



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Sergio Mendoza, Planning Director

Meeting Date: November 14, 2023

Agenda Item: PC 23-026

Application Type: Development Plan

Hearing: Public

Summary: Attorney Scott Yahne representing Floyds Concern LLC is requesting a Development Plan approval for a building addition and biergarten for 3 Floyds, located at 9750 Indiana Parkway.

Applicant: Attorney Scott Yahne representing Floyds Concerns LLC

Property Address: 9750 Indiana Parkway

Current Zoning: CD-4B - General Urban - B Character District

Adjacent Zoning: North: CD-4B - General Urban - B Character District
South: SD-4A General Urban-A Character District
East: CD-4B - General Urban - B Character District
West: CD-3.R2 - Neighborhood - 60' Lot One Family Residence District

Action Requested: Developmental Plan Approval

Additional Actions Required: Public Hearing

Staff Recommendation: Approve

Exhibit A Attachments: 1. Development Plan Application and supporting 40-page document, EXHIBIT A (pg 6)

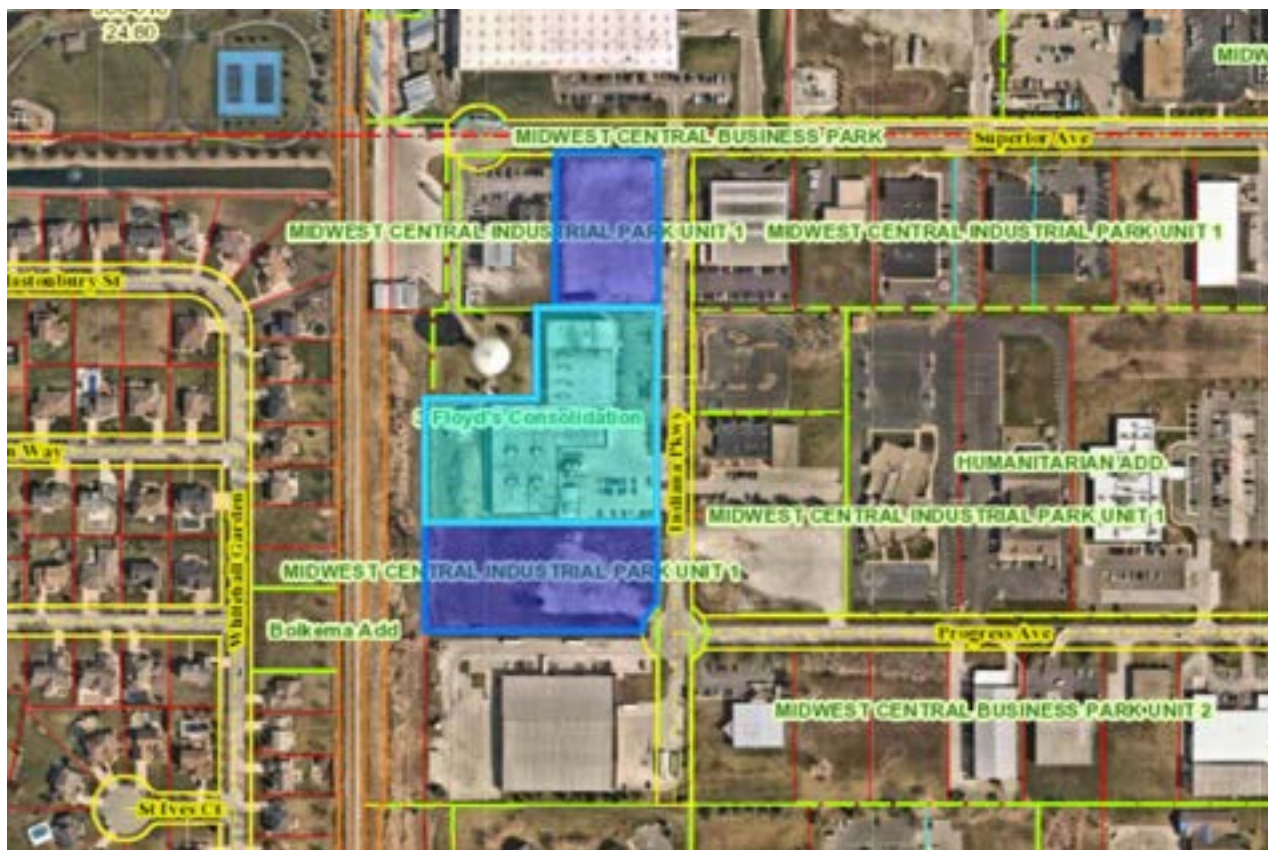


Figure 1 Subject Property.

