOTED OTHERWISE.
- RADII SHALL BE FORMED AS CIRCULAR ARCS. ALL CURVES AND ARCS SHALL INTERSECT OTHER CURVES AND LINES AT POINTS OF TANGENCY TO FORM SMOOTH TRANSITIONS UNLESS NOTED OTHERWISE.
- PROVIDE LAYOUT STAKES MAXIMUM OF 10' ON-CENTER ALONG LARGE ARCS WITH INACCESSIBLE RADIUS POINTS.
- STRIPING ASSOCIATED WITH PARKING STALLS AND LOADING ZONES SHALL BE THE FOLLOWING: ACCESSIBLE PARKING STALLS - 4' WIDE PAINTED BLUE, PARKING STALLS AND LOADING ZONES - 4' WIDE PAINTED WHITE.
- REFER TO LANDSCAPE PLANS FOR LAYOUT OF TREES, SHRUBS, PLANTING BEDS AND LAWN AREAS.

GENERAL SITE NOTES

- THE CONTRACT DOCUMENTS CONSIST OF THESE DRAWINGS AND SEPARATELY BOUND PROJECT MANUAL INCLUDING INTRODUCTORY INFORMATION, BIDDING REQUIREMENTS, CONTRACT PROVISIONS, GENERAL CONDITIONS, AND TECHNICAL SPECIFICATIONS.
- TOPOGRAPHIC AND SURVEY BASE INFORMATION REPRESENTATIVE OF EXISTING SITE CONDITIONS HAS BEEN OBTAINED FROM A TOPOGRAPHIC SURVEY CERTIFIED BY CRPE. SHREWSBERRY ASSOCIATES CLAIMS NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE INFORMATION PROVIDED BY OTHERS.
- VERIFY DRAWING INFORMATION WITH EXISTING SITE CONDITIONS. PROMPTLY REPORT CONCEALED CONDITIONS, DISCREPANCIES, AND DEVIATIONS IN EXISTING CONDITIONS FROM INFORMATION SHOWN IN CONTRACT DOCUMENTS. THE OWNER SHALL NOT BE RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
- THE CONTRACTOR SHALL SECURE AND PAY FOR PERMITS, FEES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ALSO COMPLY WITH CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION APPLICABLE TO THIS WORK.
- CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- ANY MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER AS REQUIRED BY AUTHORITIES HAVING JURISDICTION, AND LOCAL LAWS AND ORDINANCES.
- DAMAGES TO EXISTING IMPROVEMENTS, EXCAVATION AND / OR REMOVAL OF ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM. EXISTING IMPROVEMENTS TO REMAIN DAMAGED DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY CONTRACTOR, WITH NO ADDITIONAL PAYMENT MADE.
- PROVIDE SMOOTH TRANSITION FROM NEW CONSTRUCTION TO EXISTING CONSTRUCTION TO REMAIN AS INDICATED ON DRAWINGS AND AS NECESSARY.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- CONTRACTOR SHALL INSPECT AND CLEAN SITE DAILY AND REMOVE ALL MUD, DIRT, GRAVEL, AND LOOSE MATERIALS TRACKED, DUMPED, SPILLED OR WIND BLOWN FROM THE CONSTRUCTION SITE ONTO OTHER SITES, RIGHT OF WAYS, PUBLIC OR PRIVATE STREETS OR ROADS, DRIVEWAYS, YARDS, OR SIDEWALKS. THE CONTRACTOR SHALL SPRAY WITH A FINE MIST WATER SPRAY AS NEEDED TO REDUCE AIRBORNE DUST DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE AT THEIR EXPENSE, VEHICULAR AND PEDESTRIAN CONTROL DEVICES AND METHODS AS REQUIRED TO MAINTAIN TEMPORARY TRAFFIC CONTROL MEETING REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL MAINTAIN MINIMUM ACCESS REQUIREMENTS FOR EMERGENCY VEHICLES DURING CONSTRUCTION AS DETERMINED BY AUTHORITIES HAVING JURISDICTION. THIS SHALL INCLUDE PROVISIONS FOR UNINTERRUPTED EMERGENCY ACCESS DURING CONSTRUCTION TO EACH ACCESSIBLE BUILDING ENTRY.

9. All sidewalks 5' minimum per Town of Munster Standards. See plans for various widths

LEGEND:

- RIGHT OF WAY LINE (EXISTING R/W)
- EASEMENT LINE
- CENTER LINE
- RIGHT OF WAY LINE (NEW R/W)
- PARKING STRIPING
- DRAINAGE, UTILITY AND SEWER EASEMENT
- A.D.A. RAMP - SEE DETAIL SHEET C802
- 2' COMBINED CURB AND GUTTER
- MECHANICAL SEPARATOR BMP
- UNDERGROUND STORMTECH CHAMBER
- 6" STRAIGHT CURB
- 6" COMBINED CURB AND WALK
- 4' CONCRETE WALK
- TRASH ENCLOSURE - SEE ARCH PLAN
- LIGHT DUTY PAVEMENT - SEE DETAIL SHEET C801
- ROOF CANOPY - SEE ARCH PLAN
- CONCRETE TRANSFORMER PAD

CLASS E
A
B
C
D
E
F
G
H
I
J
K
L
M
N

REVISION NUMBER

REVISION DATE

REVISION DESCRIPTION

CONSULTANTS

721 SHADLAND STATION, INDIANAPOLIS IN 46206
(317) 844-4777
info@shrewsberry.com

3839 PRORITY WAY SOUTH DRIVE
SUITE 200
INDIANAPOLIS, INDIANA 46240
Phone (317) 844-4777
E-Mail cripe@crpe.biz
CRPE
LANDSCAPE ARCHITECTS
SURVEY - 3D LASER SCANNING
EQUIPMENT RENTING
REAL ESTATE SERVICES

Solutions by Design Since 1937

SITE PLAN

GENERAL HOTELS CORPORATION
HOME2 SUITES BY HILTON
MUNSTER, IN

Matthew D. Wallace
REGISTERED
No. 10302418
STATE OF
INDIANA
PROFESSIONAL ENGINEER

Drawn by

RDR

Checked by

MDW

City

BK

As indicated

C201

7/22/2021

Project Number

0190149-10000