

LOCATION OF SITE
8032 CALUMET AVENUE
MUNSTER, IN 46321
TOWN OF MUNSTER, LAKE COUNTY
STORE NO. IN 0703

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS

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TM

SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

[illegible]

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PROJECT:

Dutch Bros
Coffee

BOHLER 

1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500

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SHEET TITLE:

COVER SHEET

SHEET NUMBER

C-101

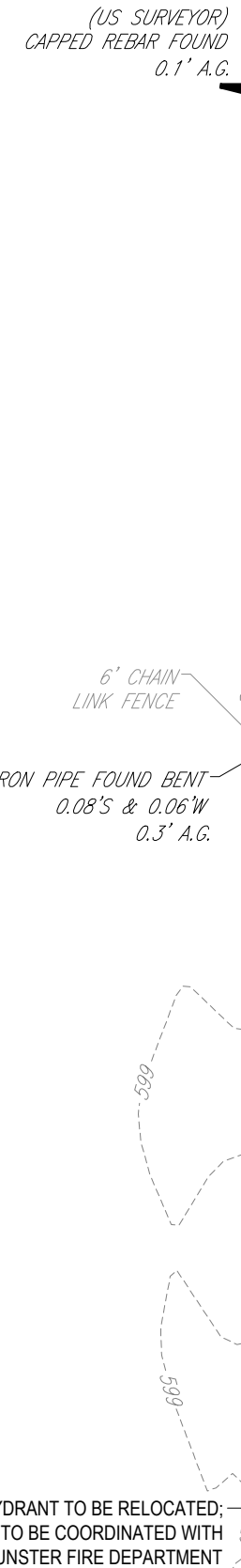
REVISION 1 - 10/21/2025

BOHLER //

CONTACT: CATERINA PAGANO, PE - CPAGANO@BOHLERENG.COM

GENERAL NOTE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



1. THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA CALUMET AVENUE, A PUBLIC
2. RIGHT-OF-WAY.
3. THE POSTED ADDRESS ON SITE IS 8302 CALUMET AVENUE.
4. THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON
5. ABOVE-GROUND OBSERVED EVIDENCE, AND UTILITY MARKINGS PROVIDED BY BLVD, DATED
6. 11/15/2015, THE CITY OF CHICAGO, AND THE CHICAGO DEPARTMENT OF PUBLIC WORKS.
7. THE UTILITIES SHOWN HEREON COMPROMISE ALL SUCH UTILITIES ON THE SUBJECT PROPERTY, EITHER
8. IN-SERVICE OR ABANDONED. IT IS BELIEVED THAT THE LOCATIONS OF ALL UNDERGROUND
9. UTILITIES SHOWN HEREON ARE CORRECT. HOWEVER, THE SURVEYOR MAKES NO WARRANTY THAT THE
10. INFORMATION AVAILABLE, HOWEVER, THE SURVEYOR MAKES NO WARRANTY THAT THE
11. UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. WHERE ADDITIONAL OR
12. MORE DETAILED INFORMATION IS REQUIRED, A PRIVATE UTILITY LOCATION REQUEST MAY BE
13. NECESSARY.
14. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED SURFACE EVIDENCE OF RECENT
15. EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
16. THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES OF ANY RECENT
17. CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND
18. AVAILABLE FROM THE CONTROLLING JURISDICTION.
19. ALL AVAILABLE RECORDS OF ALL UTILITIES DISCLOSED IN DOCUMENTS
20. PROVIDED TO OR OBTAINED BY THE SURVEYOR HAVE BEEN PLOTTED AND SHOWN HEREON.
21. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED
22. HEREON ARE HEREOF INCORPORATED BY REFERENCE. ALL BUILDINGS, UTILITIES,
23. PARTY WALLS, PARKING, EASEMENTS, SERVITUDES AND ENCROACHMENTS ARE BASED ON
24. SOLELY ON ABOVE-GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF
25. INFORMATION IS SPECIFICALLY IDENTIFIED.
26. THE NEAREST INTERSECTING STREET WITH CALUMET AVENUE IS BROADMOOR STREET,
27. WHICH IS LOCATED APPROXIMATELY 147 FEET FROM THE SUBJECT PROPERTY.
28. THE NORTH ARROW IS BASED ON THE NORTH ARROW PROVIDED BY THE NORTH
29. AMERICAN VERTICAL DATUM OF 1988 (NAD83), DERIVED FROM THE INDIANA DEPARTMENT
30. OF TRANSPORTATION RST NETWORK ON THE DATE THE FIELD WORK WAS COMPLETED.
31. THE SOURCE OF THE DATA FOR THE SURVEY WERE NO WETLAND DELINEATION MARKINGS
32. OBSERVED ON THE SUBJECT PROPERTY.
33. ALL POINTS ARE SHOWN AT 1'-FOOT INTERVALS.
34. THE CONTS SURCH MARK IS THE TOP OF A MAG NAIL SET AT AN ELEVATION OF 589.92
35. FEET.



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PROJECT No.:	OHA250022.00
DRAWN BY:	C
CHECKED BY:	H
DATE:	08/21/20
AD I.D.:	P-CIVL-LD

PROJECT: **PRELIMINARY/FINAL
DESIGN AND DEVELOPMENT
PLANS**



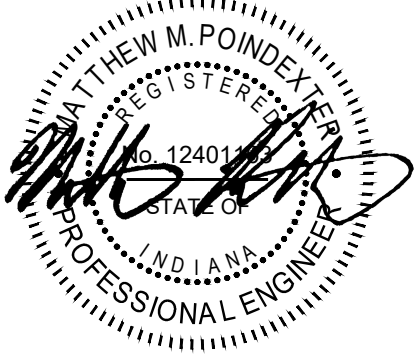
**PROPOSED
DUTCH BROS COFFEE**

**8032 CALUMET AVENUE
MUNSTER, IN 46321
TOWN OF MUNSTER, LAKE COUNT
STORE NO. IN0703**

BOHLER//

1 ALLEGHENY SQUARE, SUITE 402
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HEET TITLE:

***EXISTING
CONDITIONS/
DEMOLITION
PLAN***

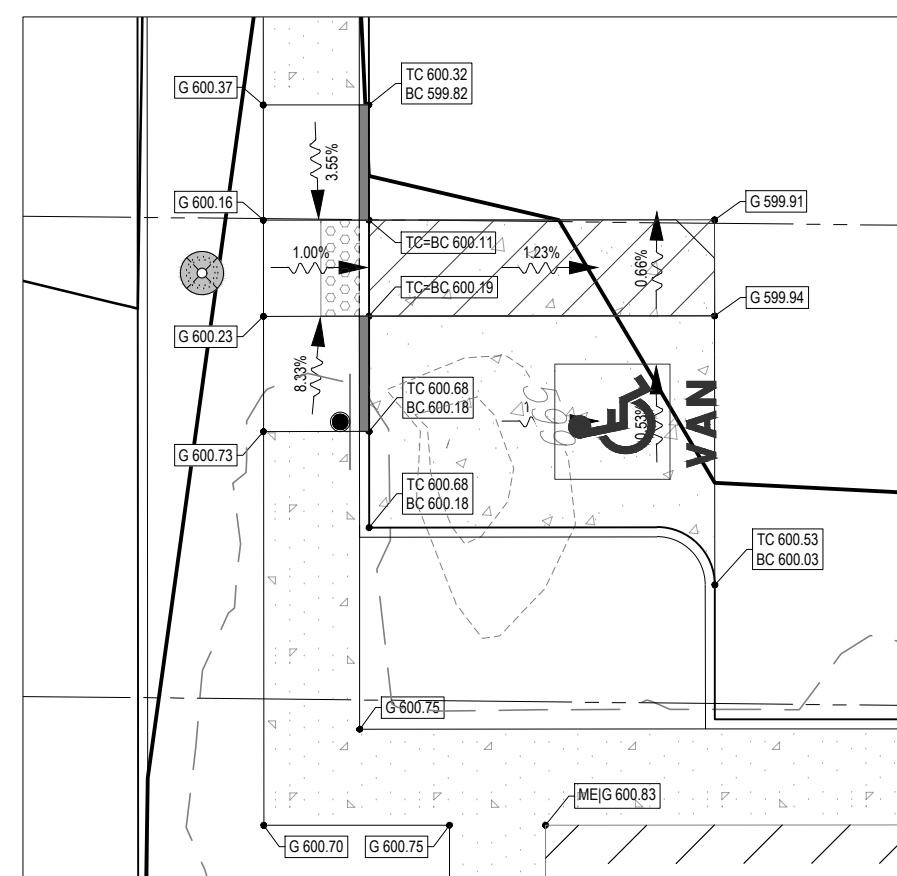
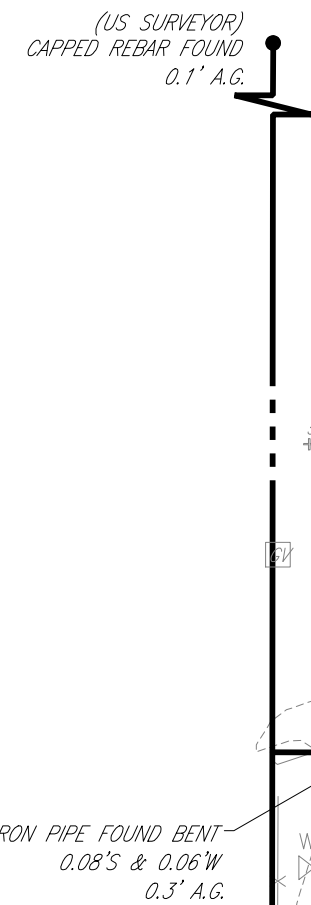
HEET NUMBER