PROJECT BRIEFING

Attorney Scott Yahne, representing Floyds Concerns or “Three Floyds,” (*see figure 1*) is seeking to build-out the existing Three Floyds Taproom and incorporate exterior open space. The proposed build-out will incorporate an open garden space known as a “Biergarten” – which is as an outdoor area in which beer and food are served and is commonly attached to brewery, beer hall, pub, or restaurant that originated in southern Germany.

The proposed taproom expansion will offer open and inviting spaces for patrons inside to enjoy the expanded outdoor landscaped event space. Extensive landscaping, building features, tasteful signage, and lighting is proposed for the facility. The petitioner is seeking relief from the Board of Zoning Appeals for certain development standards to help advance this project. A Developmental Standards Variance Application has been filed to increase the 20’ maximum building setback to the current maximum of 148’, and essentially reducing the taproom entrance from the right-of-way property line from

1005 Ridge Road • Munster, IN 46321 • (219) 836-8810 • Police/Fire Emergencies 911

Police Non-Emergency (219) 836-6600 • Fire Non-Emergency (219) 836-6960

www.munster.org

approximately 155' to 115' (see figure 2).; and eliminate screened parking areas, parking islands, pedestrian walkways and landscaping within the first lot layer due to existing parking and pedestrian walkways and extensive proposed landscape system (see figure 3).,and; use of existing modern right-angle design off-road lighting head fixture to match the existing lighting fixtures than the required historic colonial, acorn, or coach design lighting head fixture (see figure 4

