# PRELIMINARYIFINAL LAND DEVELOPMENT PLANS



**PROPOSED** 

# DUTCH BROS COFFEE SHOP

**LOCATION OF SITE 8032 CALUMET AVENUE MUNSTER, IN 46321** TOWN OF MUNSTER, LAKE COUNTY STORE NO. IN 0703

#### REFERENCES AND CONTACTS

REFERENCES  ◆ BOUNDARY & TOPOGRAPHIC  SURVEY:  COMMERCIAL DUE DILIGENCE SERVICES 3550 W. ROBINSON STREET, THIRD FLOOR NORMAN, OK 73072  FIELD DATE: 4/23/25  DATE OF PRELIMINARY MAP OR PLAT: 4/30/25 PROJECT NO. 25-04-0011  ◆ ARCHITECTURAL PLAN: CHIPMAN DESIGN ARCHITECTURE	ROW JURISDICTION  ◆TRAFFIC, STORMWATER, WATER & SEWER  TOWN OF MUNSTER PUBLIC WORKS DEPARTMENT 508 FISHER STREET MUNSTER, IN 46321 PHONE: (219) 836-6970
1350 EAST TOUHY AVENUE, FIRST FLOOR EAST DES PLAINES, IL 60018 PLANS RECEIVED: 10/07/2025 PLAN DATED: 05/29/2025  GOVERNING AGENCIES  ◆ PLANNING, ZONING COMMITTEE TOWN OF MUNSTER COMMUNITY DEVELOPMENT DEPARTMENT 1005 RIDGE ROAD MUNSTER, IN 46321	
PHONE: (219) 836-6990  ◆ BUILDING DEPARTMENT  TOWN OF MUNSTER COMMUNITY DEVELOPMENT DEPARTMENT 1005 RIDGE ROAD MUNSTER, IN 46321 PHONE: (219) 836-6990 FAX: (219) 836-6542	
◆FIRE DEPARTMENT  MUNSTER FIRE DEPARTMENT  550 FISHER STREET  MUNSTER, IN 46321  PHONE: (219) 836-6960  FAX: (219) 836-6962	

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR

DERIVED FROM THESE DOCUMENTS, BY OTHERS.

Ge (H) 94	176th St	E 176th St 176th	ojia Ave
ge 177th	St	177th PI	
PI		Riverside Dog Park Riverside Riverside	
	River Dr	Riv	erside Par
Frederick Ave Harrison Ave	River Dr School St SITE	Staples New Year, New Supplies! Wendy's Taste the Difference	Columbia Ave
A Prederick Ave	Monro e Ave	Panera Bread Available For a Limited Time	Bro
30th PI	Munster 30th St	-    -	
<b>W</b> 1		Grove Park	Ric
Ridge Rd	Munster Donut	Ridgeway Ave Subway Limited Time	RIC
Ridge Rd even and south s	t	Subway Limited Time Happy Gilmore Cup	Kooy Dr

SHEET INDEX SHEET TITLE **SHEET NUMBER** C-101 GENERAL NOTES AND DETAILS C-102 EXISTING CONDITIONS/DEMOLITION PLAN **GRADING PLAN** PRE DEVELOPMENT DRAINAGE AREA MAP C-402 POST DEVELOPMENT DRAINAGE AREA MAP C-403 C-501 UTILITY PLAN CONSTRUCTION DETAILS C-901 & C-902 LANDSCAPE PLAN L-101 LANDSCAPE NOTES AND DETAILS L-102 LIGHTING PLAN L-201 VICINITY PLAN EX-01

PREPARED BY

SCALE: 1" = 1,000' SOURCE: GOOGLE MAPS



GENERAL NOTE:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN

FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

1 10/21/2025 COMMENTS

**REVISIONS** 



#### **NOT APPROVED FOR** CONSTRUCTION

DRAWN BY: CAD I.D.: P-CIVL-CNDS PROJECT:

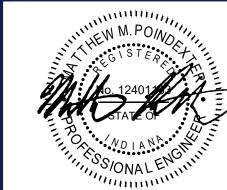
PRELIMINARY/FINAL LAND DEVELOPMENT **PLANS** 

**DUTCH BROS COFFEE** 

**8032 CALUMET AVENUE** MUNSTER, IN 46321 **TOWN OF MUNSTER, LAKE COUNTY** 

1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

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COVER SHEET

C-101

DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING PROFESSIONAL OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE

OF SITE WORK, SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS, DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS, THE THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED. FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND

PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, I'HEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT. PROFESSIONAL OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER. HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS. HAZARDOUS SUBSTANCES, OR POLLUTANTS ON ABOUT OR UNDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED.

DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO

RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE

ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPÉRTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES. BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT

DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES. TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST THE CONTRACTOR MUST REPAIR. AT CONTRACTOR'S SOLE COST. ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE. WIRING CONDUITS, AND ANY LINDERGROUND

ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW

OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER

IHAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL. LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME, THE PROFESSIONAL OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF PROFESSIONAL OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT

THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING TO THE PROFESSIONAL OF RECORD AND BOHLER. ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY HEALTH OR GENERAL WELFARE OR PROJECT COST, IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, NJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY

ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS. AT ANY TIME

THIRD PARTY AND FIRST PARTY CLAIMS.

AS DESCRIBED ABOVE

THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE JE THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT PROFESSIONAL OF RECORD AND BOHLER SUFFER AND ANY AND ALL COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS RELATED TO SAME. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S UMBRELLA COVERAGES, ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER. AND ITS PAST, PRESENT AND FUTURE

OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS,

AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS PENALTIES EXPENSES PUNITIVE DAMAGES TORT DAMAGES STATUTORY CLAIMS STATUTORY CAUSES OF ACTION LOSSES CAUSES OF ACTION LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY. CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY PROFESSIONAL OF RECORD, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES.

DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES,

GENERALLY OR FOR THE CONSTRUCTION MEANS. METHODS. TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES. AND RELATED ENTITIES. AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES") RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS METHODS SEQUENCE TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING. OVERSEEING. SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE

CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH IURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE

WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT. BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE **SITE LAYOUT NOTES** RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM O LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY

BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL

SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN PROFESSIONAL OF RECORD'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND FURTHER MUST DEFEND INDEMNIFY PROTECT, AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES. COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.

FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN: AND. FURTHER, THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRÉSERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIF AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS

THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. PROFESSIONAL OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH

MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO

DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD

PROFESSIONAL OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT PROFESSIONAL OF RECORD SUFFERS AND COSTS THAT PROFESSIONAL OF RECORD INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST INSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED

THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.

AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER. THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES

OGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER,

**DEMOLITION NOTES** 

WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS. STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES, THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WA WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL

HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY ONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.

THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS METHODS. SEQUENCING TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK, ALL MEANS, METHODS, SEQUENCING ECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL LOCAL AND JURISDICTIONAL REQUIREMENTS THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR

COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER COMPLYING WITH ALL OSHA

NEAR TO THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME. TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST. IN WRITING RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS. ALL CONCERNS OR

QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO. BY THE PROFESSIONAL OF RECORD AND BY BOHLER. IN WRITING, ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL. STATE AND LOCAL REGULATIONS. RULES. REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES

PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK.

AND SERVICES HAVE BEEN TERMINATED. REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY

COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

SAID CONTROLS UNTIL SITE IS STABILIZED IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION. LOCATE AND PROTECT ALL LITHLITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY

NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES

INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY.

GUIDELINES RULES REGULATIONS STANDARDS AND THE LIKE

ACCORDANCE WITH THE DETAILS. UNLESS NOTED CLEARLY OTHERWISE

INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN

PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES ARRANGE FOR AND COORDINATE WITH THE APPLICABLE LITHLITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE PROFESSIONAL OF RECORD'S OR BOHLER RESPONSIBILITY. IN THE EVENT OF ABANDONMENT. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER NITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND

ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

ARRANGE FOR AND COORDINATE WITH THE APPLICABLE LITH ITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL. THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER, PROFESSIONAL OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND

COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER. DEMOLITION ACTIVITIES AND FOUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE

WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION. THE CONTRACTOR MUST BACKELL ALL EXCAVATION RESULTING FROM OR INCIDENTAL TO DEMOLITION ACTIVITIES. BACKELL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT BACKEILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND

RESULTS TO THE PROFESSIONAL OF RECORD AND THE OWNER. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL STATE AND LOCAL G ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.

IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED,

CAPPED ABANDONED IN PLACE OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. THE CONTRACTOR MUST EMPTY. CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS. IF ENCOUNTERED N ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST

THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE

#### SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND CONTRACTOR MUST REFER TO THEM. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS

REQUIRES TO PREVENT THE DISCHARGE OF SEDIMENT LADEN RUNOFF FROM EXITING THE SITE THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT STABILIZATION IS ESTABLISHED UNLESS INDICATED OTHERWISE IN LOCAL. STATE AND/OR FEDERAL PROJECT APPROVALS. THE COST OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.

CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER OR JURISDICTIONAL AGENCY SO

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL FROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES O PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS,

THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY.

THE CONTRACTOR IS SOLED BY DESPONSIBLE FOR FIELD VICED FOR THE CONTRACTOR AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY.

OUTSIDE SOURCE NOTES THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN ANY INFORMATION, DRAWINGS, DATA, PLANS, SPECIFICATIONS, MATERIALS, FIGURES, DOCUMENTATION, REPORTS, AND THE LIKE

**GRADING NOTES** 

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTR. DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY FOR ENTIRE PLAN SET COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW T REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE PROFESSIONAL OF RECORD. BOHLER AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER IN WRITING THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT

STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING. BUT NOT LIMITED TO. EXCAVATION. BACKFILL. AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOF REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR DADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS. OR RELATIVE TO OTHER PLANS. THE GRADING

PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

#### **ACCESSIBILITY DESIGN GUIDELINES**

AND BOHLER IN WRITING OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S)

MORE STRINGENT OF (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 LLS C. § 12101 FT SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE A CONSISTENCY WITH INDUSTRY GUIDELINES. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (A COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES. PUBLIC TRANSPORTATION. PEDESTRIAN ACCESS. AND INTER-BUILDING ACCESS. TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY LINOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL. OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.

ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, CONC AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. <u>HAND RAILS</u> ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG

(48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PAT THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG. EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).

WHEN THE PROPOSED CONSTRUCTION NOVLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES. THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOF ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING | DMH ANY WORK, CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER IN WRITING PRIOR TO POLIRING CONCRETE THE CONTRACTOR IS SOLELY

RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

#### DRAINAGE AND UTILITY NOTES

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. OCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE. AND THE CONTRACTOR MUST INDEPENDENTL' VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION lacksquarePOINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE PROFESSIONAL OF RECORD THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED

TO, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER, THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION.

THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND LITH ITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS, SIZE, AND MATERIAL OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE

ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE EQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING TH UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS. OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER TH

RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. THE PROFESSIONAL O RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKELL OR FOR COMPACTION REQUIREMENTS DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES. THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), GF / GFE WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL LITILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY

WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE GH AGENCY WITH JURISDICTION OVER SAME. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT. PRIOR TO COMMENCING CONSTRUCTION.

MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY,

DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT WHICH IS INDICATED TO HAVE BEEN PREPARED "BY OTHERS" (HEREIN, "BY OTHERS REPORTS, DOCUMENTS AND DETAILS") HAS BEEN OR WILL BE CREATED, DEVELOPED, PREPARED, PERFORMED, AND ANALYZED BY AN ENTITY OR PARTY OTHER THAN THE "BOHLER" ENTITY INVOLVED WITH THIS PROJECT. THE "BOHLER" ENTITY IS NOT IN ANY WAY RESPONSIBLE FOR THE BY OTHERS REPORTS, DOCUMENTS AND DETAILS EVEN IF/WHERE INCLUDED IN THE "BOHLER" ENTITY'S PLANS, REPORTS, ETC. SAME HAS BEEN INCLUDE ON THIS PLAN FOR THE CONVENIENCE, ONLY, OF THE PROJECT OWNER, DEVELOPERS, CONTRACTORS AND CONSULTANTS AND IN ORDER TO COORDINATE THE "BOHLER" ENTITY'S DESIGN WITH THAT OF "OTHERS". THE "BOHLER" ENTITY HAS ASSUMED, FOR PURPOSES OF THIS PLAN THAT THE BY OTHERS REPORTS DOCUMENTS AND DETAILS ARE CURRENT AND IF APPLICABLE | INT PREPARED IN STRICT ACCORDANCE WITH ALL APPLICABLE COUNTY, STATE, FEDERAL AND OTHER STATUTES, LAWS, RULES, REGULATIONS, ORDINANCES AND THE LIKE. THE "BOHLER" ENTITY SPECIFICALLY DISCLAIMS ANY AND ALL LIABILITY AND

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REPORT, DOCUMENT AND DETAIL. REFERENCES ON THIS PLAN TO INFORMATION PREPARED OR CONTAINED IN BY OTHERS REPORTS, DOCUMENTS AND DETAILS DEPICTING AN OFF-SITE AREA WHERE NO DETAIL IS INCLUDED IS A REFERENCE TO AN AREA, DETAIL, SPECIFICATION OR DESIGN THAT HAS NOT BEEN DESIGNED OR CONSTRUCTED BY THE "BOHLER" ENTITY AND REGARDING WHICH THE "BOHLER" ENTITY HAS NO CONTROL OVER OR LIABILITY REGARDING, BUT IS ADDED TO THIS PLAN FOR INFORMATIONAL

**STANDARD PROP LINE LEGEND** MAXIMUM ABBREVIATIONS PROPERTY LINE MATCH EXISTING RIGHT-OF-WAY LINE \_\_\_\_ MECHANICAL, ELECTRICAL, AMERICAN ASSOCIATION OF INTERIOR PROPERTY LINE \_\_\_\_\_ AND PLUMBING AASHTO STATE HIGHWAY AND **MANHOLE** LEASE LINE \_\_\_\_\_\_ TRANSPORTATION OFFICIALS MINIMIM EASEMENT LINE \_ \_ \_ \_ \_ ACRE / ACRES MECHANICAL JOIN SETBACK LINE \_\_ \_\_ \_\_ AREA DRAIN MANUAL ON UNIFORM TRAFF LIMIT OF WORK LOW ACCESSIBLE / AMERICANS CONTROL DEVICES WITH DISABILITIES ACT LIMIT OF DISTURBANCE LOD NATIONAL OCEANIC AND ABOVE GROUND SAWCUT LINE ATMOSPHERIC \_\_\_\_\_ APPROX **APPROXIMATE** ADMINISTRATION OVERHEAD WIRE —— OH——— NATIONAL RESOURCE ARCHITECTURAL ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE FLECTRIC LINE ———F—— CONSERVATION SERVICE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STAT WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE TELEPHONE LINE **OPERATIONS AND** \_\_\_\_\_т\_\_\_ BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AREA SUBJECT TO MAINTENANCE AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES. CABLE LINE STORMWATER FLOWAGE ON CENTER GAS LINE ASSOCIATION ASSOC OUTLET CONTROL STORM SEWER **BOTTOM OF CURB** STRUCTURE OIL AND GRIT SEPARATOR SANITARY MAIN 12" OR GREATER **BASEMENT FLOOR ORDINANCE** SANITARY MAIN BIOGARDEN PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD PA / POA POINT OF ANALYSIS SANITARY LATERAL ------SI -----BITUMINOUS SANITARY FORCE MAIN THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE POINT OF CURVATURE — FM — BLOCK POINT OF CURVATURE, CURB WATER MAIN 12" OR GREATER BASELINE RFTURN WATER MAIN ------W------BUII DING BI DG PERFORATED WATER LATERAL BENCH MARK ALL ACCESSIBLE (A K.A. ADA) COMPONENTS AND ACCESSIBLE ROLLTES MUST BE CONSTRUCTED TO MEET. AT A MINIMUM. THE PROPOSED GRADE WATER FIRE LINE BUILDING RESTRICTION LINE \_\_\_\_F\_\_\_ POINT OF INTERSECTION **BORDERING VEGETATIVE** PROP SYMBOL LEGEND POINT OF GRADE WETLAND TYPICAL SIGN v POLYPROPYLENE PIPE CATCH BASIN **PROPOSED** TYPICAL BOLLARD CUBIC FEET POINT OF TANGENCY UTILITY POLE WITH LIGHT **CURB INLET** POINT OF TANGENCY, CURB UTILITY POLE -CHANGE IN TYPE RETURN TYPICAL LIGHT CENTER LINE POINT OF VERTICA WATER HYDRANT CORRUGATED METAL PIPE INTERSECTION PAVEMENT CLEANOUT °C/O CLEAN OUT POINT OF VERTICAL CONCRETE SANITARY MANHOLE TANGENCY CONNECTION CONN RADIUS / RADII STORM MANHOLE COORDINATE COORD RIGHT-OF-WAY ⊗WM CORRUGATED PLASTIC PIPE RIGHTS-OF-WAY WATER METER REINFORCED CONCRETE PIP WATER VALVE CUBIC YARD **ROOF DRAIN** DECORATIVE GAS VALVE REGULATIONS DEPARTMENT OF **TEST PIT ENVIRONMENTAL PROTECTION** TO BE RELOCATED DETENTION BORING REQUIRED DIAMETER RETENTION DRAINAGE MANHOLE RETAINING WALL DOMESTIC TO BE RETURNED TO OWNER DEPARTMENT OF TRANSPORTATION RAIN GARDEN DESIGN POINT SI OPF DASHED WHITE LINE SANITARY SEWER DOUBLE YELLOW LINE SOIL EROSION AND SEDIMENT (Rev. 3/2023 **EXISTING GRADE** CONTROL SQUARE FEET THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT ☐ FLEC **ELECTRIC** STATE HIGHWAY LAYOUT FI EVATION

STATION

SEWER

STORM WATER / STORM

SINGLE/SOLID WHITE LINE

STORMWATER POLLUTION

TIME OF CONCENTRATION

TELECOMMUNICATIONS.

TREE PROTECTION FENCE

UNITED STATES GEOLOGICAL

PREVENTION PLAN

TO BE ABANDONED

TO BE REMOVED

TO BE VACATED

TOP OF CURB

TRENCH DRAIN

TELEDATA

TO REMAIN

TRANSITION

UNDERGROUND

UTILITY POLE

TYPICAL

SURVEY

**VERTICAL** 

VERIFY IN FIELD

WIDE / WIDTH

WATER METER

YARD DRAIN

PLUS OR MINUS

NUMBER

DEGREE

DIAMETER

FEET/FOOT

INCHES

WATER QUALITY UNIT

SLOPE EXPRESSED IN

HORIZONTAL:VERTICAL IN

WATER LINE

RANS

/FRT

ENGINEER OF RECORD

EP / EOP | EDGE OF PAVEMENT

FND WALL

**EXISTING** 

FEMA

FIRE DEPARTMENT

FEDERAL EMERGENCY

MANAGEMENT AGENCY

FLARED END SECTION

FINISH / FIRST FLOOP

FINISH / FIRST FLOOR

GENERAL CONTRACTOR

**GROSS FLOOR AREA** 

GRADE HIGH (WALL)

GRADE LOW (WALL)

GATE VALVE

HORIZONTAI

HIGH POINT

HEADWALL

**INFILTRATION** 

INTERSECTION

LINEAR FOOT

LINE OF SIGHT

LIMIT OF WORK

I OW POINT

LANDSCAPE

LIMIT OF CLEARING

LIMIT OF DISTURBANCE

INVERT

HOR

(Rev. 11/2023)

GEOTECH/GEOTECHNICAL

GARAGE FLOOR FLEVATION

HIGH DENSITY POLYETHYLEN

INLET CONTROL STRUCTURE

CONNECTION

ELEVATION

FINISH GRADE

FIRE HYDRANT

FORCE MAIN

FIBER OPTIC

GRADE

COMMENT REV DATE TOWN SITE REVIEW 10/21/2025 COMMENTS

REVISIONS



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DRAWN BY: **CHECKED BY** CAD I.D. P-CIVL-CNDS

PROJECT:

