

SECTION	REQUIREMENT			CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING: CD-4.A TABLE 26-6.405.A-6 DISTRICT STANDARDS	R. FOR ALL AREAS NOT COVERED BY STRUCTURE, PARKING AREA, WALKWAY, PATIO, TERRACE, OR DECK. IF FIRST LOT LAYER ≥ 10 FT, MINIMUM OF 30% OF 1ST LOT LAYER MUST BE LANDSCAPED IN COMPLIANCE WITH SECTION 26-6.405P. 1ST LOT LAYER MAY NOT BE PAVED EXCEPT FOR DRIVEWAY AND SIDEWALK. R. MINIMUM OF 25% OF LANDSCAPED AREA MUST BE COVERED WITH GROUNDCOVER OR EVERGREEN TREES AND SHRUBS. R. 1 TREE PER 30 FEET OF NON- BUILDING FRONTAGE IF 1ST LOT LAYER ≥ 15 FT. DEEP, PLANTED IN 1ST LOT LAYER. IF SMALL OR MEDIUM TREE SPECIES ARE USED, SPACING MUST ASSURE THAT AT MATURITY, SPACING WILL PROVIDE A CONTINUOUS CANOPY.			FIRST LOT LAYER AREA = 8,174± SF REQUIRED (30%): 8,174 x .3 = 2,452.2± SF LANDSCAPED PROVIDED (53.9%): 4,408.4± SF LANDSCAPED AREA	COMPLIES
PRIVATE LANDSCAPING AND FENCING				TOTAL LANDSCAPED AREA PROPOSED = 11,972.5 ± SF REQUIRED (25%): 11,972.5 x 0.25 = 2,993 ± SF LANDSCAPED AREA PROVIDED (100%): 11,972.5 ± SF LANDSCAPED AREA	COMPLIES
				TOTAL LENGTH ALONG CALUMET AVE= 237.31 ± LF REQUIRED: 237.31/30= 7.9 OR 8 TREES PROVIDED: 1 EXISTING TREE PLUS, 3 ARA, 4 CCA (8 TREES)	COMPLIES
				ALONG PARKING LOT FRONTING CALUMET AVE:	COMPLIES
	WHERE SCREEN IS REQUIRED	PERMITTED SCREEN TYPE	HEIGHT	REQUIRED: 3'-3.5' ENHANCED HEDGE PROVIDED: MIN. 3' ENHANCED HEDGE HAS BEEN PROVIDED.	00 2.20
	PARKING LOT OR PARKING AREA AT FRONTAGE IN 1ST OR 2ND LOT LAYER	WALL, ENHANCED HEDGE	3'-3.5'		
	A NON- RESIDENTIAL CD-4.A PROPERTY ABUTTING A CD-3, CD-3.R1, CD-3.R2, CD-3 R3, DISTRICT	WALL, FENCE LAY 6' IN	IN 1ST LOT /ER; 2ND AND 3RD T LAYER CD-4.R4	ALONG WEST PROPERTY LINE ADJACENT TO CD-4.R4: REQUIRED: 6' FENCE PROVIDED: EXISTING 6' FENCE TO REMAIN.	COMPLIES
	DUMPSTER AND TRASH RECEPTACLES	WALL, FENCE	6'	DUMPSTER AREA HAS BEEN SCREENED WITH 6' ENCLOSURE WALLS.	COMPLIES
	DRIVE- THROUGHS	WALL, HEDGE, FENCE	3'-3.5'	EXISTING 6' FENCE TO REMAIN TO MEET THE INTENT OF THIS REQUIREMENT.	COMPLIES
26-6.405.O.1H. OFF STREET PARKING DESIGN STANDARDS	VII.4) PARKING ISLANDS SHALL CONTAIN A MINIMUM OF ONE (1) SHADE TREE FOR EVERY SINGLE ISLAND. IF A PARKING ISLAND IS DOUBLE LENGTH OR WIDTH, THEN TWO (2) SHADE TREES SHALL BE REQUIRED.			TOTAL SINGLE ISLANDS PROPOSED = 8 REQUIRED: 8 x 1 = 8 TREES PROVIDED: 4 ARA, 4 GBP (8 TREES)	COMPLIES