C-201

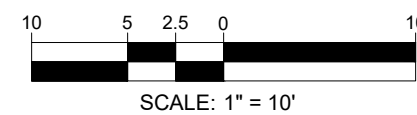
REVISION 1 - 10/21/2025

**THIS PLAN TO BE UTILIZED
FOR SITE LAYOUT PURPOSES
ONLY**





SCALE: 1"=10'



1. THE GENERAL CONTRACTOR SHALL CONFIRM THE FINISHED FLOOR ELEVATION AS WELL AS THE ELEVATION AT ALL BUILDING CORNERS PRIOR TO THE START OF CONSTRUCTION AND CONTACT THE ENGINEER OF RECORD WITH ANY DISCREPANCIES.

[illegible]

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PROJECT No.:	OHA250022.00-1A
DRAWN BY:	CCP
CHECKED BY:	KJB
DATE:	08/21/2025
CAD I.D.:	P-CIVL-LDVP

- FOR -



**PROPOSED
DUTCH BROS COFFEE
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MUNSTER, IN 46321
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SHEET TITLE:

GRADING PLAN

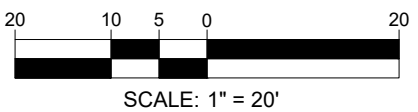
SHEET NUMBER:

C-401

REVISION 1 - 10/21/2025



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REVISIONS

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CHECKED BY:	KJB
DATE:	08/21/2025
AD I.D.:	P-CIVL-LDVP

PROJECT:

PRELIMINARY/FINAL AND DEVELOPMENT PLANS

FOR -



**PROPOSED
DUTCH BROS COFFEE**

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MUNSTER, IN 46321
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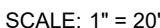
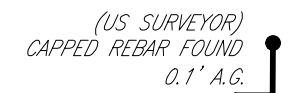
SHEET TITLE:

**PRE
DEVELOPMENT
DRAINAGE
AREA MAP**

SHEET NUMBER

C-402

REVISION 1 - 10/21/2025



CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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DATE:	08/21/2025
CAD I.D.:	P-CIVL-LDVP

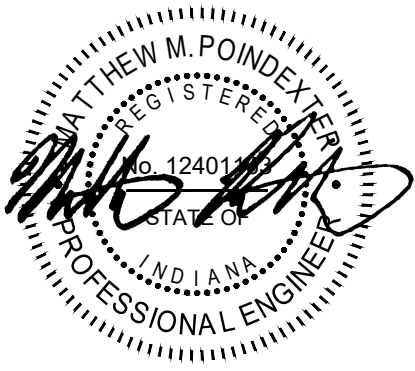


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Coffee

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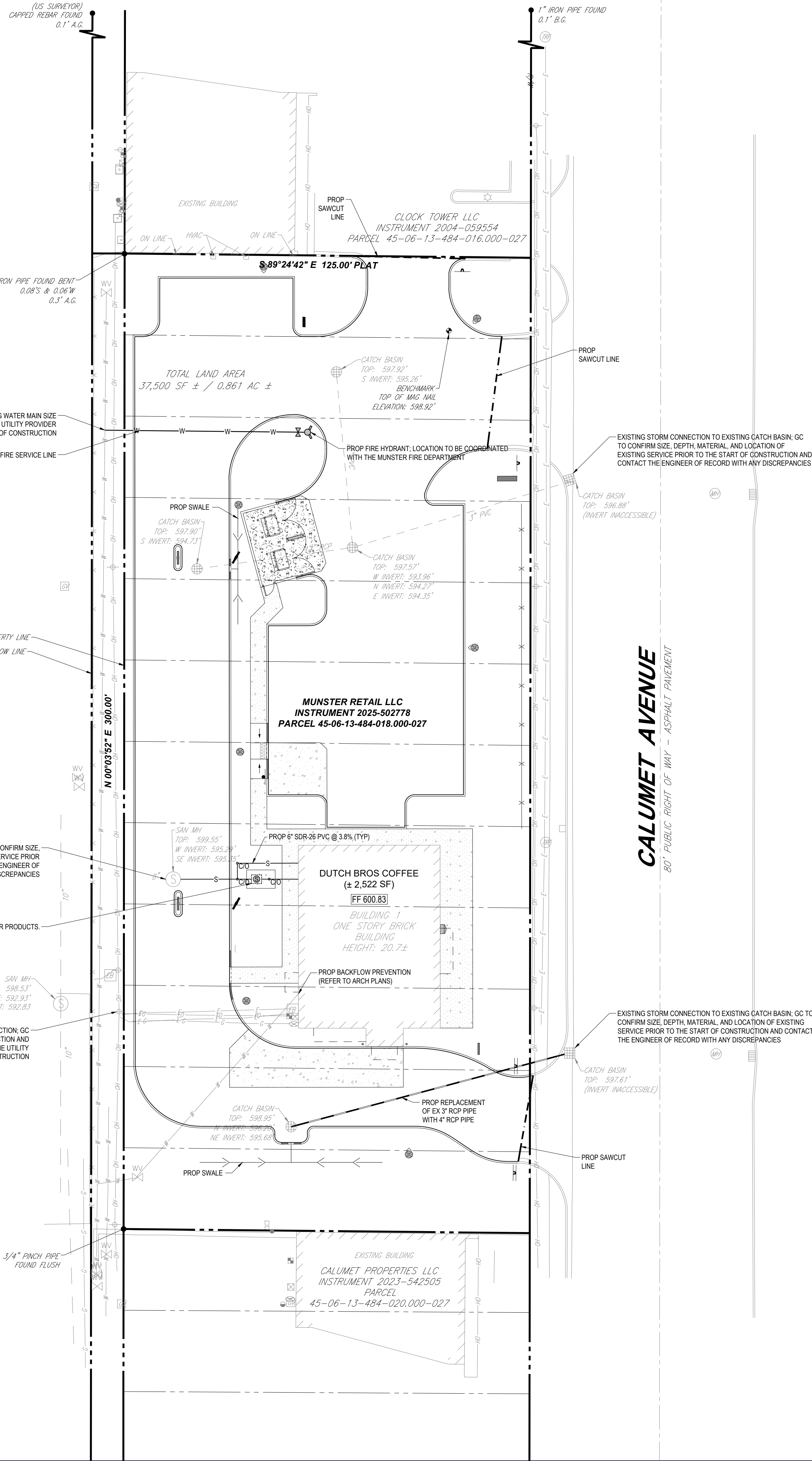
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C-403

REVISION 1 - 10/21/2025



1. EXISTING ROOF DRAINS TO DRAIN TO SURFACE VIA SURFACE SPLASH BLOCKS. REFER TO ARCHITECTURAL PLANS.

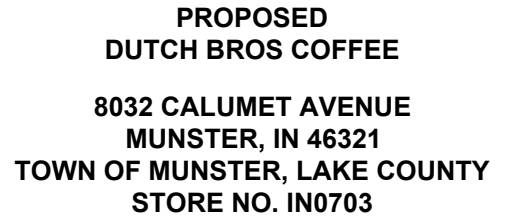
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PROJECT No.: OHA250022.00-1A
DRAWN BY: CCP
CHECKED BY: KJB
DATE: 08/21/2025
CAD I.D.: P-CIVL-LDVP

PROJECT: ***PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS***



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SHEET TITLE:

UTILITY PLAN

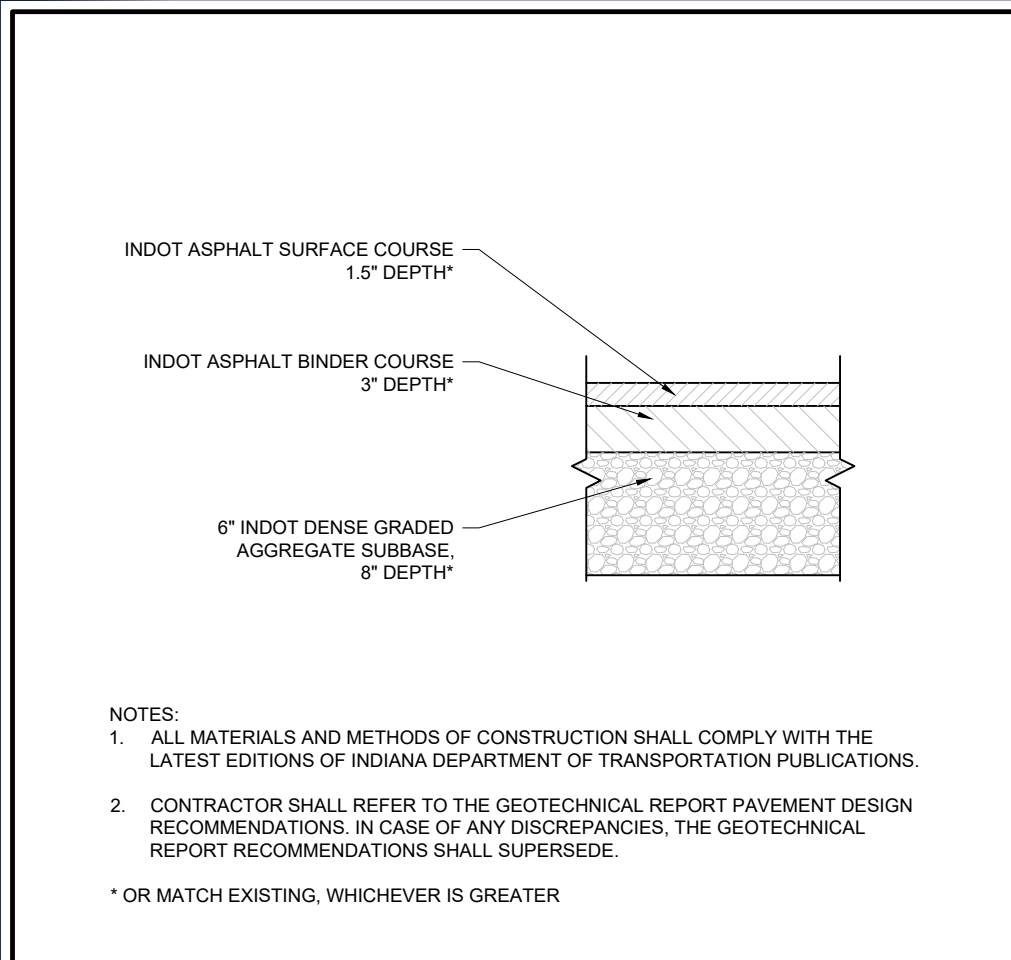
SHEET NUMBER:

C-501

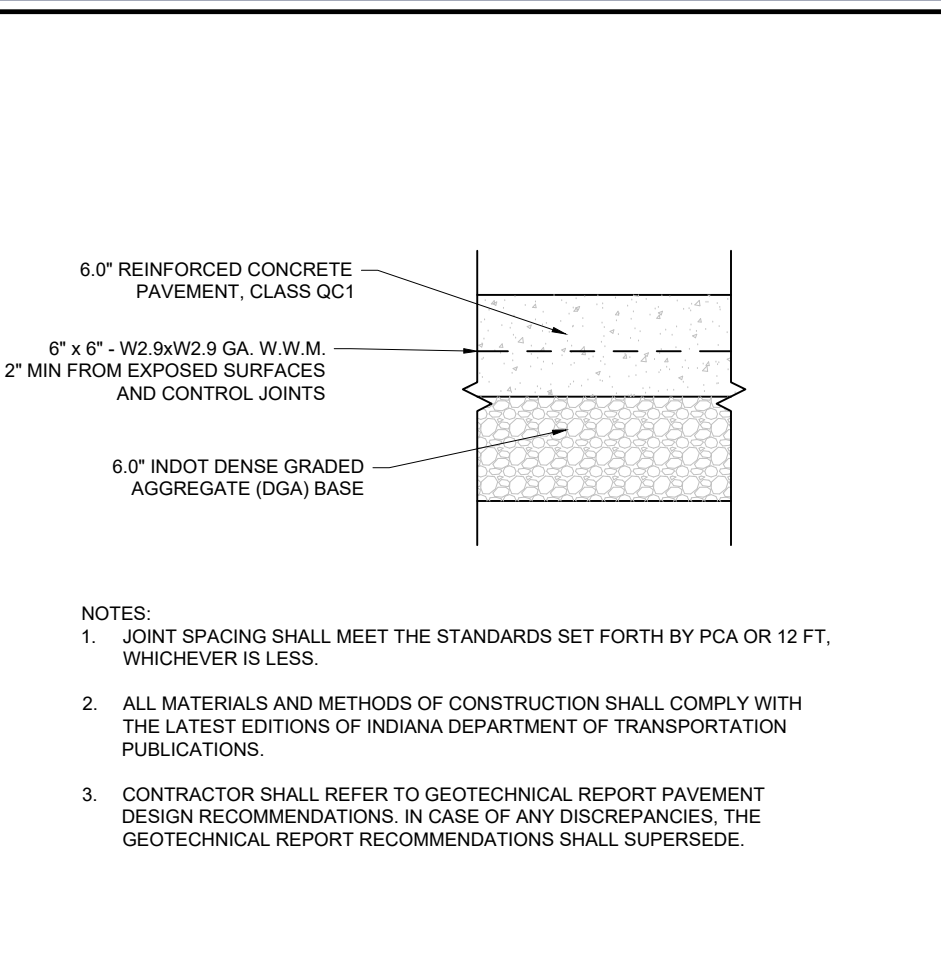
REVISION 1 - 10/21/2025

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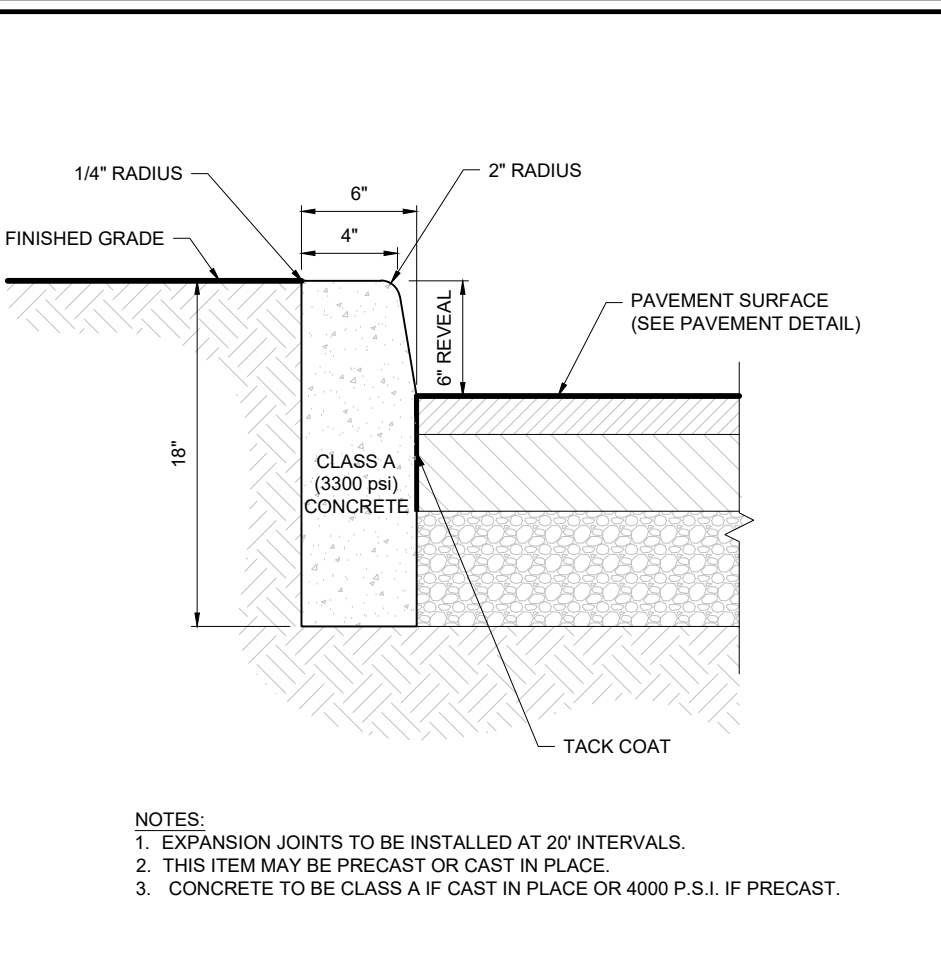