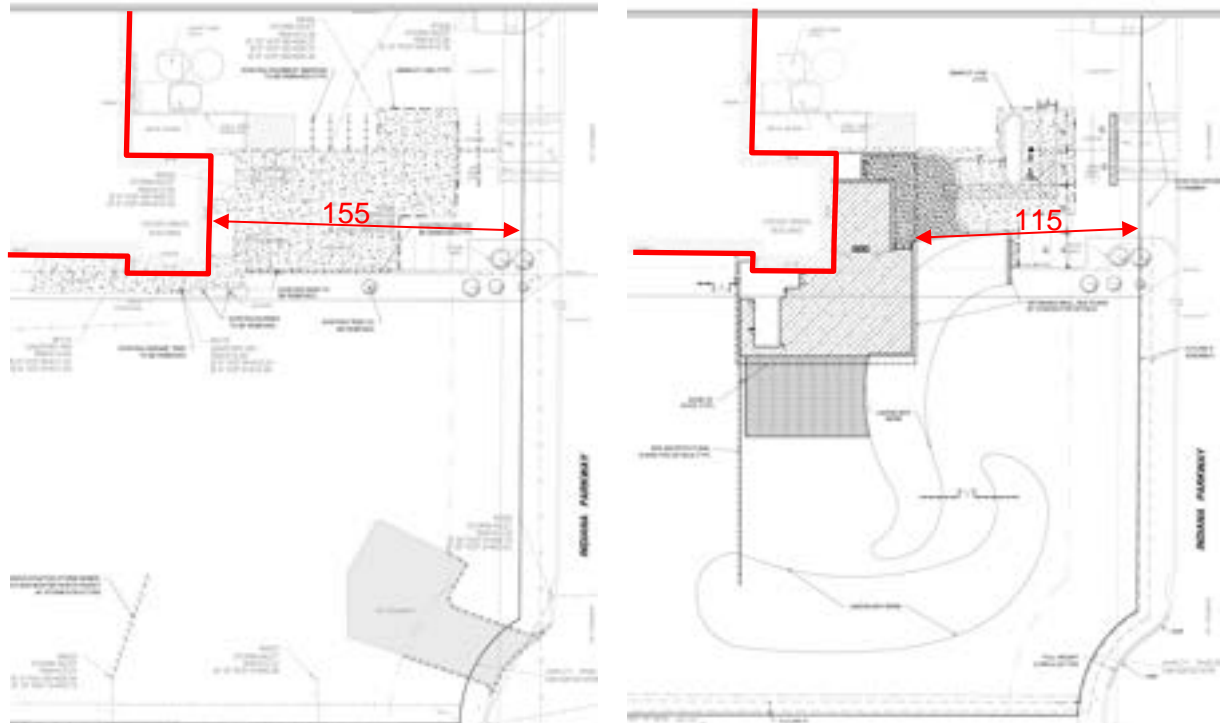


Figure 2 Setback Request.

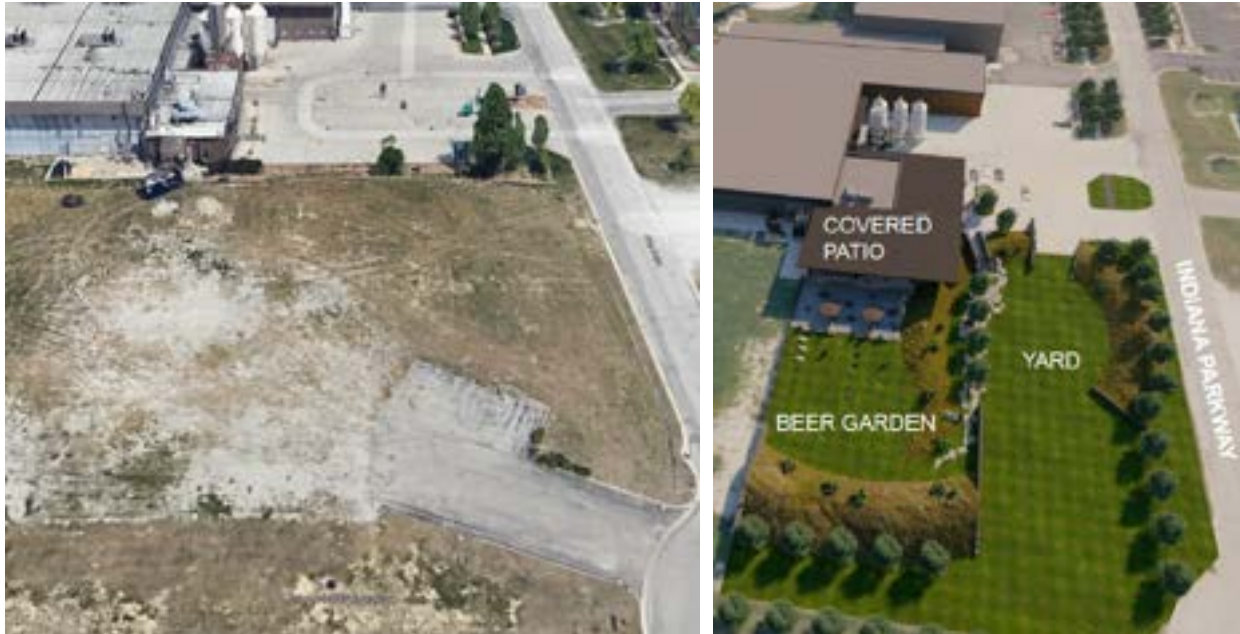


Figure 3 Screening and Landscape Plan.

LIGHTING TYPE	CD-3	CD-3 R.1	CD-3 R.2	CD-3 R.3	CD-4, R.4	CD-4.A, CD-4.B
HEAD/LUMINAIRE TYPES						
Cobra Head						
	NP	NR	NR	NR	NR	NP
Off-Road Head						
	NP	NR	NR	NR	NR	NP
Colonial Head						
	P	NR	NR	NR	NR	P
Coach Head						
	P	NR	NR	NR	NR	P
Acorn Head						
	P	NR	NR	NR	NR	P



Figure 4 Proposed Light Fixture.