PRELIMINARY/FINAL LAND DEVELOPMENT **PLANS** 



**DUTCH BROS COFFEE 8032 CALUMET AVENUE** MUNSTER. IN 46321

TOWN OF MUNSTER, LAKE COUNTY

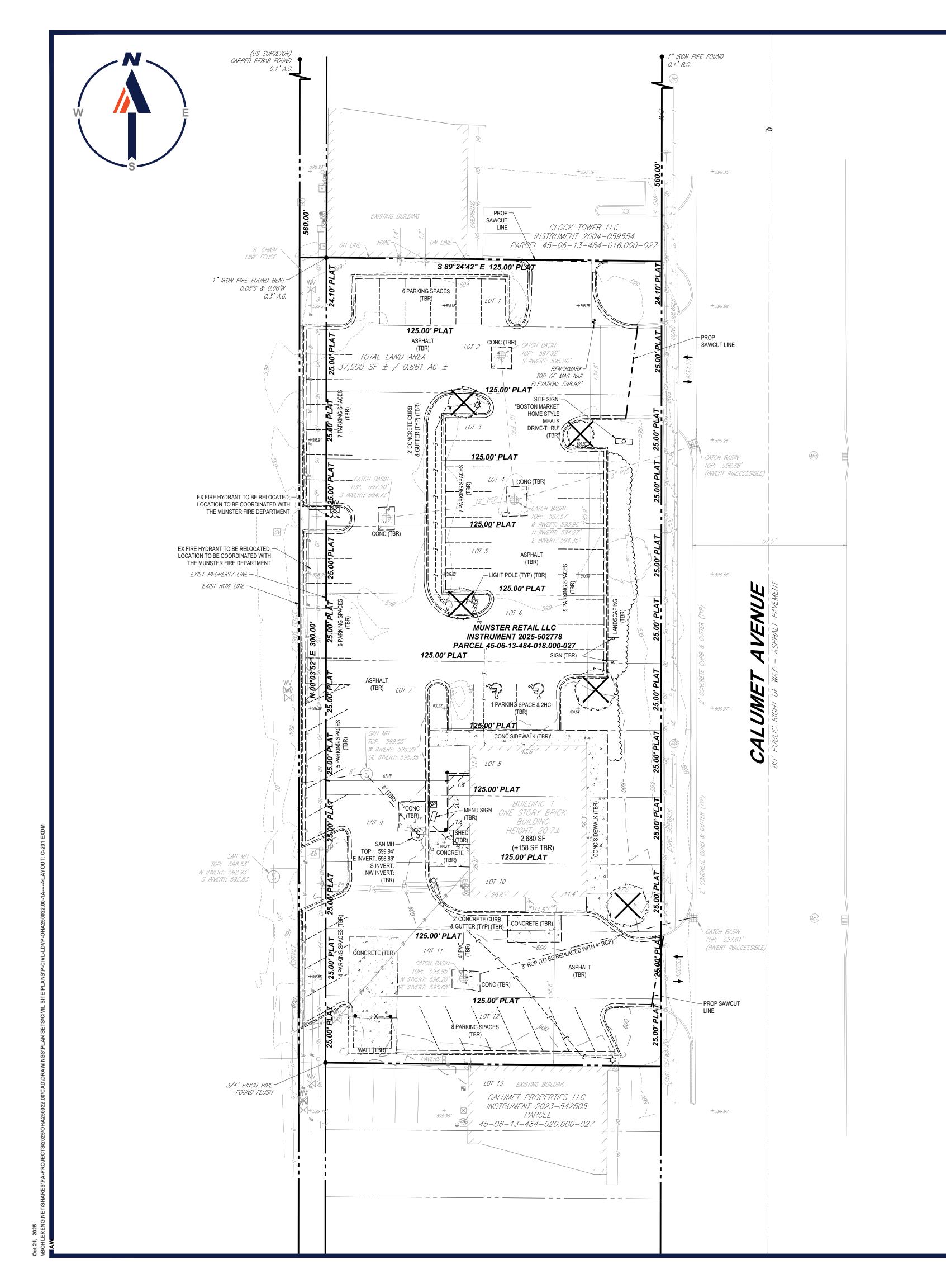
STORE NO. IN0703

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GENERAL **LEGEND** 



#### **SURVEY NOTES**

- THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA CALUMET AVENUE, A PUBLIC RIGHT-OF-WAY.
- THE POSTED ADDRESS ON SITE IS 8032 CALUMET AVENUE.
- 3. THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE-GROUND OBSERVED EVIDENCE, AND UTILITY MARKINGS PROVIDED BY BLVD, DATED APRIL 17, 2025. THE SURVEYOR MAKES NO WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPROMISE ALL SUCH UTILITIES ON THE SUBJECT PROPERTY, EITHER IN-SERVICE OR ABANDONED. IT IS BELIEVED THAT THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE ESSENTIALLY CORRECT BASED UPON THE INFORMATION AVAILABLE, HOWEVER, THE SURVEYOR MAKES NO WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED SURFACE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 5. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND

  AND AND ADDRESS OF THE CONTROL THE PROPOSED OF THE CONTROL THE PROPOSED.
- AVAILABLE FROM THE CONTROLLING JURISDICTION.

  6. ANY PLOTTABLE OFF-SITE EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR HAVE BEEN PLOTTED AND SHOWN HEREON.

  7. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED

ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS,

- PARTY WALLS, PARKING, EASEMENTS, SERVITUDES AND ENCROACHMENTS ARE BASED ON SOLELY ON ABOVE-GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- 8. THE NEAREST INTERSECTING STREET WITH CALUMET AVENUE IS BROADMOOR STREET, WHICH IS LOCATED APPROXIMATELY 147 FEET FROM THE SUBJECT PROPERTY.
  9. THE ELEVATION AND CONTOUR DATA SHOWN ON THIS SURVEY IS BASED ON THE NORTH
- AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED FROM THE INDIANA DEPARTMENT OF TRANSPORTATION RTN NETWORK ON THE DATE THE FIELD WORK WAS COMPLETED.
- 10. AT THE TIME OF THIS SURVEY, THERE WERE NO WETLAND DELINEATION MARKERS OBSERVED ON THE SUBJECT PROPERTY.
- 11. ALL CONTOURS ARE SHOWN AT 1-FOOT INTERVALS.
- 12. THE ON-SITE BENCHMARK IS THE TOP OF A MAG NAIL SET IN ASPHALT. ELEVATION: 598.92 FEET.

IL AND CONSULTING ENG LAND SURVEYING PROGRAM MANAGEMENT ANDSCAPE ARCHITECTUR SUSTAINABLE DESIGN PERMITTING SERVICES

SITE CIVIL AND CO
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08/21/2025 P-CIVL-LDVP

PROJECT No.: OHA250022.0
DRAWN BY:
CHECKED BY:

OJECT:

DATE: CAD I.D.:

PRELIMINARY/FINAL LAND DEVELOPMENT

PLANS



PROPOSED

DUTCH BROS COFFEE 8032 CALUMET AVENUE

MUNSTER, IN 46321 TOWN OF MUNSTER, LAKE COUNTY STORE NO. IN0703



1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

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EXISTING
CONDITIONS/
DEMOLITION

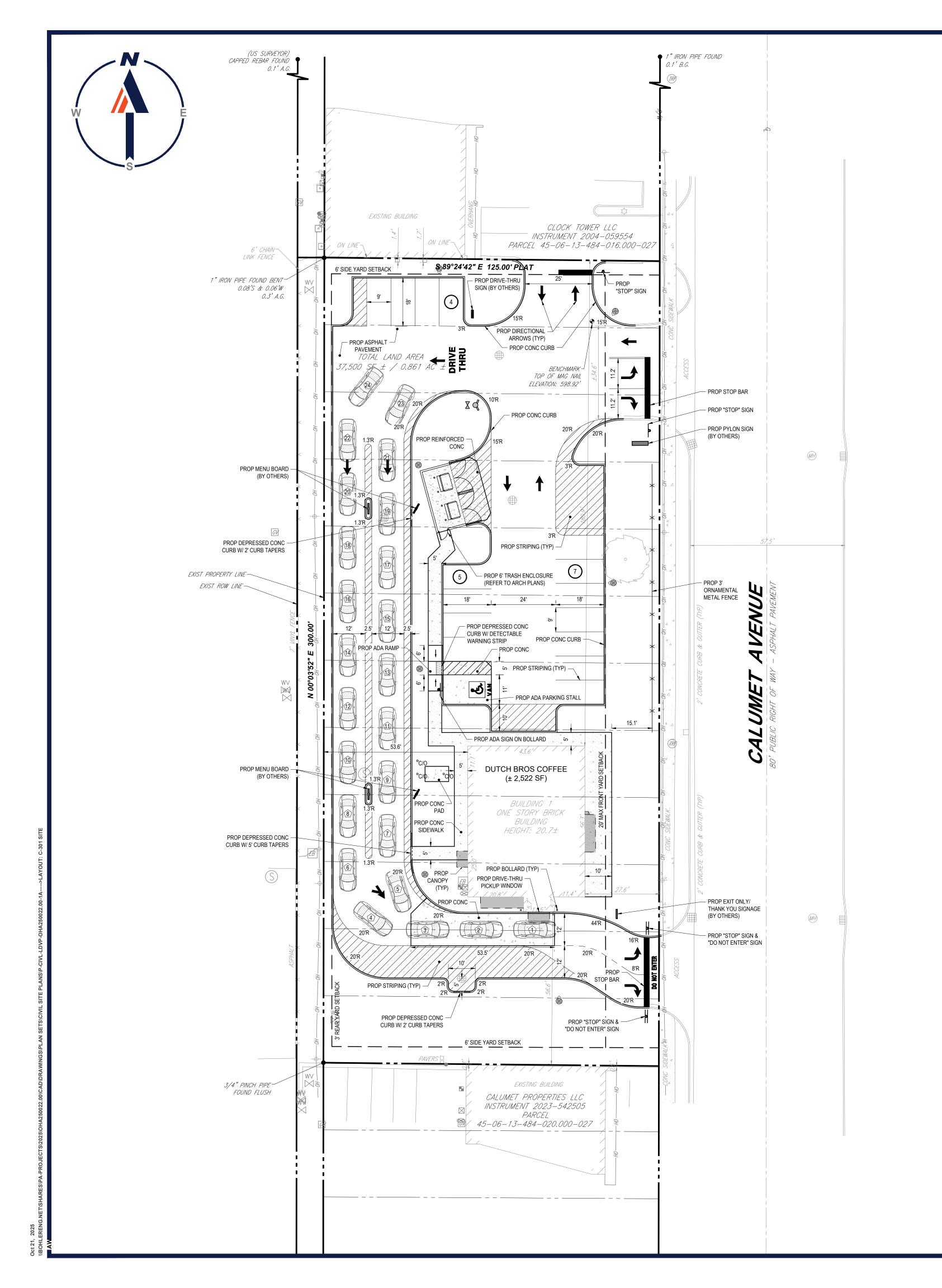
PLAN
SHEET NUMBER:

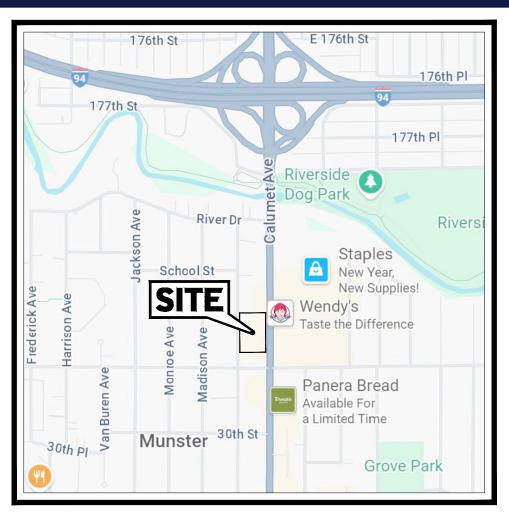
C-201

REVISION 1 - 10/21/2025

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

SCALE: 1" = 20'







#### **LOCATION MAP**

SCALE: 1" = 1,000'

**ZONING TABLE** 

ZONE: CD-4.A (GENERAL URBAN - A CHARACTER DISTRICT) USE: DRIVE-IN RESTAURANT (PERMITTED USE)

APPLICANT | OWNER INFORMATION

110 SW 4TH STREET GRANTS PASS, OREGON 97526

PROPERTY OWNER: 6440 E WESTFIELD BOULEVARD

APPLICANT:

INDIANAPOLIS, IN 46220

ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	N/A	N/A	37,500 SF (0.86 AC)	NO CHANGE
MIN LOT WIDTH	TABLE 26-6.405.A-6	18'	300'	NO CHANGE
MIN YARD SETBACKS				
FRONT YARD, PRINCIPAL FRONTAGE	TABLE 26-6.405.A-6	0 FT (MIN) 20 FT (MAX)	27.6'	NO CHANGE
FRONT YARD, SECONDARY FRONTAGE	TABLE 26-6.405.A-6	0 FT (MIN) 20 FT (MAX)	N/A	NO CHANGE
SIDE YARD	TABLE 26-6.405.A-6	6 FT (MIN PER SIDE) 130 FT (MAX COMBINED)	56.6' 237.5'	NO CHANGE
REAR YARD	TABLE 26-6.405.A-6	3 FT MIN OR 15 FT FROM CENTERLINE OF REAR LANE OR REAR ALLEY	45.8'	53.6'
MAX PERMITTED HEIGHT	N/A	N/A	<35.0'	NO CHANGE
MAX LOT COVERAGE	TABLE 26-6.405.A-6	70%	78.2% (29,341 SF)	65.9% (24,715 SF)
	•	•	KEY =	VARIANCE REQUIRED

PARKING REQUIREMENTS						
ITEM	CODE	PERMITTED	EXISTING	PROPOSED		
MIN STALL SIZE	TABLE 26-6.405.O-3	9' X 18'	9.5' X 17'	9' X 18'		
IIN ADA STALL SIZE	NOT REGULATED	N/A	16' X 17'	11' X 18'		
IIN AISLE WIDTH	TABLE 26-6.405.O-3	21'	25'	24'		
OADING REQUIREMENTS	TABLE 26-6.405.O-5	NOT REGULATED	0	0		
IIN LOADING SIZE	TABLE 26-6.405.O-5	NOT REGULATED	N/A	N/A		
MIN NUMBER OF STALLS	TABLE 26-6.405.O-1	16	55	16		
IIN NUMBER OF ADA STALLS	NOT REGULATED	N/A	2'	1		
RESTAURANT DISPENSING FOOD OR BE	VERAGES FOR CONSUMPTION	ON PREMISES, WITH DRIVE-1	THROUGH OR DRIVE-II	N SERVICE		

