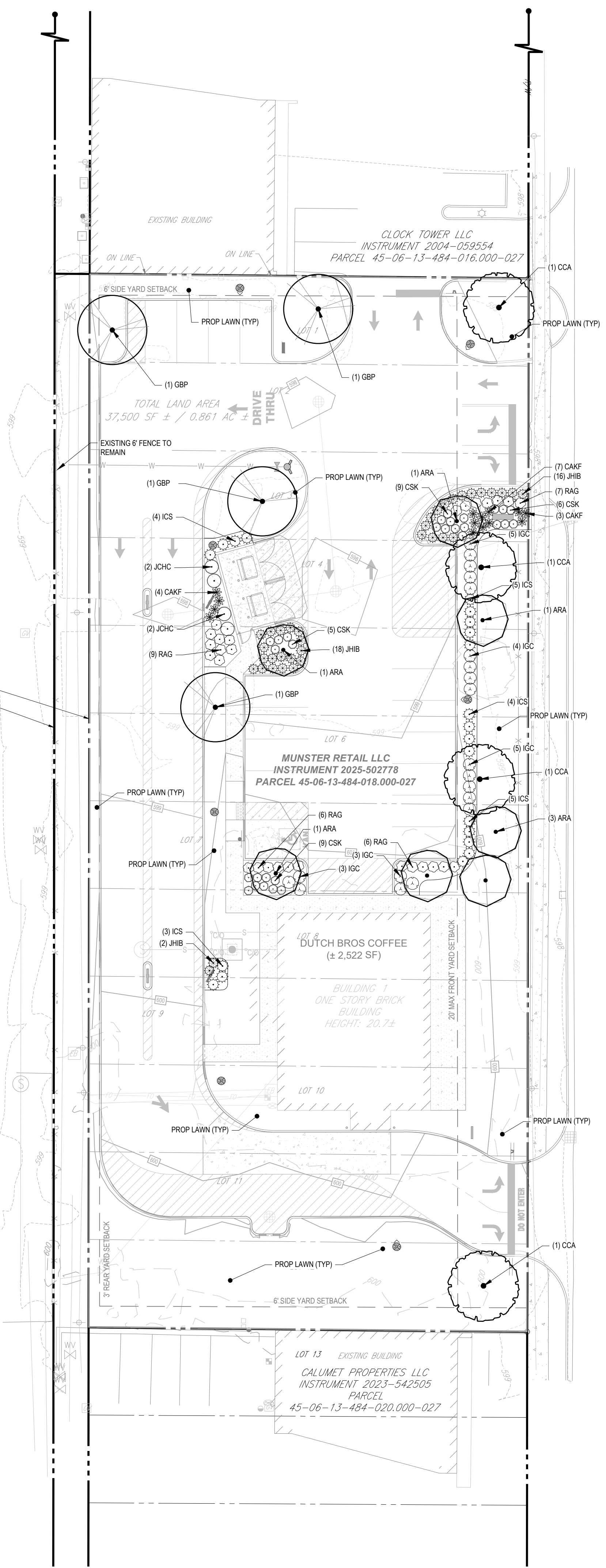




80' PUBLIC RIGHT OF WAY - ASPHALT PAVEMENT

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING: CD-4-A TABLE 26-6.405-A-6 DISTRICT STANDARDS	R. FOR ALL AREAS NOT COVERED BY STRUCTURE, PARKING AREA, WALKWAY, PATIO, TERRACE, OR DECK, IF FIRST LOT LAYER ≥ 10 FT, MINIMUM OF 30% OF 1ST LOT LAYER MUST BE LANDSCAPED IN COMPLIANCE WITH SECTION 26-6.405P. 1ST LOT LAYER MAY NOT BE PAVED EXCEPT FOR DRIVEWAY AND SIDEWALK.	FIRST LOT LAYER AREA = 8,174± SF REQUIRED (30%): 8,174 x .3 = 2,452.2± SF LANDSCAPED AREA PROVIDED (53.9%): 4,408.4± SF LANDSCAPED AREA PROVIDED (100%): 11,972.5 ± SF	COMPLIES
PRIVATE LANDSCAPING AND FENCING	R. MINIMUM OF 25% OF LANDSCAPED AREA MUST BE COVERED WITH GRASS/COVER OR EVERGREEN TREES AND SHRUBS.	TOTAL LANDSCAPED AREA PROPOSED = 11,972.5 ± SF REQUIRED (25%): 11,972.5 x 0.25 = 2,993 ± SF LANDSCAPED AREA PROVIDED (100%): 11,972.5 ± SF	COMPLIES
	R. 1 TREE PER 30 FEET OF NON-BUILDING FRONTAGE IF 1ST LOT LAYER ≥ 15 FT, DEEP PLANTED IN 1ST LOT LAYER. IF SMALL OR MEDIUM TREE SPECIES ARE USED, SPACING MUST ASSURE THAT AT MATURITY, SPACING WILL PROVIDE A CONTINUOUS CANOPY.	TOTAL LENGTH ALONG CALUMET AVE= 237.31 ± LF REQUIRED: 237.31/30= 7.9 OR 8 TREES PROVIDED: 1 EXISTING TREE PLUS, 3 ARA, 4 CCA (8 TREES)	COMPLIES
	SPECIFIC STANDARDS		
	WHERE SCREEN IS REQUIRED	PERMITTED SCREEN TYPE	HEIGHT
	PARKING LOT OR PARKING AREA AT FRONTAGE IN 1ST OR 2ND LOT LAYER	WALL, ENHANCED HEDGE	3'-3.5'
	A NON-RESIDENTIAL CD-4-A PROPERTY ABUTTING A CD-3, CD-3.R1, CD-3.R2, CD-3.R3, DISTRICT	3-6" IN 1ST LOT LAYER, 6" IN 2ND AND 3RD LOT LAYER CD-4.R4	
	DUMPSTER AND TRASH RECEPTACLES	WALL, FENCE	6'
	DRIVE-THROUGHS	WALL, HEDGE, FENCE	3'-3.5'
26-6.405.O.1.H. OFF STREET PARKING DESIGN STANDARDS	VII.4) PARKING ISLANDS SHALL CONTAIN A MINIMUM OF ONE (1) SHADE TREE FOR EVERY SINGLE ISLAND. IF A PARKING ISLAND IS DOUBLE IN LENGTH OR WIDTH, THEN TWO (2) SHADE TREES SHALL BE REQUIRED. 7) FOR EVERY 2,000 SQUARE FEET OF PARKING AREA OR PARKING LOT, AT LEAST ONE TREE SHALL BE INSTALLED OR PRESERVED WITHIN THE PARKING AREA OR PARKING LOT EXCEPT TO THE EXTENT THAT TREES OUTSIDE OF THE LOT CONTAINING THE PARKING AREA OR PARKING LOT ARE ALLOWED TO SATISFY THIS REQUIREMENT AS SET FORTH BELOW. II. ANY PARKING AREA OR PARKING LOT IN THE FIRST OR SECOND LOT LAYER SHALL BE SCREENED FROM VIEW IN ACCORDANCE WITH THE FOLLOWING: THE PARKING AREA OR PARKING LOT SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY WITH A PERIMETER PLANTING STRIP A MINIMUM OF 7 FEET IN WIDTH FROM FRONT TO BACK PLANTED ADJACENT TO THE PUBLIC RIGHT-OF-WAY CONTAINING ALL OF THE FOLLOWING: A HEDGE SCREEN BETWEEN 3 FEET AND 3.5 FEET IN HEIGHT ADJACENT TO THE EDGE OF THE PUBLIC RIGHT-OF-WAY. SHADE TREES PLANTED AT A RATE OF ONE PER 30 FEET OF LINEAR FRONTAGE (WHERE OVERHEAD UTILITY CONFLICTS PROHIBIT SHADE TREES. SMALL OR MEDIUM TREES SHALL BE PLANTED AT INTERVALS EQUAL TO THEIR MATURE CANOPY). AN ORNAMENTAL METAL FENCE SCREEN OR A WALL SCREEN BETWEEN 3 FEET TO 3.5 FEET IN HEIGHT INSTALLED A MINIMUM OF TWO FEET FROM THE INSIDE OF THE PARKING AREA OR PARKING LOT CURB.	TOTAL SINGLE ISLANDS PROPOSED = 8 REQUIRED: 8 x 1 = 8 TREES PROVIDED: 4 ARA, 4 GBP (8 TREES) TOTAL PROPOSED PARKING LOT AREA = 10,600.8 ± SF REQUIRED: 10,600.8 / 2,000= 5.3 OR 5 TREES PROVIDED: 4 ARA, 4 GBP (8 TREES), ALSO COUNTING TOWARDS SECTION 26-6.405.O.1.H.VIII.4) ABOVE MIN. 3' HEDGE ALONG PARKING LOT HAS BEEN PROVIDED. STREET TREES PER TABLE 26-6.405-A-6 HAVE BEEN PROVIDED (SEE ABOVE). AN 3' ORNAMENTAL METAL FENCE HAS BEEN PROVIDED ALONG THE PARKING LOT FRONTING CALUMET AVE.	COMPLIES COMPLIES
26-6.405.P PRIVATE LOT LANDSCAPE STANDARDS	25. PARKING AREAS / PARKING LOTS, PARKING AREAS AND PARKING LOTS SHALL CONFORM TO THE LANDSCAPING REQUIREMENTS OF SECTION 26-6.405.A.011 LANDSCAPING REQUIRED PURSUANT TO SECTION 26-6.405.O NEAR THE PAVED PORTION OF ANY PARKING AREA, PARKING LOT, LOADING AREA, DRIVEWAY OR THOROUGHFARE SHALL BE LOCATED IN A MANNER TO PROTECT THE VEGETATION FROM VEHICULAR DAMAGE, WITHOUT LIMITING THE FOREGOING, ALL TREES WITHIN TREE ISLANDS OR ALONG THE PERIMETER OF THE PARKING AREA OR PARKING LOT SHALL BE SEPARATED FROM PARKING AREA OR PARKING LOT PAVED SURFACES BY AT LEAST THREE (3') FEET.	SEE SECTION 26-6.405.O. ABOVE. ALL PROPOSED TREES HAVE BEEN PLACED AT LEAST 3' FEET AWAY FROM THE PARKING LOT.	COMPLIES
26-6.405.P PRIVATE LOT LANDSCAPE STANDARDS	1.a. IN ALL DISTRICTS, LOTS SHALL BE LANDSCAPED IN ACCORDANCE WITH TABLE 26-6.405-A-1 - 26-6.405-A-10 (DISTRICT STANDARDS) AND THIS SECTION 26-6.405.P. 8. SCREENS. SCREENS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 26-6.405.N. I. TREE REPLACEMENT SHALL BE BASED ON THE BELOW RATIO FOR EVERY NON-EXEMPT TREE OF 10" DBH OR GREATER THAT IS REMOVED IN EXCESS OF SUBSECTION C.1.	SEE TABLE 26-6.405-A.6 ABOVE SEE TABLE 26-6.405-A.6 ABOVE NO TREES 10" DBH OR GREATER BEING REMOVED.	COMPLIES COMPLIES