	7) FOR EVERY 2,000 SQUARE FEET OF PARKING AREA OR PARKING LOT, AT LEAST ONE TREE SHALL BE INSTALLED OR PRESERVED WITHIN THE PARKING AREA OR PARKING LOT EXCEPT TO THE EXTENT THAT TREES OUTSIDE OF THE LOT CONTAINING THE PARKING AREA OR PARKING LOT ARE ALLOWED TO SATISFY THIS REQUIREMENT AS SET FORTH BELOW.			TOTAL PROPOSED PARKING LOT AREA = 10,600.8 ± SF REQUIRED: 10,600.8 / 2,000= 5.3 OR 5 TREES PROVIDED: 4 ARA, 4 GBP (8 TREES), ALSO COUNTING TOWARDS SECTION 26-6.405.O.1.H.VII.I.4) ABOVE	COMPLIES
	II. ANY PARKING AREA OR PARKING LOT IN THE FIRST OR SECOND LOT LAYER SHALL BE SCREENED FROM VIEW IN ACCORDANCE WITH THE FOLLOWING: THE PARKING AREA OR PARKING LOT SHALL BE SCREENED FROM THE PUBLIC RIGHT OF-WAY WITH A PERIMETER PLANTING STRIP A MINIMUM OF 7 FEET IN WIDTH FROM FRONT TO BACK PLANTED ADJACENT TO THE PUBLIC RIGHT OF-WAY CONTAINING ALL OF THE FOLLOWING: A HEDGE SCREEN BETWEEN 3 FEET AND 3.5 FEET IN HEIGHT			MIN. 3' HEDGE ALONG PARKING LOT HAS BEEN PROVIDED. STREET TREES PER TABLE 26-6.405.A-6 HAVE BEEN PROVIDED (SEE ABOVE). AN 3' ORNAMENTAL METAL FENCE HAS BEEN PROVIDED ALONG THE PARKING LOT FRONTING CALUMET AVE.	
	ADJACENT TO THE EDGE OF THE PUBLIC RIGHT-OF-WAY. SHADE TREES PLANTED AT A RATE OF ONE PER 30 FEET OF LINEAR FRONTAGE (WHERE OVERHEAD UTILITY CONFLICTS PROHIBIT SHADE TREES, SMALL OR MEDIUM TREES SHALL BE PLANTED AT INTERVALS EQUAL TO THEIR MATURE CANOPY). AN ORNAMENTAL METAL FENCE SCREEN OR A WALL SCREEN BETWEEN 3 FEET TO 3.5 FEET IN HEIGHT INSTALLED A MINIMUM OF TWO FEET FROM THE INSIDE OF THE PARKING AREA OR PARKING LOT CURB.				COMPLIES
	25. PARKING AREAS / PARKING LOTS. PARKING AREAS AND PARKING LOTS SHALL CONFORM TO THE LANDSCAPING REQUIREMENTS OF SECTION 26-6.405.O.ALL LANDSCAPING REQUIRED PURSUANT TO SECTION 26-6.405.O NEAR THE PAVED PORTION OF ANY PARKING AREA, PARKING LOT, LOADING AREA, DRIVEWAY OR THOROUGHFARE SHALL BE LOCATED IN A MANNER TO PROTECT THE VEGETATION FROM VEHICULAR DAMAGE. WITHOUT LIMITING THE FOREGOING, ALL TREES WITHIN TREE ISLANDS OR ALONG THE PERIMETER OF THE PARKING AREA OR PARKING LOT SHALL BE SEPARATED FROM PARKING AREA OR PARKING LOT PAVED SURFACES BY AT LEAST THREE (3') FEET.			SEE SECTION 26-6.405.O. ABOVE. ALL PROPOSED TREES HAVE BEEN PLACED AT LEAST 3' FEET AWAY FROM THE PARKING LOT.	COMPLIES
26-6.405.P PRIVATE LOT LANDSCAPE STANDARDS	1.a. IN ALL DISTRICTS, LOTS SHALL BE LANDSCAPED IN ACCORDANCE WITH TABLE 26-6.405.A-1 - 26-6.405.A-10 (DISTRICT STANDARDS) AND THIS SECTION 26-6.405.P.			SEE TABLE 26-6.405.A-6 ABOVE	COMPLIES
	8. SCREENS. SCREENS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 26-6.405.N.			SEE TABLE 26-6.405.A-6 ABOVE	COMPLIES
	i. TREE REPLACEMENT SHALL BE BASED ON THE BELOW RATIO FOR EVERY NON-EXEMPT TREE OF 10" DBH OR GREATER THAT IS REMOVED IN EXCESS OF SUBSECTION C.1.			NO TREES 10" DBH OR GREATER BEING REMOVED.	COMPLIES