REQUIRED PARKING SPACES = 5 SPACES FOR EACH 300 SF OF TOTAL GROSS FLOOR AREA = (930 SF / 300 SF) \* 5 = 16 SPACES REQUIRED STACKING SPACES = 6 STACKING
SPACES PROVIDED = 16 SPACES (INCLUDING 1 ADA SPACE), 24 STACKING SPACES

KEY =

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SCALE: 1" = 20'

VARIANCE REQUIRED

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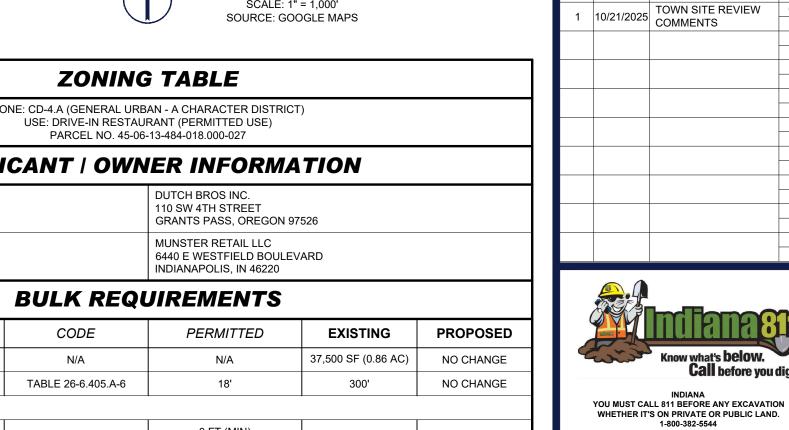


SHEET TITLE:

SITE PLAN

C-301

**REVISION 1 - 10/21/2025** 



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PRELIMINARY/FINAL LAND DEVELOPMENT **PLANS** 



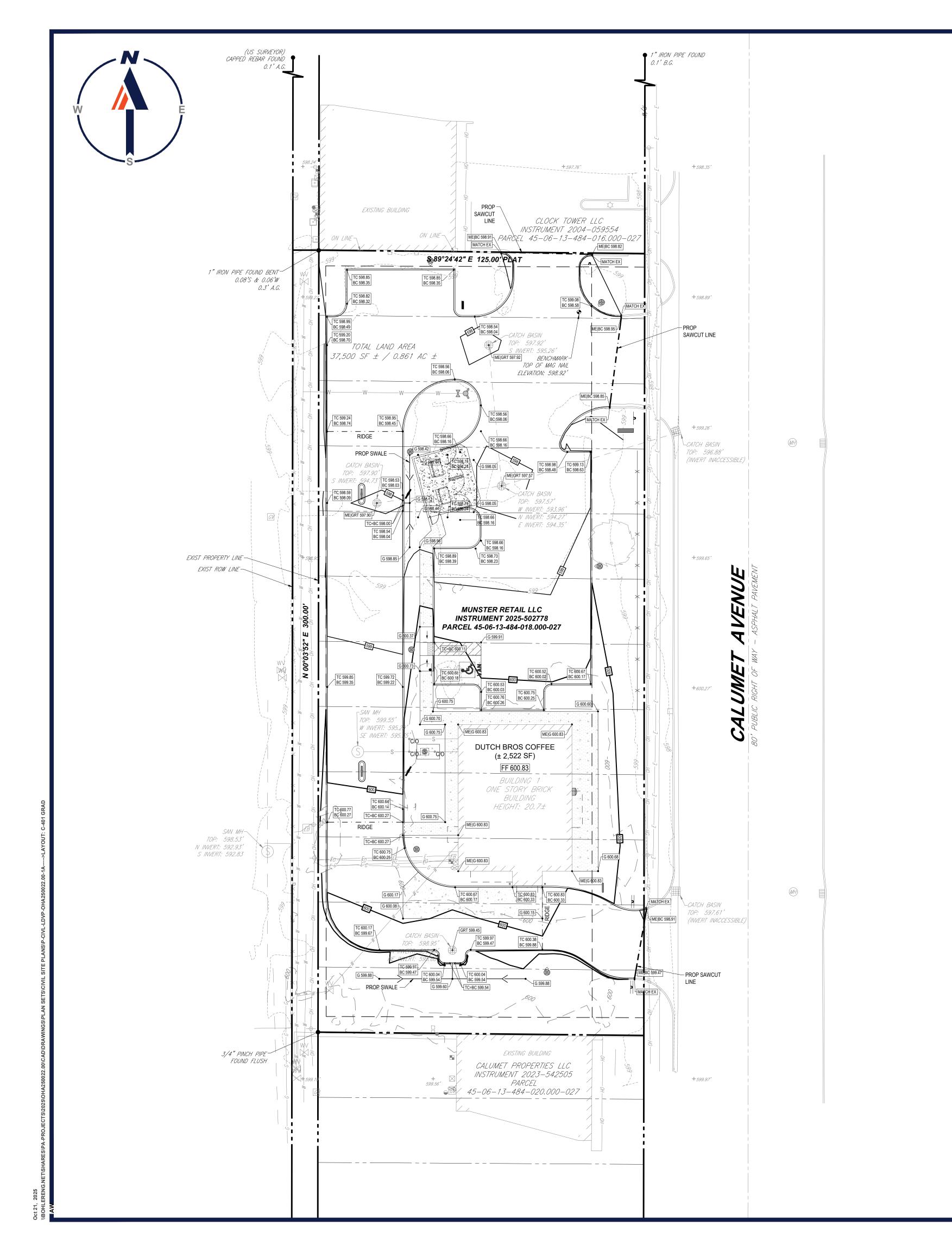
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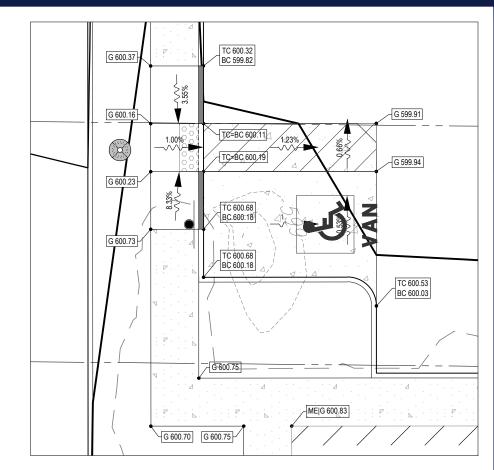
**DUTCH BROS COFFEE** 

8032 CALUMET AVENUE MUNSTER, IN 46321

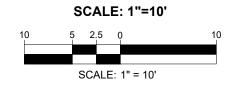
TOWN OF MUNSTER, LAKE COUNTY

STORE NO. IN0703





#### ADA ENLARGEMENT AREA



#### **GRADING NOTES**

 THE GENERAL CONTRACTOR SHALL CONFIRM THE FINISHED FLOOR ELEVATION AS WELL AS THE ELEVATION AT ALL BUILDING CORNERS PRIOR TO THE START OF CONSTRUCTION AND CONTACT THE ENGINEER OF RECORD WITH ANY DISCREPANCIES.



#### **REVISIONS**

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 KJB

 DATE:
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PROJECT:

#### PRELIMINARY/FINAL LAND DEVELOPMENT

**PLANS** 



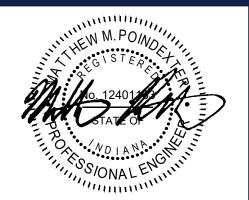
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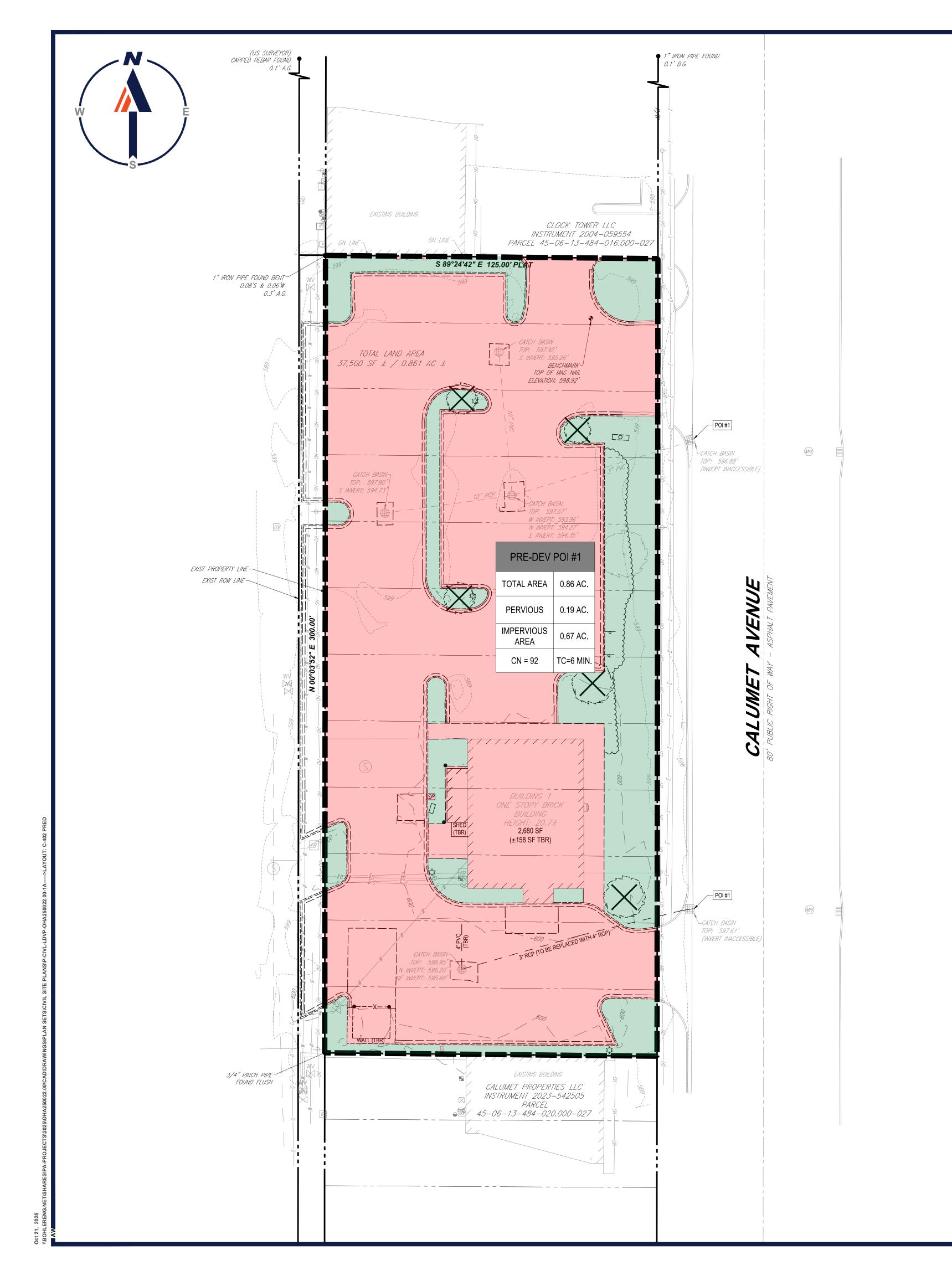
GRADING PLAN