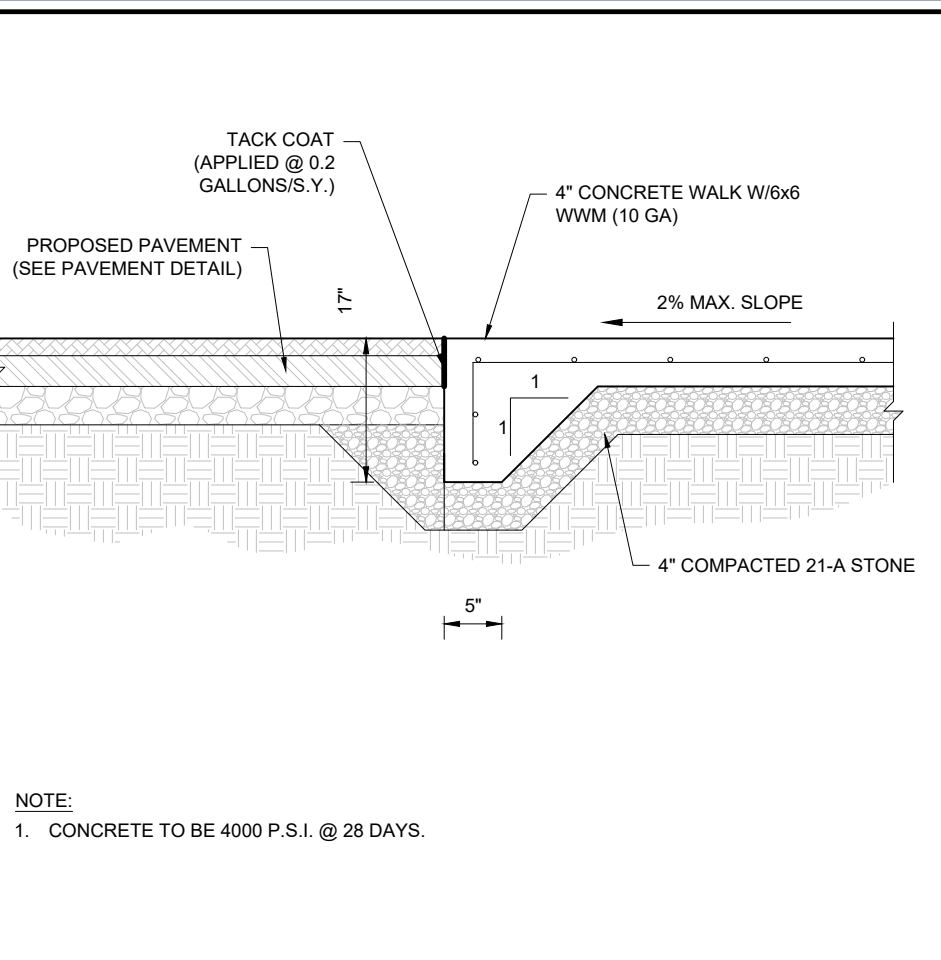
STANDARD ASPHALT PAVEMENT



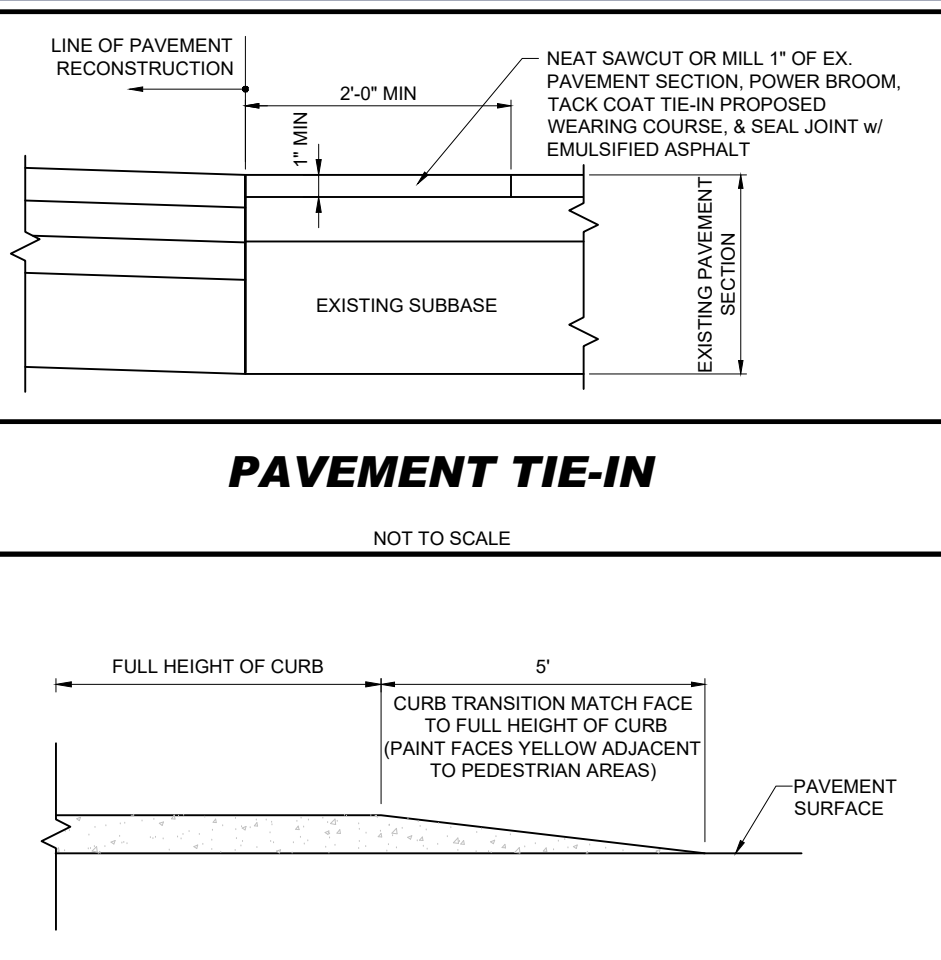
REINFORCED CONCRETE PAVEMENT



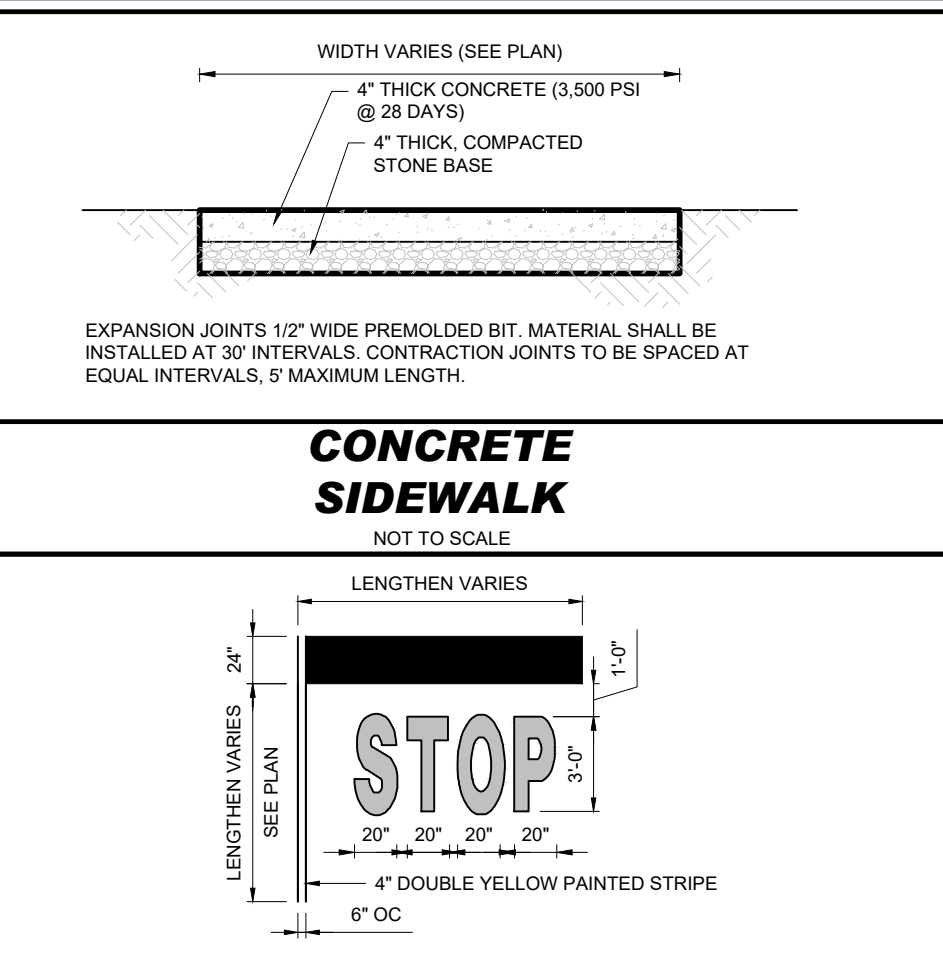
CONCRETE CURB
6" REVEAL