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STAFF FINDINGS and RECOMMENDATION

The continued growth and proposed expansion of 3 Floyds business are unique and not shared by many properties in the vicinity. This existing land use offers multifaceted levels of expansion which include processing, distribution, retail, on site consumption, and entertainment. The applicant has provided reasonable consideration to the existing character of the neighborhood and guidance for development in accordance for the expansion of an existing taproom and the addition of outdoor landscaped experience.

MOTION

The Plan Commission may wish to consider one of the following motion:

1. *Motion to approve PC 23-026, a proposed Development Plan for a building addition and outdoor biergarten at 3 Floyds, located at 9750 Indiana Parkway, including all discussion and findings.*

EXHIBIT A

40 page application and supporting documents



Petition PC 23 - 026

Date: 10/24/2023

Application Fee: \$

Sign Fee: \$

Town of Munster Plan Commission Petition Application

OWNER INFORMATION:

Floyds Concern, LLC

Name of Owner

(219) 922-3565

Phone Number

9750 Indiana Parkway, Munster, IN 46321

Street address, City, ST, ZIP Code

nick@3floyds.com

Email address

APPLICANT OR PETITIONER INFORMATION (if different than above):

Floyds Concern, LLC c/o Scott E. Yahne, Yahne Law, P.C.

Name of Applicant/Petitioner

(219) 513-9892

Phone Number

9301 Calumet Avenue, Suite 2F, Munster, IN 46321

Street address, City, ST, ZIP Code

scott@yahnelaw.com

Email address

PROPERTY INFORMATION:

Three Floyds Taproom

Business or Development Name (if applicable)

CD-4B

9750 Indiana Parkway, Munster, IN 46321

Address of Property or Legal Description

Current Zoning

APPLICATION INFORMATION:

Please select what this Application is for:

☐ **Subdivision**

If yes, select one of the following:

☐ **Preliminary Plat**

☐ **Final Plat**

☒ **Development Plan Review**

☐ **Rezoning (including Planned Unit Development) – Proposed Zoning District**

Brief Description of Project:

Petitioner seeks to consolidate a total of three (3) existing lots along the Western side of Indiana Parkway into one (1) contiguous 6.9885 acre lot. After consolidation, petitioner seeks to construct a 2,300 sq.ft. building addition, containing additional bathrooms, game room, kitchen support area, entry vestibule, and outdoor bar, along with a new 3,200 sq.ft. canopy to provide cover to the new outdoor Biergarten. The Biergarten will be nestled in a bermed landscape, planted with native grasses, trees, & flowering perennials.

Gabriel McKee, V Three Studios, LLC

Name of Registered Engineer, Architect or Land Surveyor

(314) 922-7212

Phone Number

2717 Sutton Blvd., Maplewood, MO 63143

Street address, City, ST, ZIP Code

gabriel.mckee@v3-studios.com

Email address

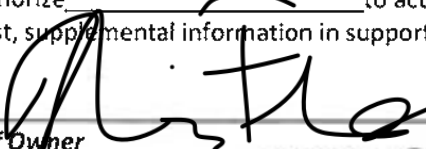


Petition PC 23 - 026

Town of Munster Plan Commission Application Signature Page

Scott E. Yahne & Gabriel McKee

I hereby authorize _____ to act on my behalf as my agent in this petition and to furnish, upon request, supplemental information in support of this petition application.



Signature of Owner
Nicholas Floyd, Manager

11/11/23
Date



Signature of Applicant
Scott E. Yahne, Yahne Law, P.C.,
one of Floyd's Concern, LLC's attorneys

10/23/2023
Date

REQUIRED ATTACHMENTS

Required Attachments for Plan Commission Applications

To ensure that adequate information is provided to the Plan Commission, please check off each of these items and provide documentation to the Community Development Department at the time of submittal of the application.

ALL APPLICATIONS	Included	N/A
Narrative statement describing project	✓	
Property owner consent (Signature page)	✓	
Proof of Ownership (e.g. copy of tax bill)	✓	
Current ALTA Survey	✓	
Vicinity Plan (A dimensioned drawing to scale of the planned building(s)/improvements in the context of the surrounding properties, including existing buildings and driveways at least one block in every direction)	✓	

The following pages list the additional attachments required for specific applications. Please refer to your type of petition request and provide the additional required attachments.