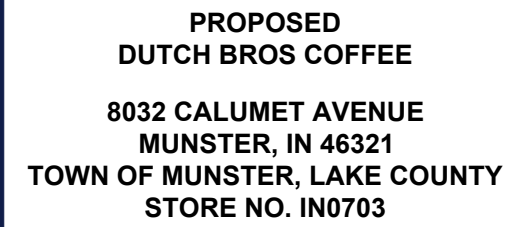
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
ARA	7	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5' CAL.	B&B
	4	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2' CAL.	B&B
GBP	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2.5' CAL.	B&B
SHRUBS					
CSK	29	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
ICX	21	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	36" MIN.	CONTAINER
	20	ILEX GLABRA 'COMPACTA'	COMPACT HENRY	36" MIN.	CONTAINER
JCHC	4	JUNIPERUS CHINENSIS 'HETZUI COLUMNARIS'	COLUMNAR HETZ JUNIPER	4-5'	B&B
JHB	36	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER
RAG	28	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER
GRASSES					
KAFF	4	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONTAINER

1. THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS FOR ALL PARTS OF LANDSCAPE PLANS. THE CONTRACTOR MUST REFER TO, AND FULLY COMPLY WITH, ALL NOTES, SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS AND ON THE LANDSCAPE DETAILS SHEET.
2. ALL PLANTING UNITS, INCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY STATED ON THIS PLAN.
3. ALL PLANTING UNITS, INCLUDING PLANTING BEDS, ARE TO BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHUNG.
4. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPALITY'S ENGINEERING AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL.
5. ALL PLANTING UNITS, INCLUDING PLANTING BEDS, ARE TO BE INSTALLED WITH, WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITH ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE FILTER STRIPS, ETC.
6. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT. THE IRRIGATION DESIGN SHALL BE PROVIDED BY THE OWNER. IF THERE ARE AREAS IN EACH UNDER SEPARATE ZONES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL PROJECT MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE REGULAR AND MAINTENANCE OF ALL PLANT MATERIAL, LAWN MOWING, AND SEASONAL MAINTENANCE.

[illegible]

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT: **PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**



1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500

L-101

REVISION 1 - 10/21/2025