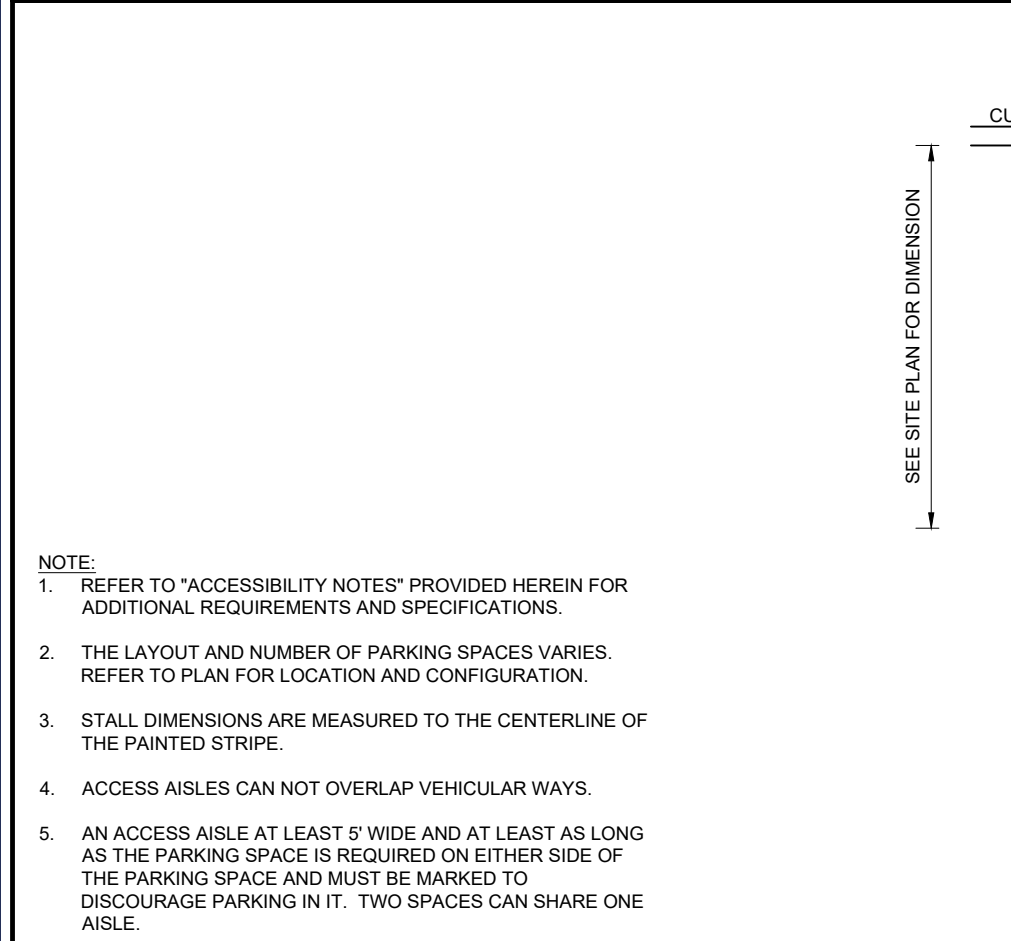
MONOLITHIC CURB AND FLUSH
SIDEWALK



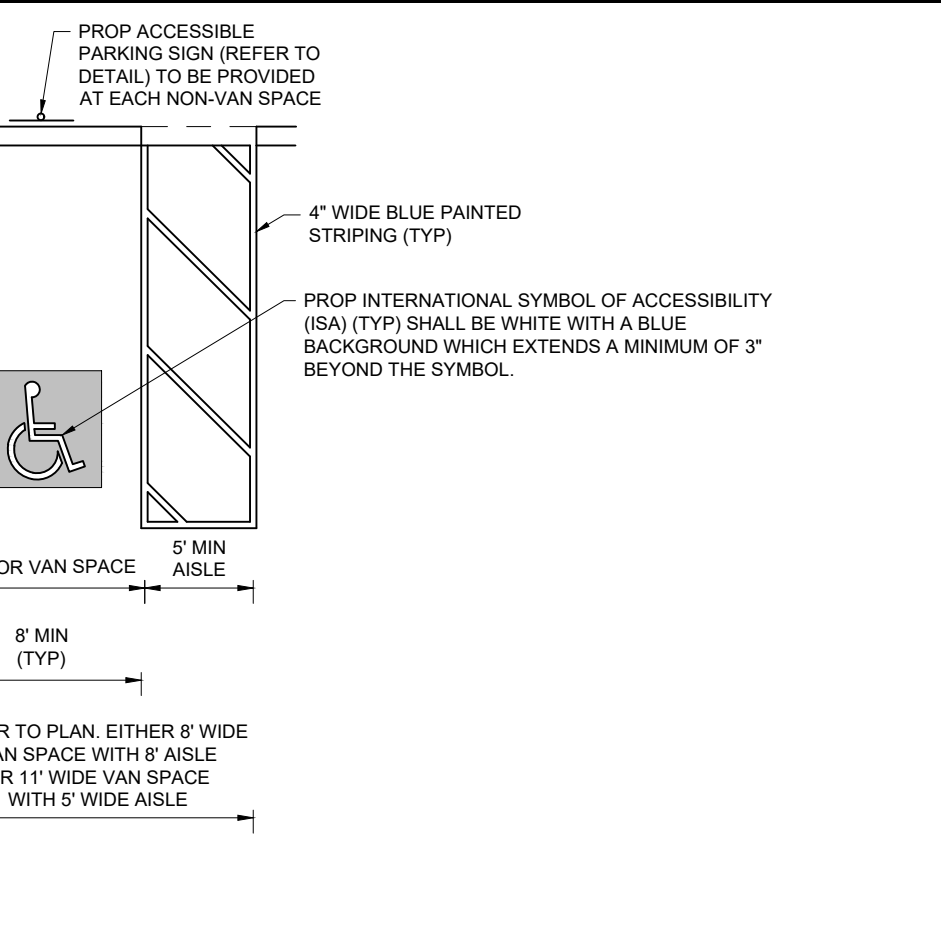
TAPERED CURB



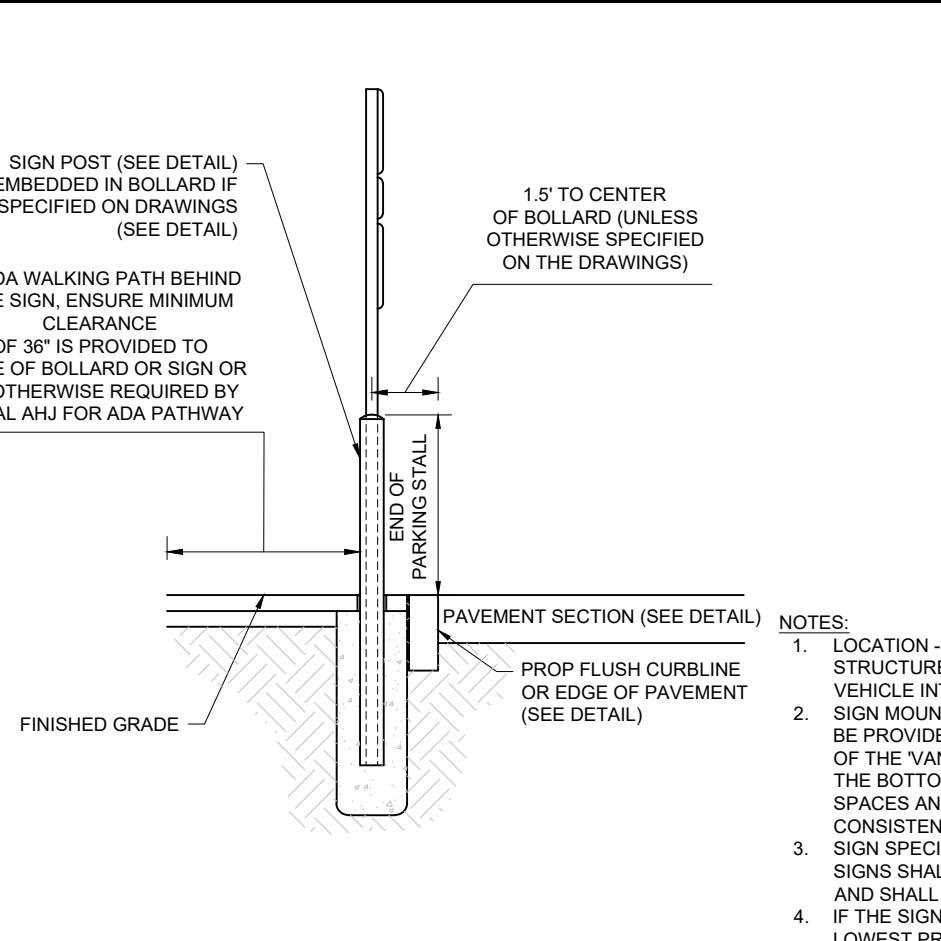
WHITE PAINTED STOP BAR
AND \"STOP\" LETTERING