SHEET NUMBER

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C-401





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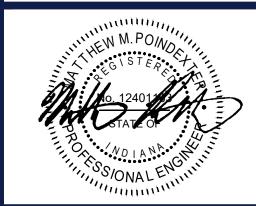
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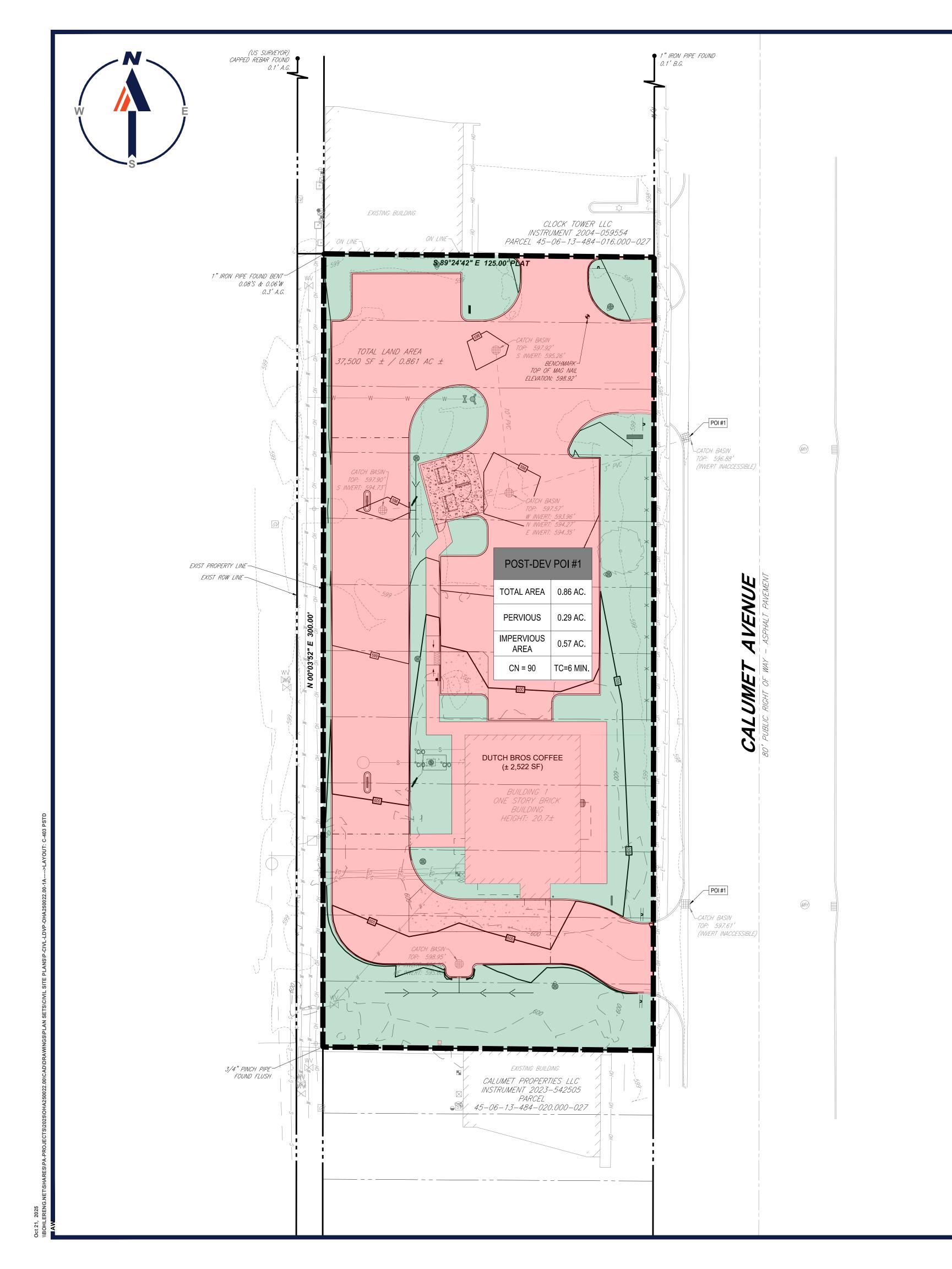
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SCALE: 1" = 20'

PRE **DEVELOPMENT** DRAINAGE AREA MAP

C-402





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PRELIMINARY/FINAL LAND DEVELOPMENT

**PLANS** 



PROPOSED DUTCH BROS COFFEE

8032 CALUMET AVENUE MUNSTER, IN 46321 TOWN OF MUNSTER, LAKE COUNTY STORE NO. IN0703

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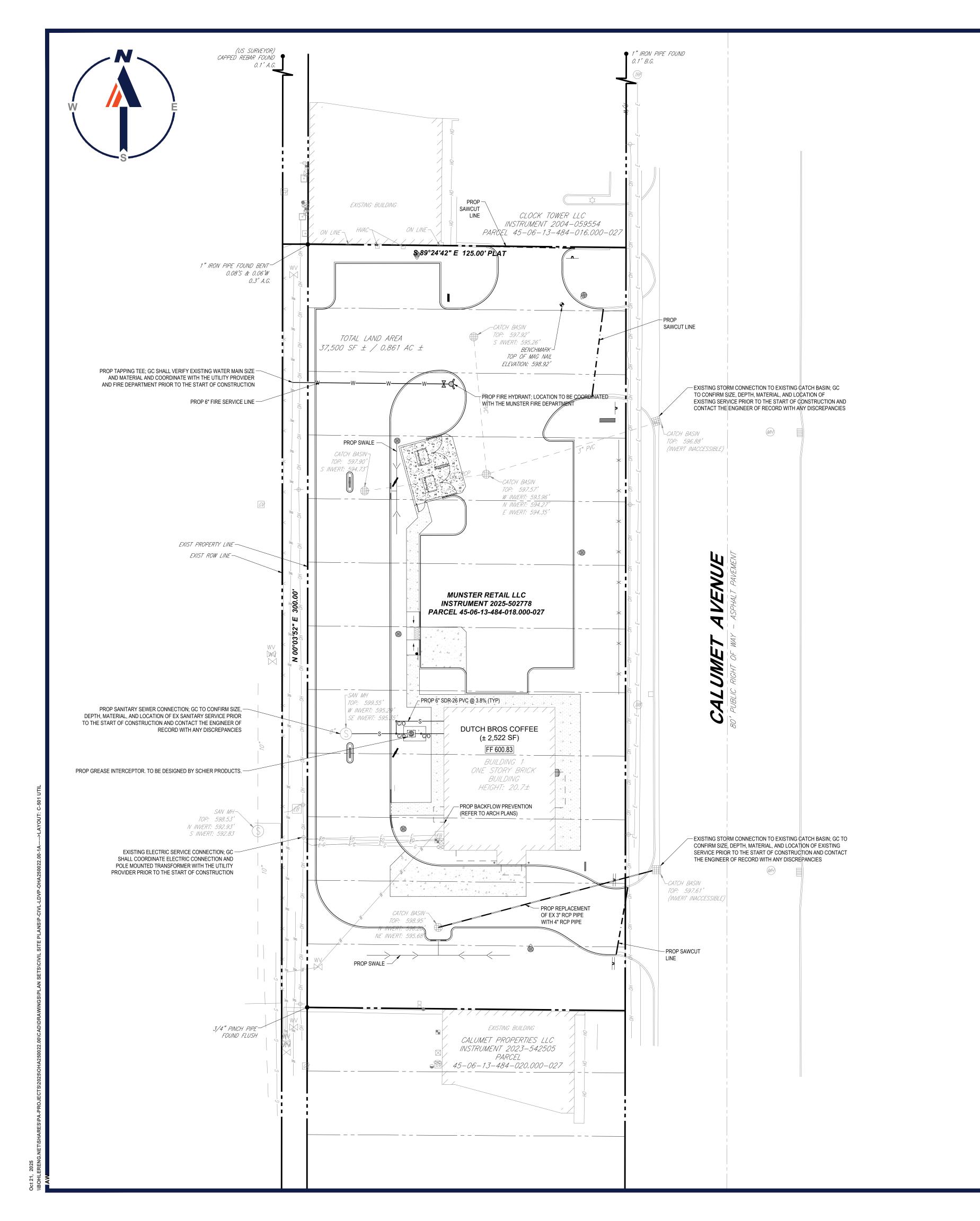
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POST **DEVELOPMENT** DRAINAGE AREA MAP

C-403

SCALE: 1" = 20'



#### **UTILITY NOTES**

 EXISTING ROOF DRAINS TO DRAIN TO SURFACE VIA SURFACE SPLASH BLOCKS. REFER TO ARCHITECTURAL PLANS.



ITE CIVIL AND CONSULTING EN LAND SURVEYING PROGRAM MANAGEME LANDSCAPE ARCHITECT SUSTAINABLE DESIGI PERMITTING SERVICE TRANSPORTATION SERV

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#### PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

PLANS



PROPOSED

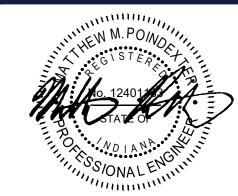
DUTCH BROS COFFEE

8032 CALUMET AVENUE MUNSTER, IN 46321 TOWN OF MUNSTER, LAKE COUNTY STORE NO. IN0703



1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

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SHEET TITLE:

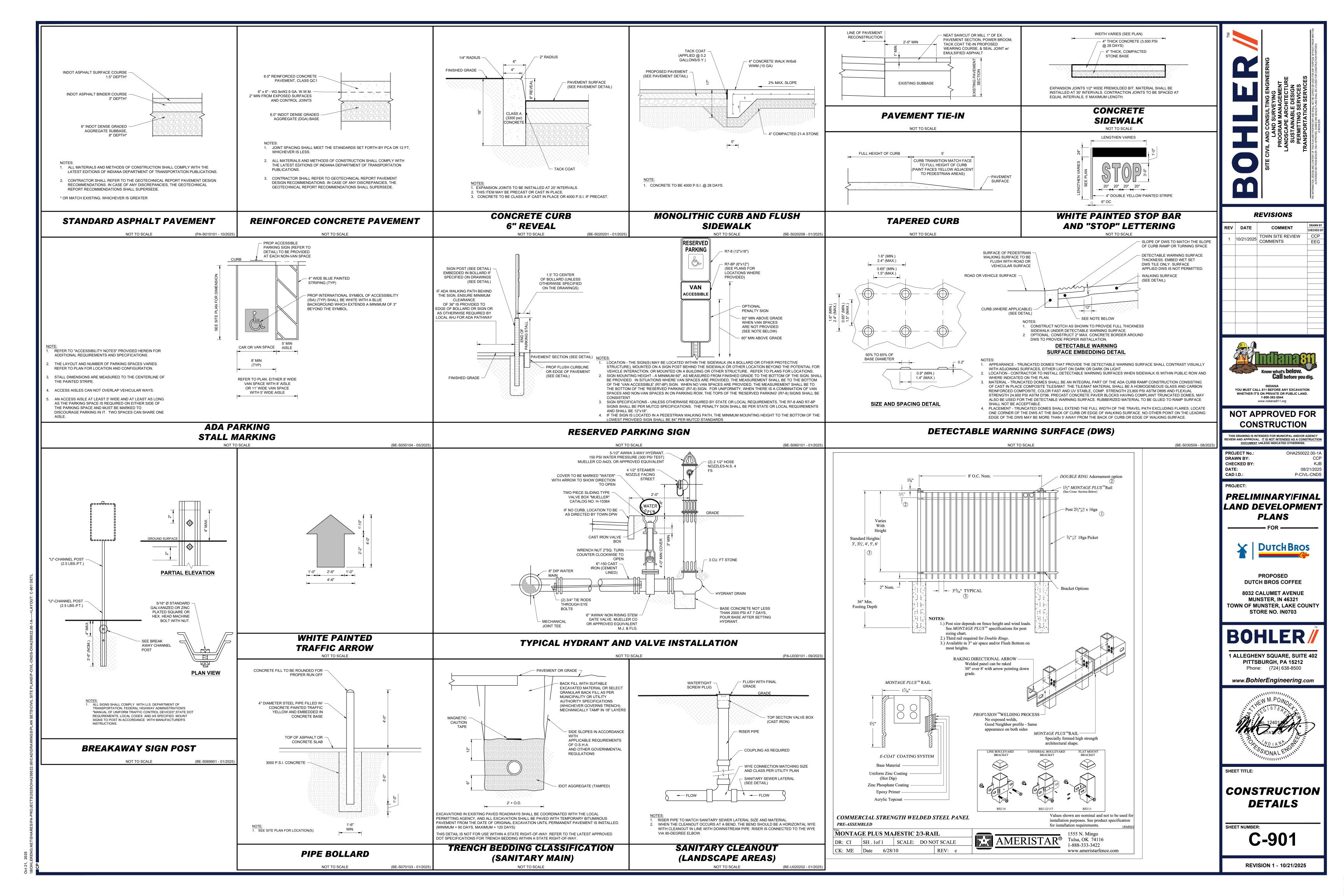
UTILITY PLAN

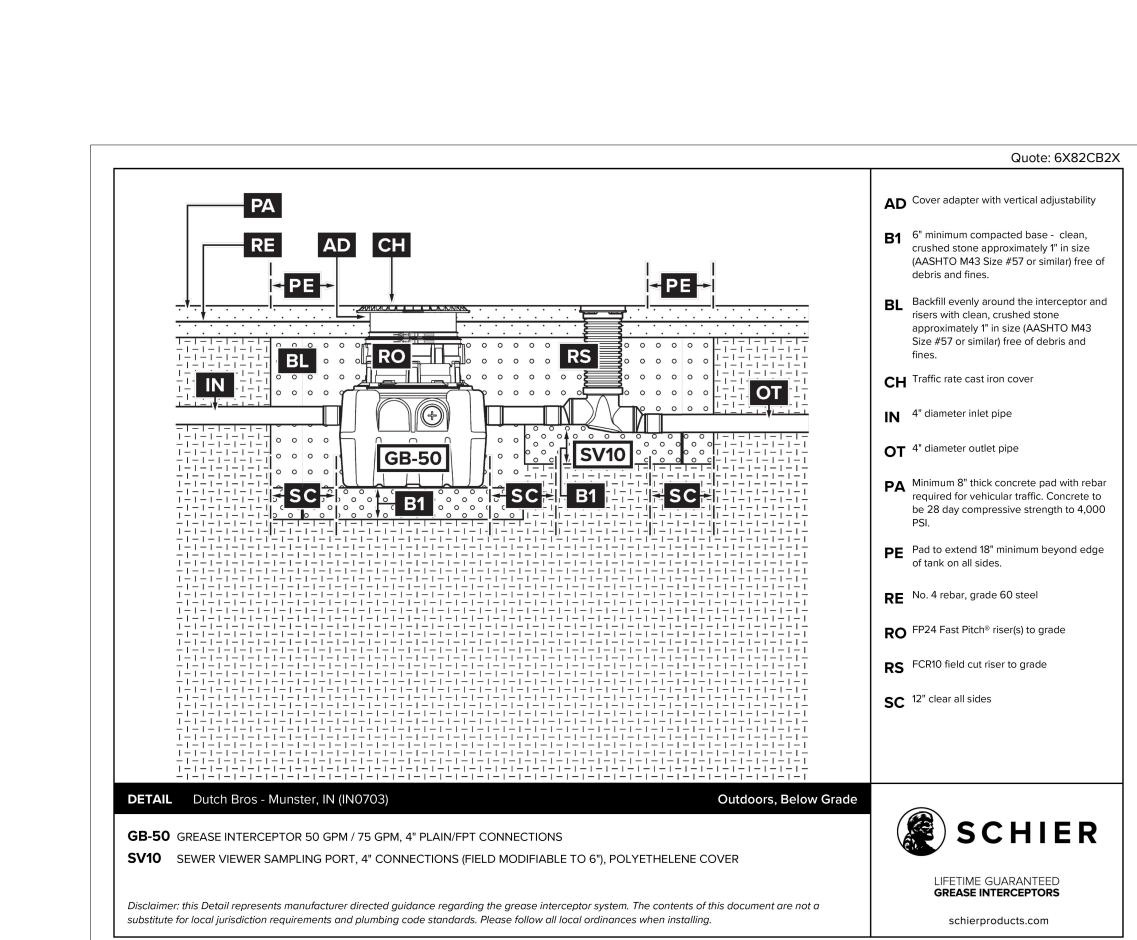
SHEET NUMBER

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

SCALE: 1" = 20'

C-501





SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

# 1 10/21/2025 TOWN SITE REVIEW COMMENTS COMMENTS COMMENTS COMMENTS

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# NOT APPROVED FOR CONSTRUCTION

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 PROJECT No.:
 OHA250022.00-1A

 DRAWN BY:
 CCP

 CHECKED BY:
 KJB

 DATE:
 08/21/2025

 CAD I.D.:
 P-CIVL-CNDS

PROJECT:

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

\_\_\_\_\_ FOR \_



PROPOSED

DUTCH BROS COFFEE

8032 CALUMET AVENUE

MUNSTER, IN 46321

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STORE NO. IN0703

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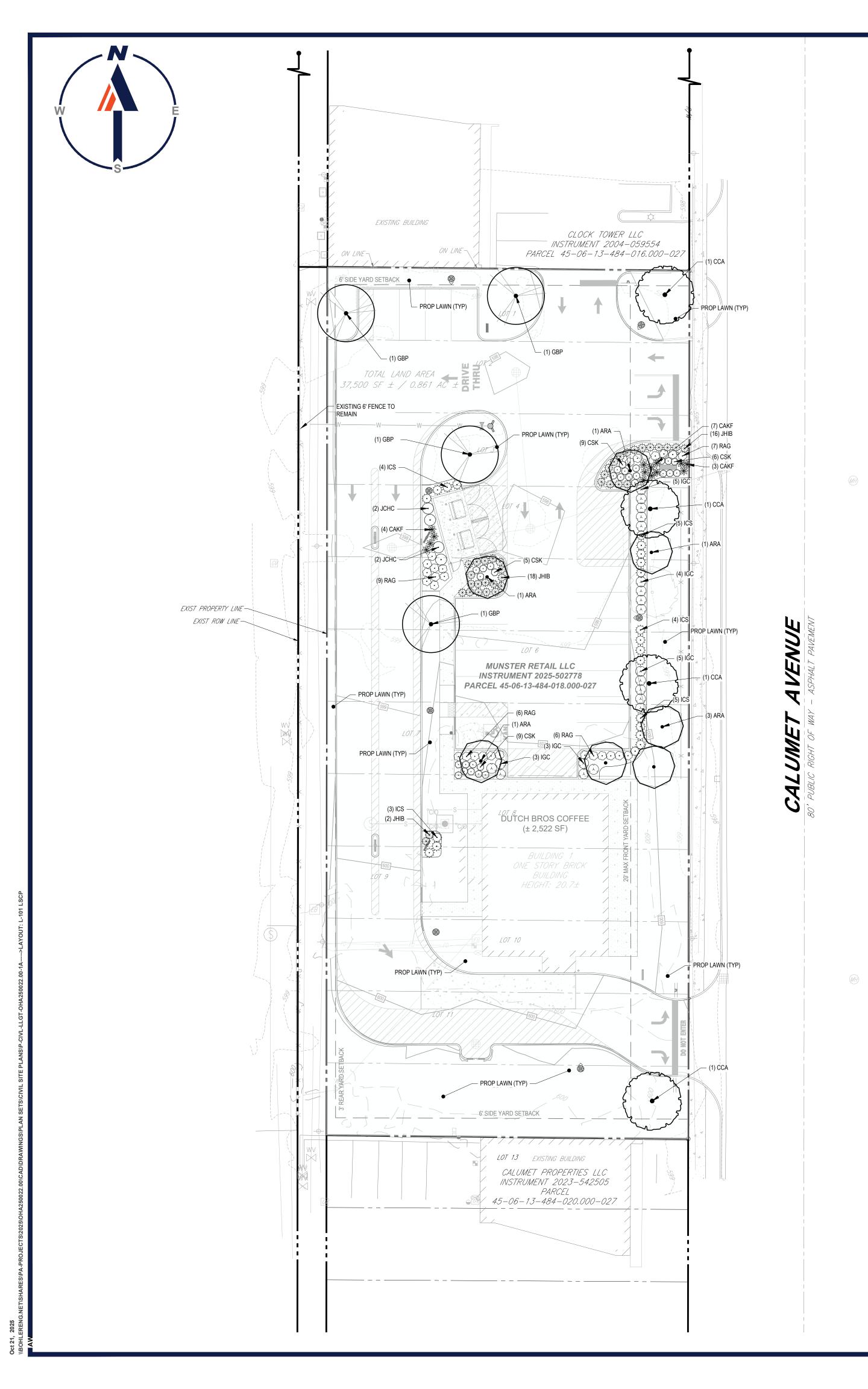


SHEET TITLE:

CONSTRUCTION DETAILS

FFT NUMBER:

C-902



SECTION	REQUIREMENT			PLIANCE CHART  CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING:		OT COVERED BY STRUC	CTURE	FIRST LOT LAYER AREA = 8.174± SF	JOHIF LIMNUE
CD-4.A TABLE 26-6.405.A-6 DISTRICT STANDARDS	PARKING AREA, WALKWAY, PATIO, TERRACE, OR DECK. IF FIRST LOT LAYER ≥ 10 FT, MINIMUM OF 30% OF 1ST LOT LAYER MUST BE LANDSCAPED IN COMPLIANCE WITH SECTION 26-6.405P. 1ST LOT LAYER MAY NOT BE PAVED EXCEPT FOR DRIVEWAY AND SIDEWALK.  R. MINIMUM OF 25% OF LANDSCAPED AREA MUST BE COVERED WITH GROUNDCOVER OR EVERGREEN TREES AND SHRUBS.			REQUIRED (30%): 8,174 x .3 = 2,452.2± SF LANDSCAPED PROVIDED (53.9%): 4,408.4± SF LANDSCAPED AREA	COMPLIES
PRIVATE LANDSCAPING AND FENCING				TOTAL LANDSCAPED AREA PROPOSED = 11,972.5 ± SF REQUIRED (25%): 11,972.5 x 0.25 = 2,993 ± SF LANDSCAPED AREA PROVIDED (100%): 11,972.5 ± SF LANDSCAPED AREA	COMPLIES
	1ST LOT LAYER ≥ 1 LAYER. IF SMALL O SPACING MUST AS	EET OF NON- BUILDING 5 FT. DEEP, PLANTED OR MEDIUM TREE SPEC SURE THAT AT MATUR ONTINUOUS CANOPY.	IN 1ST LOT CIES ARE USED,	TOTAL LENGTH ALONG CALUMET AVE= 237.31 ± LF REQUIRED: 237.31/30= 7.9 OR 8 TREES PROVIDED: 1 EXISTING TREE PLUS, 3 ARA, 4 CCA (8 TREES)	COMPLIES
	SPECIFIC STANDARD	S		ALONG PARKING LOT FRONTING CALUMET AVE:	COMPLIES
	WHERE			REQUIRED: 3'-3.5' ENHANCED HEDGE PROVIDED: MIN. 3' ENHANCED HEDGE HAS BEEN	
	SCREEN IS REQUIRED	PERMITTED SCREEN TYPE	HEIGHT	PROVIDED.	
	PARKING LOT OR PARKING AREA AT FRONTAGE IN 1ST OR 2ND LOT LAYER	WALL, ENHANCED HEDGE	3'-3.5'		
	A NON- RESIDENTIAL CD-4.A PROPERTY ABUTTING A CD-3, CD-3.R1, CD-3.R2, CD-3 R3, DISTRICT	WALL, FENCE LAY 6' IN	IN 1ST LOT /ER; 2ND AND 3RD T LAYER CD-4.R4	ALONG WEST PROPERTY LINE ADJACENT TO CD-4.R4: REQUIRED: 6' FENCE PROVIDED: EXISTING 6' FENCE TO REMAIN.	COMPLIES
	DUMPSTER AND TRASH RECEPTACLES	WALL, FENCE	6'	DUMPSTER AREA HAS BEEN SCREENED WITH 6' ENCLOSURE WALLS.	COMPLIES
	DRIVE- THROUGHS	WALL, HEDGE, FENCE	3'-3.5'	EXISTING 6' FENCE TO REMAIN TO MEET THE INTENT OF THIS REQUIREMENT.	COMPLIES
26-6.405.O.1H. DFF STREET PARKING DESIGN	VII.4) PARKING ISLANDS SHALL CONTAIN A MINIMUM OF ONE (1) SHADE TREE FOR EVERY SINGLE ISLAND. IF A PARKING ISLAND IS DOUBLE LENGTH OR WIDTH, THEN TWO (2) SHADE TREES SHALL BE REQUIRED.		ARKING ISLAND IS	TOTAL SINGLE ISLANDS PROPOSED = 8 REQUIRED: 8 x 1 = 8 TREES PROVIDED: 4 ARA, 4 GBP (8 TREES)	COMPLIES
STANDARDS	PARKING LOT, AT LEAST PRESERVED WITHIN TH EXCEPT TO THE EXTEN CONTAINING THE PARKI	UARE FEET OF PARKING TONE TREE SHALL BE IN E PARKING AREA OR PAI T THAT TREES OUTSIDE ING AREA OR PARKING L IREMENT AS SET FORTH	ISTALLED OR RKING LOT OF THE LOT .OT ARE ALLOWED	TOTAL PROPOSED PARKING LOT AREA = 10,600.8 ± SF REQUIRED: 10,600.8 / 2,000= 5.3 OR 5 TREES PROVIDED: 4 ARA, 4 GBP (8 TREES), ALSO COUNTING TOWARDS SECTION 26-6.405.O.1.H.VII.I.4) ABOVE	COMPLIES
	ACCORDANCE WITH THI THE PARKING AREA OF PLANTING STRIP A M FRONT TO BACK PLA OF-WAY CONTAINING SCREEN BETWEEN 3 ADJACENT TO THE E SHADE TREES PLANT	ALL BE SCREENED FROM	BE SCREENED FRIMETER DTH FROM E PUBLIC RIGHT G: A HEDGE HEIGHT GHT-OF-WAY. PER 30 FEET OF	MIN. 3' HEDGE ALONG PARKING LOT HAS BEEN PROVIDED. STREET TREES PER TABLE 26-6.405.A-6 HAVE BEEN PROVIDED (SEE ABOVE). AN 3' ORNAMENTAL METAL FENCE HAS BEEN PROVIDED ALONG THE PARKING LOT FRONTING CALUMET AVE.	COMPLIES
	PROHIBIT SHADE TRI BE PLANTED AT INTE CANOPY). AN ORNAM WALL SCREEN BETW INSTALLED A MINIMU	EES, SMALL OR MEDIUM RVALS EQUAL TO THEIR MENTAL METAL FENCE SI MEN 3 FEET TO 3.5 FEET IM OF TWO FEET FROM T OR PARKING LOT CURB.	TREES SHALL RMATURE CREEN OR A TIN HEIGHT		
	PARKING LOTS SHAREQUIREMENTS OF LANDSCAPING RECOMENTS OF LANDSCAPING RECOMENTS OF LANDSCAPING LOTTHOROUGHFARE SET LANDS OR LANDS	PARKING LOTS. PARKI ALL CONFORM TO THE F SECTION 26-6.405.O QUIRED PURSUANT TO HE PAVED PORTION OI OT, LOADING AREA, DR SHALL BE LOCATED IN BEATATION FROM VEHIC THE FOREGOING, ALL ALONG THE PERIMETE PARKING LOT SHALL I REA OR PARKING LOT F LEAST THREE (3') FEET	E LANDSCAPING ALL D SECTION F ANY PARKING EVEWAY OR A MANNER TO CULAR DAMAGE. TREES WITHIN ER OF THE BE SEPARATED PAVED	SEE SECTION 26-6.405.O. ABOVE. ALL PROPOSED TREES HAVE BEEN PLACED AT LEAST 3' FEET AWAY FROM THE PARKING LOT.	COMPLIES
26-6.405.P PRIVATE .OT .ANDSCAPE STANDARDS		, LOTS SHALL BE LAND FABLE 26-6.405.A-1 - 26 OS) AND THIS		SEE TABLE 26-6.405.A-6 ABOVE	COMPLIES
	8. SCREENS. SCREEN ACCORDANCE WITH S	IS SHALL BE PROVIDED SECTION 26-6.405.N.	O IN	SEE TABLE 26-6.405.A-6 ABOVE	COMPLIES
		SHALL BE BASED ON THI PT TREE OF 10" DBH OR S OF SUBSECTION C.1.		NO TREES 10" DBH OR GREATER BEING REMOVED.	COMPLIES

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOP	Y TREE	:S			
ARA	7	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5" CAL.	B&B
CCA	4	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" CAL.	B&B
GBP	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2.5" CAL.	B&B
SHRUB	ss				
CSK	29	CORNUS SERICEA 'KELSEYI'	KELSEYI DOGWOOD	15-18"	CONTAINER
ICS	21	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	36" MIN.	CONTAINER
IGC	20	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	36" MIN.	CONTAINER
JCHC	4	JUNIPERUS CHINENSIS `HETZII COLUMNARIS`	COLUMNAR HETZ JUNIPER	4-5`	B&B
	36	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER
JHIB	100		GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER

#### **GENERAL LANDSCAPE NOTES:**

SWALES AND STORMWATER BASINS.

- 1. THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET. THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, ARE CONSIDERED PART OF LANDSCAPE PLANS. THE CONTRACTOR MUST REFER TO, AND FULLY COMPLY WITH, ALL NOTES, SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS AND IN THE LANDSCAPE DETAILS SHEET.
- 2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY STATED ON THIS PLAN.
- 3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG. 4. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPALITY'S ENGINEERING AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL
- PRIOR TO INSTALLATION. 5. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE
- 6. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL PROJECT MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE CARE, WATERING, AND MAINTENANCE OF ALL PLANT MATERIAL; LAWN MOWING, AND SEASONAL MAINTENANCE.



REVISIONS						
REV	DATE	COMMENT	C			
1	10/21/2025	TOWN SITE REVIEW				

			CHECKED
1	10/21/2025	TOWN SITE REVIEW	CCP
		COMMENTS	EEG



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PROJECT No.: DRAWN BY: CHECKED BY: DATE: CAD I.D.: 08/21/2025 P-CIVL-LLGT

PROJECT:

#### PRELIMINARY/FINAL LAND DEVELOPMENT

**PLANS** 



PROPOSED **DUTCH BROS COFFEE** 

8032 CALUMET AVENUE MUNSTER, IN 46321 TOWN OF MUNSTER, LAKE COUNTY STORE NO. IN0703



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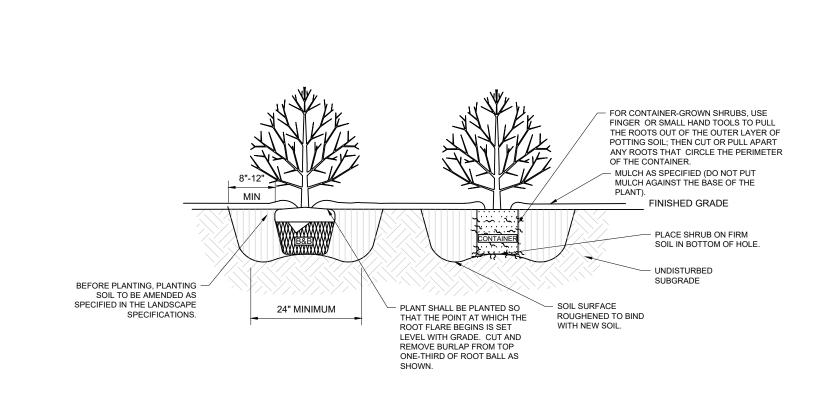
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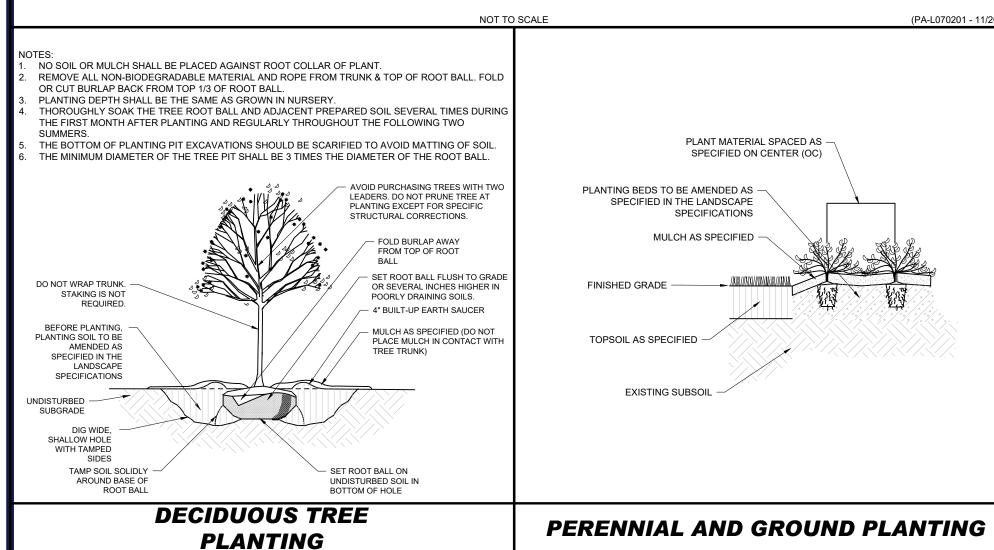
*LANDSCAPE* PLAN

SCALE: 1" = 20'

L-101



#### SHRUB PLANTING



NOT TO SCALE

NOT TO SCALE

**GROUNDCOVER &** 

ANNUAL SPACING

6" OC 8" OC

10" OC

12" OC 15" O.C

18" OC 24" OC 30" OC

36" OC

5.20" 6.93"

13.00" 15.60" 20.80"

#### LANDSCAPE SPECIFICATIONS

**ASSOCIATION** 

STORED STOCKPILED OR DISPOSED OF

THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 5.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY C. LAWN - LAWN AREAS SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS

INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. FOR SOIL BED PREPARATIONS, REFER TO ITEM 8

LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN. F FFRTILIZER

WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM

FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING

BY WEIGHT A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY AMERICAN HORT (FORMERLY THE AMERICAN NURSERY AND LANDSCAPE

IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF FACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6"). ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE

SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

GENERAL WORK PROCEDURES CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN. B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR

SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE. C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE'. OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO

DEMOLITION GRADING TREE CLEARING OR ANY OTHER CONSTRUCTION THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN

THE TREE PROTECTION ZONE

A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY. B. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE CONTRACTOR DEPENDING ON

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL

TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK

(UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

A. UNLESS OTHERWISE CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

B. CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"+)

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AND LAWN AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF

IT HAS NOT BEEN PROPERLY REMOVED. STORED AND PROTECTED PRIOR TO CONSTRUCTION

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):

20 POUNDS 'GRO-POWER' OR APPROVED EQUAL SOIL CONDITIONER/FERTILIZER

20 POUNDS 'NITRO-FORM' (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL

CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED

ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THI

LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

PLANTS: MARCH 15TH TO DECEMBER 15TH LAWN AND MEADOW SEED MIXES: MARCH 1ST TO MAY 15TH OR BETWEEN AUGUST 15TH AND OCTOBER 15TH

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS. FURTHERMORE. THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT

RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACFR RUBRUM PLATANUS X ACFRIFOLIA BETULA VARIETIES POPULUS VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES KOFI RFUTERIA QUERCUS VARIETIES

LIQUIDAMBAR STYRACIFI UA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, WITH THE WIDTH THREE TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE

FOLLOWING PREPARED SOIL MIXED THOROUGHLY: 1 PART PEAT MOSS 1 PART COMPOSTED COW MANURE BY VOLUME

3 PARTS TOPSOIL BY VOLUME 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

2 TABLETS PER 1 GALLON PLANT 3 TABLETS PER 5 GALLON PLANT

4 TABLETS PER 15 GALLON PLANT LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK

FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER

ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST YEAR OF PLANTING. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO

PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION. M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN

TRANSPLANTING (WHEN REQUIRED) ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. (SEE SPECIFICATION 2.F. B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY

WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10TH AND JUNE 30TH. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN

SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT

A NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED REGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE **ESTABLISHED** 

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE. CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE. IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED

MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED

REPRESENTATIVE B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SLICCEFDING PLANTING SEASON, ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION. A PLANT SHALL BE CONSIDERED "DEAD OR DYING" IF MORE THAN 30% OF ITS BRANCHES ARE

TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE

OWNER/OPERATOR. CULTIVATION. WEEDING. WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE D. LAWNS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS. EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED

REVISIONS

COMMENT

REV DATE

1	10/21/2025	TOWN SITE REVIEW COMMENTS	CCP EEG
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P-CIVL-LLG

PROJECT No.: OHA250022.00-DRAWN BY: **CHECKED BY** 

PROJECT:

CAD I.D.:

PRELIMINARY/FINAL LAND DEVELOPMENT

**PLANS** 



PROPOSED

**DUTCH BROS COFFEE** 

**8032 CALUMET AVENUE** MUNSTER. IN 46321 TOWN OF MUNSTER, LAKE COUNTY

STORE NO. IN0703



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LANDSCAPE **NOTES AND DETAILS** 

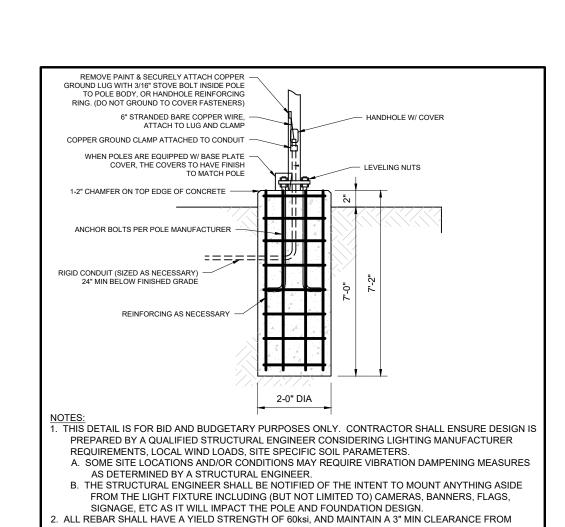


EXISTING 6' OPAQUE-

FENCE MODELED

DUTCH BROS COFFEE

(± 2,522 SF)



LIGHT POLE

2" REVEAL FOUNDATION

#### LIGHTING COMPLIANCE CHART SECTION REQUIREMENT COMPLIANCE Q. PRIVATE LIGHTING STANDARDS. ZONING: THE FOLLOWING STANDARDS AND REQUIREMENTS ARE SECTION COMPLIES APPLICABLE WITHIN ALL DISTRICTS AND CIVIC ZONES, 26-6.405 EXCEPT AS OTHERWISE NOTED: 1. AREAS TO BE LIGHTED. EXCEPT IN DISTRICTS CD-3, CD-3.R1, CD-3.R2, CD-3.R3, AND CD-4.R4, AND SD-PUD, ALL PARKING AREAS, PARKING LOTS, PARKING STRUCTURES, AND ACCESS WAYS WITHIN THE LOT SHALL BE LIGHTED. 2.b. A LIGHTING STANDARD SHALL BE OF A HEIGHT AND COMPLIES DESIGN CONSISTENT WITH THE SURROUNDING AREA BUILDINGS BUT IN NO EVENT HIGHER THAN TWENTY FEET (20'). 3.a. ILLUMINATION OF PARKING AREAS, PARKING LOTS, PARKING STRUCTURES, AND ALL PEDESTRIAN WAYS COMPLIES SHALL BE PROVIDED AT AN AVERAGE OF 1.0-2.5 FOOT-CANDLES AND A MINIMUM OF 0.4 FOOT-CANDLES. b. ILLUMINATION AT ALL LOT LINES SHALL MEET THE STANDARD OF TABLE 26-6.405.Q-2 (PRIVATE LIGHTING COMPLIES STANDARDS). TABLE 26-6.405.Q-2 (PRIVATE LIGHTING STANDARDS) MIN/MAX LIGHTING LEVEL AT PROPERTY AND FRONTAGE LINES (IN FOOTCANDLES) CD-4 R4 0 FC @ PROPERTY LINE CD-4.A & CD-4.B, CD-5 ADJACENT TO CD-3, CD-3. R1, CD-R2, CD-R3 OTHERWISE, 1.0-2.0 FC & SD-M 4. LIGHTING FIXTURES. LIGHTING FIXTURES MUST BE FULL COMPLIES

#### **GENERAL LIGHTING NOTES:**

CUT OFF OR FULLY SHIELDED AND DIRECTED DOWN.

- THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, MUST BE INCLUDED AS PART
  OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE
  ELECTRICAL CONTRACTOR MUST BECOME FAMILIAR WITH, REFER TO AND FULLY COMPLY WITH
- THESE NOTES, IN THEIR ENTIRETY.

  2. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THIS LIGHTING PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL APPLICABLE AGENCY AND GOVERNMENTAL REGULATIONS. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED
- ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S).
  ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE
  TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, MAINTENANCE, THE
  SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.

  3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A
  HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION
  LEVELS ARE SHOWN IN FOOTCANDLES (FC).
   THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER
  SYSTEM, CONDUITS, WIRING, CONTROLS, AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE
  ARCHITECT'S, ELECTRICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS
- ARCHITECT'S, ELECTRICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) AND ALL APPLICABLE BUILDING AND LOCAL ELECTRICAL CODES.
- 5. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- 6. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL LIGHTING IS INSTALLED PER THIS LIGHTING PLAN, INCLUDING THE LOCATION, ORIENTATION, SHIELDING, AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS DEPICTED ON THIS PLAN. EXISTING POLES AND FOUNDATIONS ARE NOT TO BE REUSED.
- 7. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND OTHER MAINTENANCE SPECIFIED BY THE MANUFACTURER. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED
- 8. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-21 TESTING (OR MOST RECENT EDITION). THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- 9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE
- 10.LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

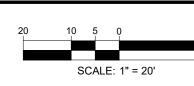
LUMINAIRE SCHEDULE									
LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	COLOR TEMP.	BUG RATING	DESCRIPTION	DESCRIPTION
D3-S	2	18'-0" AFG	SINGLE	6403	0.900	3000K	B1-U0-G2	LUMEC BY SIGNIFY, METROSCAPE LED POST TOP LUMINAIRE, TYPE 3W WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (MPTR-97W32LED-3K-G3-LE3W-x-HS)	LUMEC BY SIGNIFY, AM6 ROUND ALUMINUM BOTTLENECK POLE, 16' LENGTH (AM6-U-16)
D4	1	18'-0" AFG	SINGLE	9484	0.900	3000K	B2-U0-G2	LUMEC BY SIGNIFY, METROSCAPE LED POST TOP LUMINAIRE, TYPE 4, ZERO UP-LIGHT (MPTR-97W32LED-3K-G3-LE4-x)	LUMEC BY SIGNIFY, AM6 ROUND ALUMINUM BOTTLENECK POLE, 16' LENGTH (AM6-U-16)
D4-S	1	18'-0" AFG	SINGLE	6789	0.900	3000K	B1-U0-G2	LUMEC BY SIGNIFY, METROSCAPE LED POST TOP LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (MPTR-97W32LED-3K-G3-LE4-x-HS)	LUMEC BY SIGNIFY, AM6 ROUND ALUMINUM BOTTLENECK POLE, 16' LENGTH (AM6-U-16)
D5	3	18'-0" AFG	SINGLE	9803	0.900	3000K	B4-U0-G2	LUMEC BY SIGNIFY, METROSCAPE LED POST TOP LUMINAIRE, TYPE 5, ZERO UP-LIGHT (MPTR-97W32LED-3K-G3-LE5-x)	LUMEC BY SIGNIFY, AM6 ROUND ALUMINUM BOTTLENECK POLE, 16' LENGTH (AM6-U-16)
W3*	1	12'-0" AFF*	SINGLE	2718	0.900	3000K	B1-U0-G1	GARDCO BY SIGNIFY, PUREFORM LED WALL SCONCE, TYPE 3, ZERO UP-LIGHT (PWS-P-A01-730-3-x-x)	*******

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	0.62	4.2	0.0	N.A.	N.A.
EAST PROPERTY LINE	ILLUMINANCE	Fc	0.37	1.3	0.0	N.A.	N.A.
NORTH PROPERTY LINE	ILLUMINANCE	Fc	0.70	1.3	0.1	7.00	13.00
SOUTH PROPERTY LINE	ILLUMINANCE	Fc	0.05	0.1	0.0	N.A.	N.A.
WEST PROPERTY LINE (ADJACENT TO RESIDENTIAL)	ILLUMINANCE	Fc	0.00	0.0	0.0	N.A.	N.A.
WEST PROPERTY LINE (ADJACENT TO UTILITY ROW)	ILLUMINANCE	Fc	0.60	0.8	0.0	N.A.	N.A.
DRIVE THRU	ILLUMINANCE	Fc	1.43	2.9	0.6	2.38	4.83
PARKING LOT	ILLUMINANCE	Fc	1.69	4.1	0.7	2.41	5.86
SIDEWALK	ILLUMINANCE	Fc	1.37	2.2	0.5	2.74	4.40

\*SEE ARCHITECTURAL PLANS FOR FINAL LOCATION AND MOUNTING HEIGHT

 0.0
 0.0
 0.0
 0.0

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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KEV	DATE	COMMENT	CHECK	
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1	10/21/2025	COMMENTS	EE	



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CHECKED BY: KJB

P-CIVL-LLG1

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SHEET NUMBER:

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QUEET TITI

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SHEET NUMBE

SCALE: 1" = ###'

**EX-01**