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOF	Y TREE	ES .			
ARA	7	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5" CAL.	B&B
CCA	4	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" CAL.	B&B
GBP	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2.5" CAL.	B&B
SHRUB					
		CORNUIS CERVOEA VICEI CEVIII	1/51 051/1 5 0 0 1/10 0 5	45 40"	00117411150
	29	CORNUS SERICEA 'KELSEYI'	KELSEYI DOGWOOD	15-18"	CONTAINER
ICS	21	CORNUS SERICEA 'KELSEYI' ILEX CRENATA 'STEEDS'	KELSEYI DOGWOOD STEEDS JAPANESE HOLLY	15-18" 36" MIN.	CONTAINER CONTAINER
ICS					
ICS IGC	21	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	36" MIN.	CONTAINER
ICS IGC JCHC	21 20	ILEX CRENATA 'STEEDS' ILEX GLABRA 'COMPACTA' JUNIPERUS CHINENSIS 'HETZII	STEEDS JAPANESE HOLLY COMPACT INKBERRY	36" MIN. 36" MIN.	CONTAINER CONTAINER
CSK ICS IGC JCHC JHIB RAG	21 20 4	ILEX CRENATA 'STEEDS' ILEX GLABRA 'COMPACTA' JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'	STEEDS JAPANESE HOLLY COMPACT INKBERRY COLUMNAR HETZ JUNIPER	36" MIN. 36" MIN. 4-5`	CONTAINER CONTAINER B&B
ICS IGC JCHC JHIB	21 20 4 36 28	ILEX CRENATA 'STEEDS' ILEX GLABRA 'COMPACTA' JUNIPERUS CHINENSIS 'HETZII COLUMNARIS' JUNIPERUS HORIZONTALIS 'MONBER'	STEEDS JAPANESE HOLLY COMPACT INKBERRY COLUMNAR HETZ JUNIPER ICEE BLUE JUNIPER	36" MIN. 36" MIN. 4-5` 15-18" SPRD	CONTAINER CONTAINER B&B CONTAINER