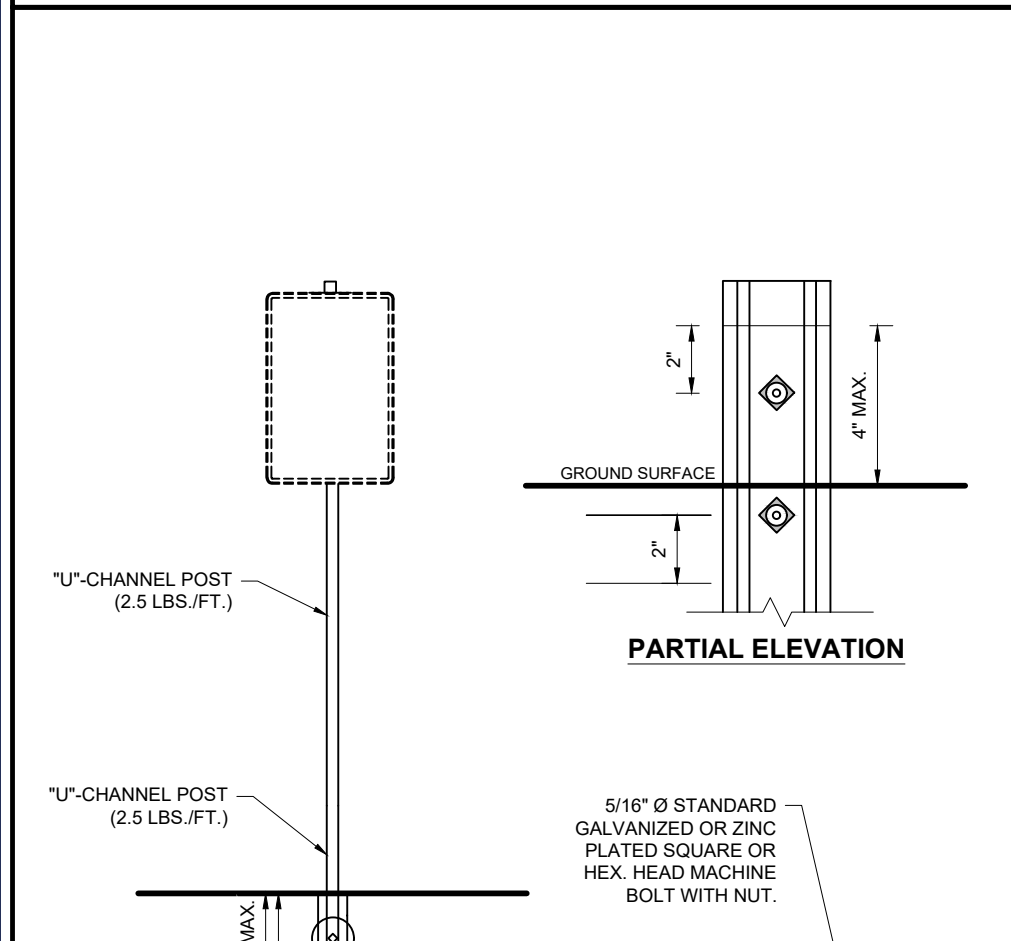
ADA PARKING
STALL MARKING



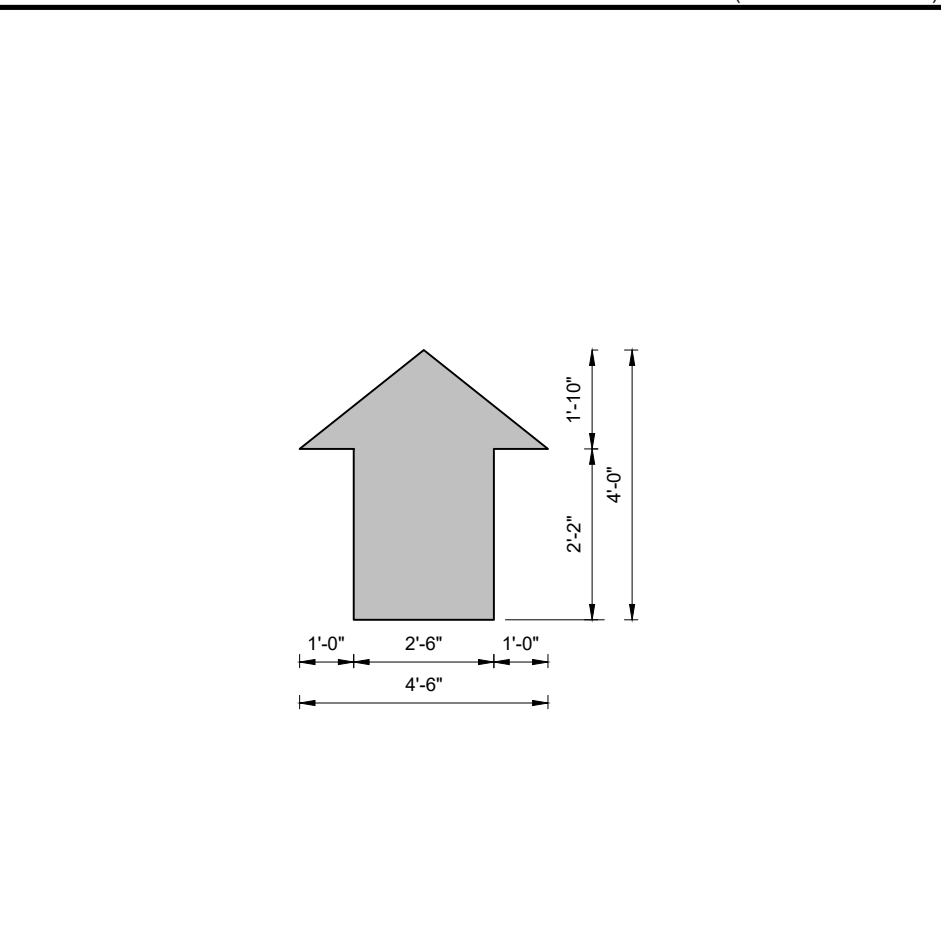
RESERVED PARKING SIGN



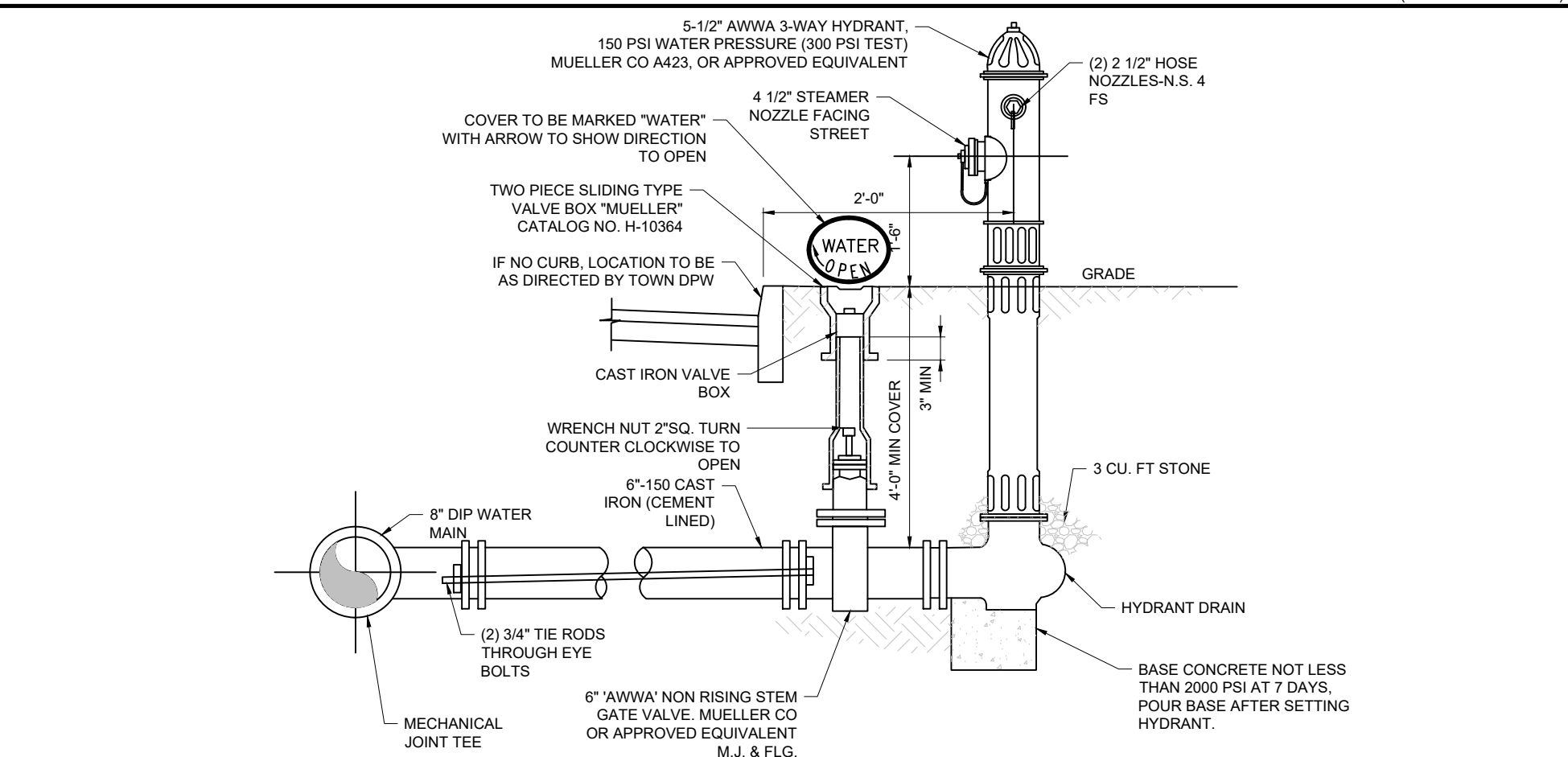
DETECTABLE WARNING SURFACE (DWS)