SUBDIVISION - PRELIMINARY PLAT	Included	N/A
Single-Family Residential Subdivision		
Preliminary Plat		
Engineering Plans		
Storm Water Report		
Commercial or Multi-Family Residential Subdivision		
Preliminary Plat		
Engineering Plans		
Storm Water Reports		
Preliminary Development Plan containing:		
Boundary identification		
Fire hydrant locations		
Accessory structures		
Parking lot design		
Utility location		
Building footprints		
Proposed curb cuts		
Drainage/detention plans		
Traffic circulation		
Ingress/egress locations		
Major topographic information		
Infrastructure improvements		

SUBDIVISION - FINAL PLAT	Included	N/A
Final Plat		
Engineering Plans		
Stormwater report		
Special Studies as required – see Site Plan Review Committee minutes		

REZONING (including PLANNED UNIT DEVELOPMENT amendments)	Included	N/A
Preliminary Development Plan containing at a minimum:		
Boundary Identification		
Fire hydrant locations		
Accessory structures		
Parking lot design		
Utility location		
Building footprints		
Proposed curb cuts		
Drainage/detention plans		
Traffic circulation		
Ingress/egress locations		
Major topographic information		
Proposed Use table		
Stormwater report		
Special Studies as Required– see Site Plan Review Committee minutes		

DEVELOPMENT PLAN	Included	N/A
Detailed Site plan including:	✓	
Boundary identification	✓	
Fire hydrant locations	✓	
Accessory structures	✓	
Parking lot design	✓	
Utility location	✓	
Building footprints	✓	
Proposed curb cuts	✓	
Drainage/detention plans	✓	
Traffic circulation	✓	
Ingress/egress locations	✓	
Major topographic information	✓	
Infrastructure improvements	✓	
Square footage of:		
Lot or parcel	✓	
Existing impervious surface	✓	
Proposed total impervious (existing plus current proposal)	✓	
Existing building	✓	
Proposed total building (existing plus current proposal)	✓	

Existing parking and pavement	✓	
Proposed total parking and pavement (existing plus current proposal)	✓	
Relevant dimensions including:	✓	
Buildings	✓	
Parking stalls	✓	
Driveway widths	✓	
Setbacks to buildings and other improvements	✓	
Parking lot aisles, turnarounds, turning radii, etc.	✓	
Distance from driveway to street corner if less than 200'	✓	
Sidewalk, walkway and handicap ramp widths and locations	✓	
Widths of abutting R.O.W.'s, roadways, and terraces.	✓	
Full color architectural renderings of all building elevations with materials identified	✓	
Proposed lighting for site, including:	✓	
Photometric Plan	✓	
Location of all light fixtures	✓	
Pole height	✓	
Luminaire type and manufacturer's specifications for all exterior light fixtures	✓	
Landscaping plan drawn to scale including:	✓	
Common and Latin plant names	✓	
Planting specifications	✓	
Total number of trees provided	✓	
Total square footage of landscaped area on site and internal to the parking lot	✓	
Identification of area used to calculate internal parking lot landscaping	✓	
Fence detail drawing	✓	
Dumpster enclosure detail drawing		✓
Sign detail drawing	✓	
Special studies as required— see Site Plan Review Committee minutes		✓

NOTE: If you checked any exhibits "N/A", please explain:

Dumpster enclosure has been marked as N/A because there are existing dumpster enclosures that are not being modified; they are existing to remain. There are no new, proposed dumpster enclosures.

Special Studies have been marked as N/A since there have been no special studies requested by Munster.

Town of Munster
Legal Notice
Plan Commission Petition Nos. PC 23-024, PC 23-026 and PC 23-0__

A petition to subdivide property, including an Application for Preliminary Plat Approval and an Application for Final Plat Approval, in conformance with the Town of Munster Zoning Ordinance (collectively the “Subdivision Applications”), has been filed by Floyds Concern, LLC (the “Petitioner”). Additionally, Petitioner has filed an Application for Development Plan Review in conformance with the Town of Munster Zoning Ordinance (the “Development Plan Application”).