GENERAL LANDSCAPE NOTES:

- 1. THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET. THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, ARE CONSIDERED PART OF LANDSCAPE PLANS. THE CONTRACTOR MUST REFER TO, AND FULLY COMPLY WITH, ALL NOTES, SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS AND IN THE LANDSCAPE DETAILS SHEET.
- 2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY STATED ON THIS PLAN.
- 3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG. 4. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPALITY'S ENGINEERING AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL
- PRIOR TO INSTALLATION. 5. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
- 6. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL PROJECT MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE CARE, WATERING, AND MAINTENANCE OF ALL PLANT MATERIAL; LAWN MOWING, AND SEASONAL MAINTENANCE.



REVISIONS

REV	DATE	COMMENT	DRAWN BY
KEV	DATE	COMMENT	CHECKED BY
1	10/21/2025	TOWN SITE REVIEW	CCP
'	10/21/2023	COMMENTS	EEG



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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTIC DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: DRAWN BY: CHECKED BY: DATE: CAD I.D.: 08/21/2025 P-CIVL-LLGT

PROJECT:

PRELIMINARY/FINAL LAND DEVELOPMENT

PLANS



PROPOSED

DUTCH BROS COFFEE

8032 CALUMET AVENUE MUNSTER, IN 46321 TOWN OF MUNSTER, LAKE COUNTY STORE NO. IN0703



1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

www.BohlerEngineering.com

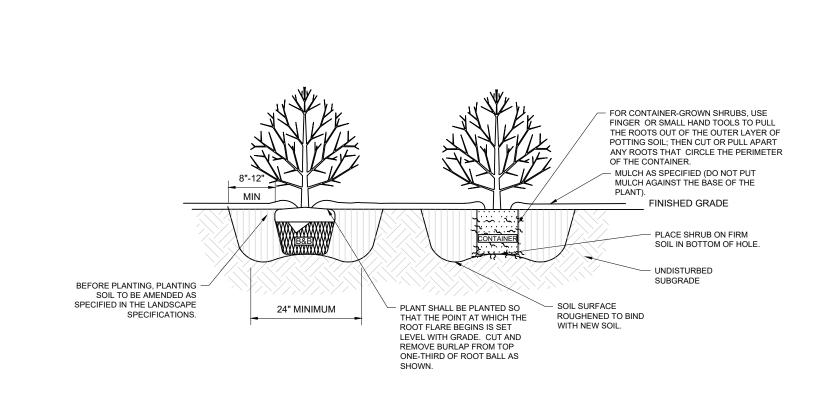


LANDSCAPE PLAN

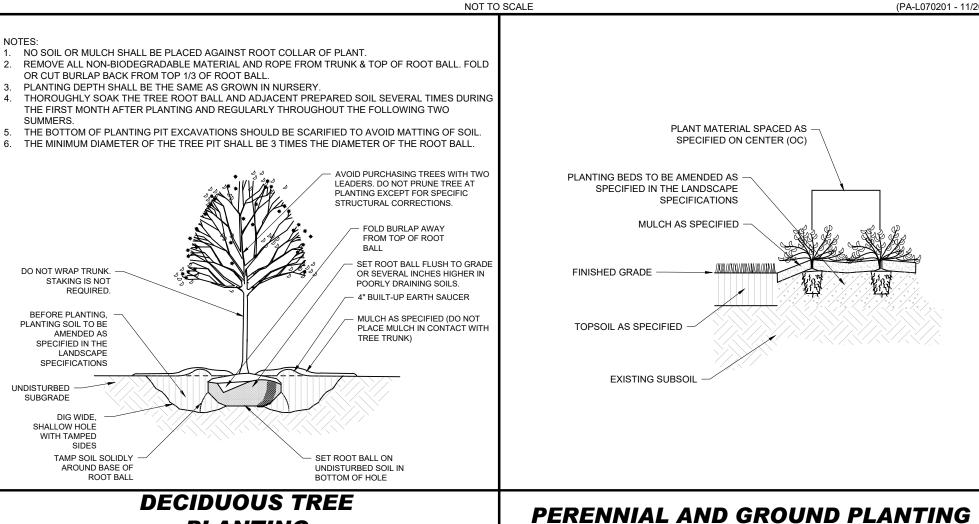
SCALE: 1" = 20'

L-101

REVISION 1 - 10/21/2025

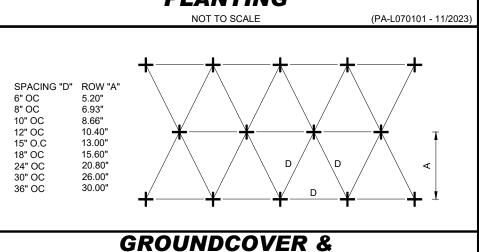


SHRUB PLANTING



NOT TO SCALE

PLANTING



ANNUAL SPACING

LANDSCAPE SPECIFICATIONS

THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 5.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY C. LAWN - LAWN AREAS SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS

INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. FOR SOIL BED PREPARATIONS, REFER TO ITEM 8

LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN. F FFRTILIZER FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING

WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY AMERICAN HORT (FORMERLY THE AMERICAN NURSERY AND LANDSCAPE **ASSOCIATION**

IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF FACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6"). ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER. THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE

SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

GENERAL WORK PROCEDURES CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED STOCKPILED OR DISPOSED OF

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE

ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN. B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE'. OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION GRADING TREE CLEARING OR ANY OTHER CONSTRUCTION THE FENCING ALONG THE TREE PROTECTION ZONE

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE

SHALL BE REGULARLY INSPECTED BY THE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN

A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY. B. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE CONTRACTOR DEPENDING ON

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL

TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK

(UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

A. UNLESS OTHERWISE CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

B. CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"+)

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AND LAWN AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF

IT HAS NOT BEEN PROPERLY REMOVED. STORED AND PROTECTED PRIOR TO CONSTRUCTION

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):

20 POUNDS 'GRO-POWER' OR APPROVED EQUAL SOIL CONDITIONER/FERTILIZER

20 POUNDS 'NITRO-FORM' (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN,

SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL

POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

PLANTS: MARCH 15TH TO DECEMBER 15TH LAWN AND MEADOW SEED MIXES: MARCH 1ST TO MAY 15TH OR BETWEEN AUGUST 15TH AND OCTOBER 15TH

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS. FURTHERMORE. THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT

RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACFR RUBRUM PLATANUS X ACFRIFOLIA BETULA VARIETIES POPULUS VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES KOFI RFUTERIA QUERCUS VARIETIES

LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, WITH THE WIDTH THREE TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

TILIA TOMENTOSA

1 PART PEAT MOSS 1 PART COMPOSTED COW MANURE BY VOLUME

LIQUIDAMBAR STYRACIFI UA

3 PARTS TOPSOIL BY VOLUME 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

2 TABLETS PER 1 GALLON PLANT 3 TABLETS PER 5 GALLON PLANT

4 TABLETS PER 15 GALLON PLANT LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK

FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER

ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST YEAR OF PLANTING.

GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION. M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING

STRUCTURES AND SIDEWALKS N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN

TRANSPLANTING (WHEN REQUIRED) ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. (SEE SPECIFICATION 2.F.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY

WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10TH AND JUNE 30TH.

UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN

SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT

A NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED REGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE **ESTABLISHED**

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE. CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE. IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SLICCEFDING PLANTING SEASON, ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION. A PLANT SHALL BE CONSIDERED "DEAD OR DYING" IF MORE THAN 30% OF ITS BRANCHES ARE

TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR. CULTIVATION. WEEDING. WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE D. LAWNS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS. EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED

REV DATE

REVISIONS

COMMENT

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PROJECT No.: OHA250022.00-DRAWN BY: **CHECKED BY**

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PRELIMINARY/FINAL LAND DEVELOPMENT **PLANS**



PROPOSED

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LANDSCAPE **NOTES AND DETAILS**

REVISION 1 - 10/21/2025