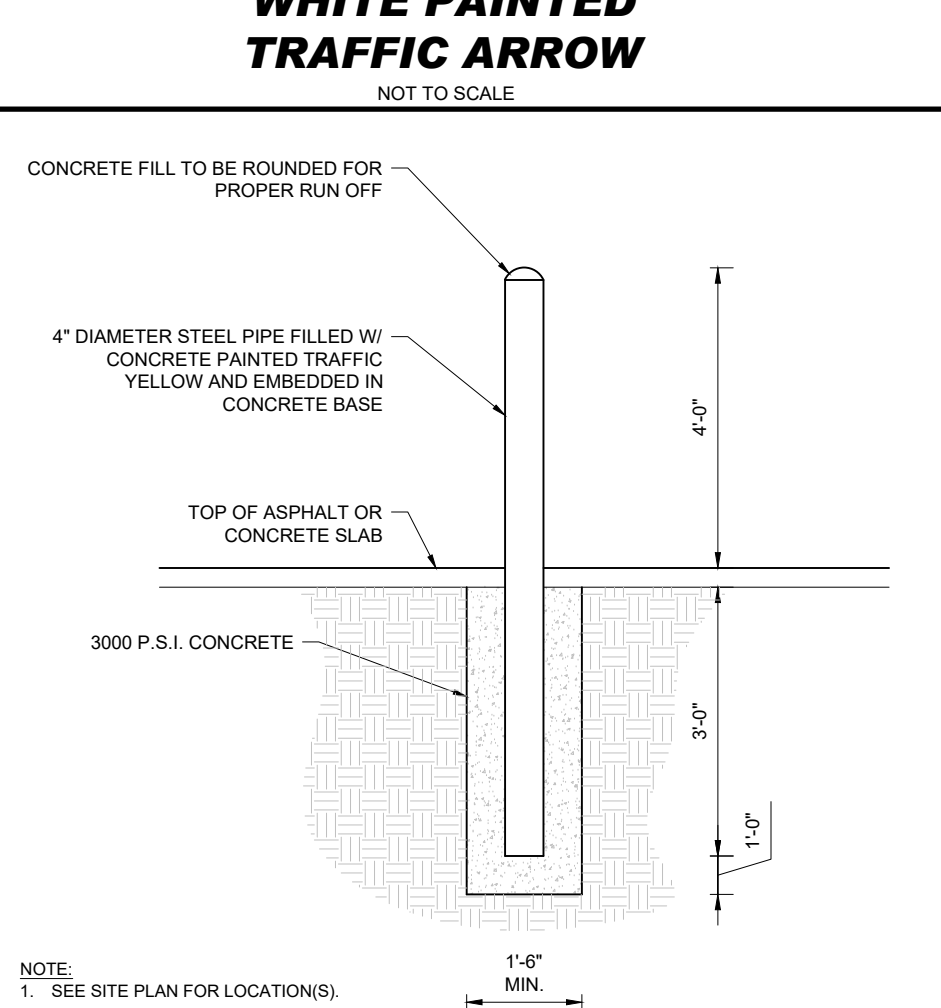
BREAKAWAY SIGN POST



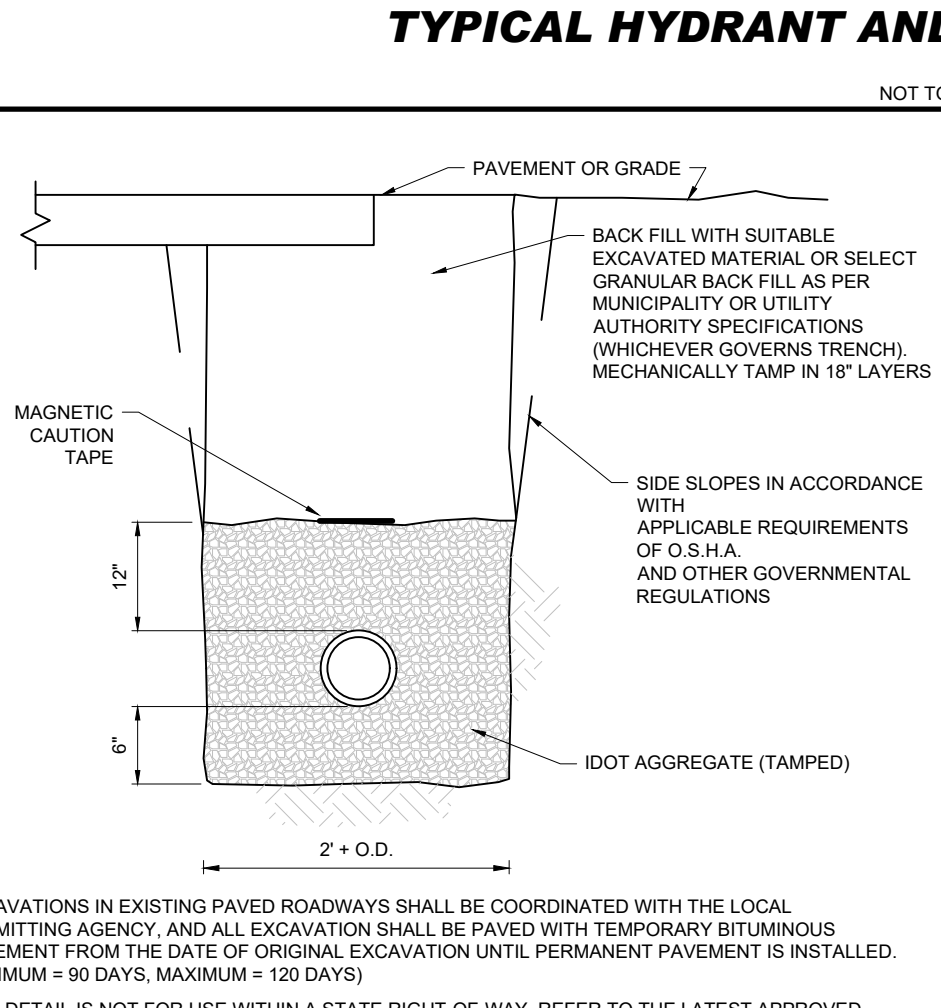
WHITE PAINTED
TRAFFIC ARROW



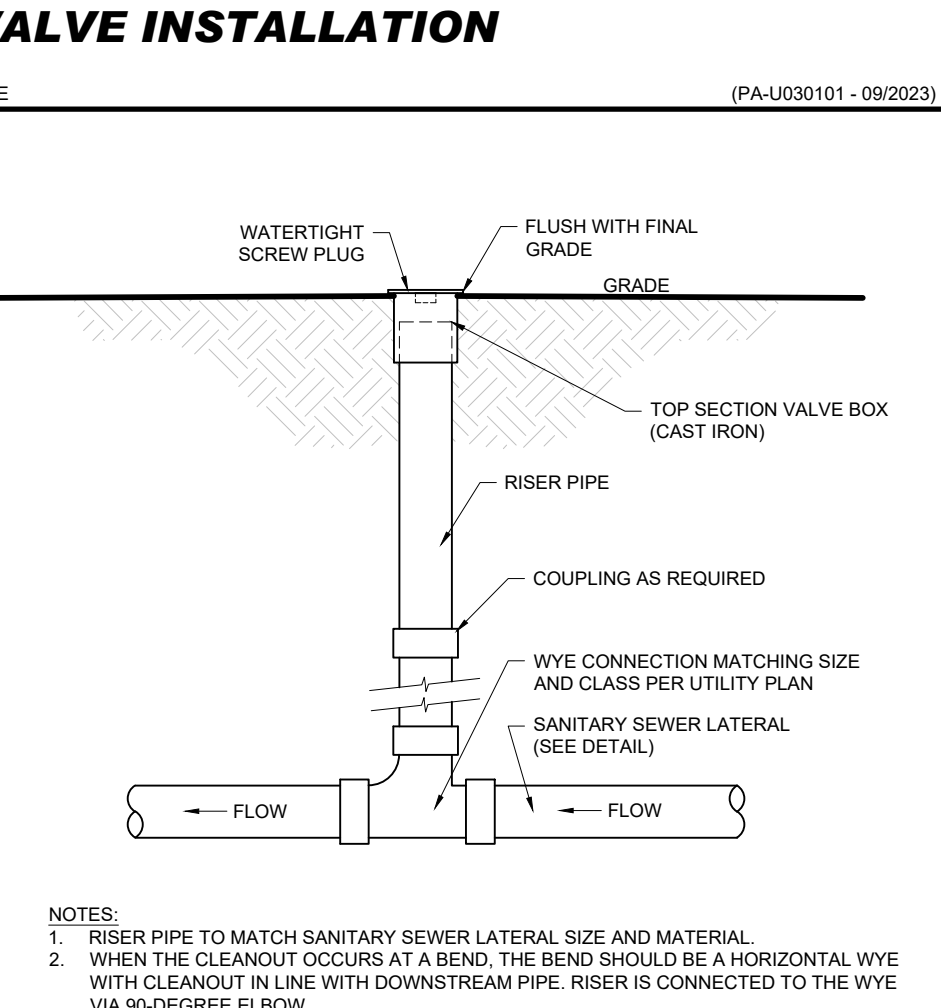
TYPICAL HYDRANT AND VALVE INSTALLATION



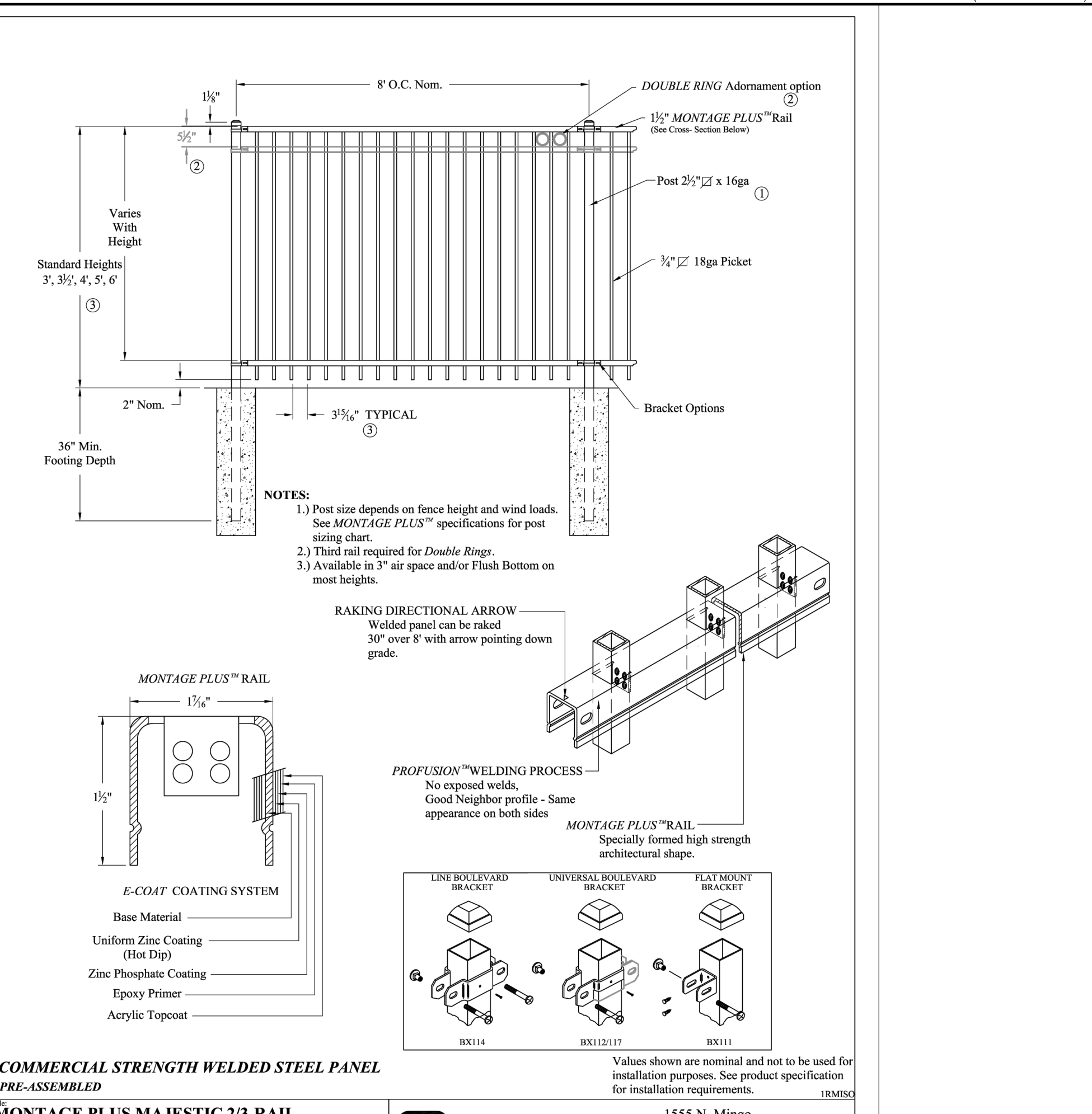
PIPE BOLLARD



TRENCH BEDDING CLASSIFICATION
(SANITARY MAIN)



SANITARY CLEANOUT
(LANDSCAPE AREAS)



COMMERCIAL STRENGTH WELDED STEEL PANEL
PRE-ASSEMBLED

MONTAGE PLUS MAJESTIC 2/3-RAIL

DR: CI SH: 1of1 SCALE: DO NOT SCALE
CK: ME Date: 6/28/10 REV: c



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REVISIONS				
REV	DATE	COMMENT	TOWN SITE REVIEW COMMENTS	DRAWN BY
1	10/21/2025			CCP
				EEG

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PROJECT No.: OH250022.00-1A
DRAWN BY: CCP
CHECKED BY: KJB
DATE: 08/21/2025
CAD ID: P-CIVIL-CHDS

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS
FOR



PROPOSED
DUTCH BROS COFFEE
8032 CALUMET AVENUE
MUNSTER, IN 46321
TOWN OF MUNSTER, LAKE COUNTY
STORE NO. IN0703

BOHLER

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SHEET TITLE:

CONSTRUCTION
DETAILS

SHEET NUMBER:

C-901

REVISION 1 - 10/21/2025



PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
ARA	7	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5" CAL.	B&B
CCA	4	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" CAL.	B&B
GCB	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2.5" CAL.	B&B
SHRUBS					
CSK	29	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
IGS	21	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	36" MIN.	CONTAINER
ICS	21	ILEX GLABRA 'COMPACTA'	COMPACT INKBERY	36" MIN.	CONTAINER
JCHC	4	JUNIPERUS CHINENSIS 'HETZII COLONARIS'	COLUMNAR HETZ JUNIPER	4-5'	B&B
JHIB	36	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER
RAG	28	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER
GRASSES					
CAKF	14	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONTAINER

1. THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET (SEE ATTACHED). NOTES TO THE PLANS ARE TO BE READ IN CONJUNCTION WITH THE PLANS. ALL PARTS OF THE LANDSCAPE PLANS, THE CONTRACTOR MUST REFER TO, AND FULLY COMPLY WITH ALL NOTES, SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS AND SPECIFICATIONS.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS. EXCEPT WHERE NOTED OTHERWISE, ALL PLANTING BEDS ARE TO BE INSTALLED AS LAWN.
3. SHRUBS PLANTED ALONG HEDGELINE PARKING STRIP SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHNER AND THE CITY OF CHICAGO ENGINEERING AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
4. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITH ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE FILTER STRIPS, OR FORMER TRENCHES.
5. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE IRRIGATION SCHEDULE. IRRIGATION SHALL BE PROVIDED TO EACH SEPARATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL THE PROPERTY MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE MAINTENANCE, AND MAINTENANCE OF ALL PLANT MATERIAL, LAWN MOWING, AND SEASONAL MAINTENANCE.



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PROJECT No.: OHA250022.00-1A
DRAWN BY: CCP
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CAD I.D.: P-CIVL-LLGT

PROJECT:

FOR —



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1 ALLEGHENY SQUARE, SUITE 402
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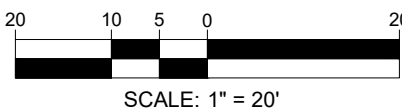
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SHEET NUMBER:

L-101

REVISION 1 - 10/21/2025





Oct 21, 2025
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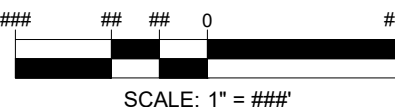
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30TH STREET



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REVISIONS

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PROJECT No.:	OHA250022.00-1A
DRAWN BY:	CCP
CHECKED BY:	KJB
DATE:	08/21/2025
CAD I.D.:	P-CIVL-LDVP

PROJECT:

**PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**

- FOR -



**PROPOSED
DUTCH BROS COFFEE**

8032 CALUMET AVENUE
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SHEET TITLE:

VICINITY PLAN

SHEET NUMBER:

EX-01

REVISION 1 - 10/21/2025