Notice is hereby given that at the Town of Munster, Lake County, Indiana, will hold a public hearing in the Munster Town Hall, 1005 Ridge Road, at 7:30 p.m. on November 14, 2023, to consider the Application for Preliminary Plat Approval, the Application for Final Plat Approval and the Application for Development Plan Review (collectively the “Petitions”).

As described in the Subdivision Applications, Petitioner is requesting to consolidate a total of three (3) lots along the western side of Indiana Parkway into one (1) contiguous 6.9885 acre lot together with one (1) existing lot on the eastern side of Indiana Parkway to be known as:

3 Floyds Second Consolidation

located upon the real estate commonly known as 9750 Indiana Parkway, Munster, IN 46321 (the “Real Estate”).

As described in the Subdivision Applications, Petitioner is requesting to construct a 2,300 sq. ft. building addition, containing additional bathrooms, game room, kitchen support area, entry vestibule, and outdoor bar, along with a new 3,200 sq.ft. canopy to provide cover to the new outdoor Biergarten. The Biergarten will be nestled in a bermed landscape, planted with native grasses, trees, & flowering perennials.

The Real Estate consists of 6.9885 acres and is currently legally described as follows:

Legal Description:

LOT 1 AND LOT 2 IN 3 FLOYD'S CONSOLIDATION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 10 WEST OF THE SECOND PRINCIPAL MERIDIAN, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

ALSO,

LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

COMMONLY KNOWN AS: 9812, 9750 and 9731 Indiana Parkway and 448 Superior Avenue, Munster, IN 46321

Parcel Identification Nos.: 45-06-36-201-011.000-027
45-06-36-201-006.000-027
45-06-36-202-008.000-027
45-06-36-201-009.000-027

Anyone interested in the Petitions may appear in person or by agent at the public meeting. Written objections, filed with the Plan Commission Executive Secretary, Sergio Mendoza, before the hearing before the hearing will be considered. The hearing may be continued from time to time as may be found necessary. All information concerning the Petitions is on file in the Community Development Office, 1005 Ridge Road, Munster, Indiana, 46321, for public examination.

To join the meeting using Zoom:

<https://us02web.zoom.us/j/81328495728?pwd=NTdQUUgxWVFFbFd5STJiZjB3RjlRZz09>

Meeting ID: 813 2849 5728

Passcode: 849295

Sergio Mendoza, Executive Secretary

Note to Times:

to be published on any one of the following dates:

November 1 (Wednesday), November 2 (Thursday) or November 3 (Friday).

Town of Munster
Notice to Owners of Affected Property
Plan Commission Petition Nos. PC 23-024, PC 23-026 and PC 23-0__

Petitioner: Floyds Concern, LLC
Address: 9750 Indiana Parkway, Munster, IN 46321

Notice is hereby given that at the regularly scheduled meeting of November 14, 2023 at 7:30 p.m., at the Munster Town Hall, 1005 Ridge Road, Munster, Indiana, the Plan Commission will conduct a public hearing on the following:

A petition to subdivide property, including an Application for Preliminary Plat Approval and an Application for Final Plat Approval, in conformance with the Town of Munster Zoning Ordinance (collectively the “Subdivision Applications”), has been filed by Petitioner.

Additionally, Petitioner has filed an Application for Development Plan Review in conformance with the Town of Munster Zoning Ordinance.

Anyone interested in the petition may appear in person or by agent. Written objections, filed with the Plan Commission Secretary before the hearing, will be considered. The hearing may be continued from time to time as may be found necessary. All information concerning the Petitions is on file in the Community Development Office, 1005 Ridge Road, Munster, Indiana, 46321, for public examination.

To join the meeting using Zoom:

<https://us02web.zoom.us/j/81328495728?pwd=NTdQUUgxWVFFbFd5STJiZjB3RjlhZz09>
Meeting ID: 813 2849 5728
Passcode: 849295

Floyds Concern, LLC

By: _____
Scott E. Yahne, one of its attorneys

EXHIBIT A
LEGAL DESCRIPTION OF PROPERTY

LOT 1 AND LOT 2 IN 3 FLOYD'S CONSOLIDATION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 10 WEST OF THE SECOND PRINCIPAL MERIDIAN, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 108, PAGE 05, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

TOGETHER WITH:

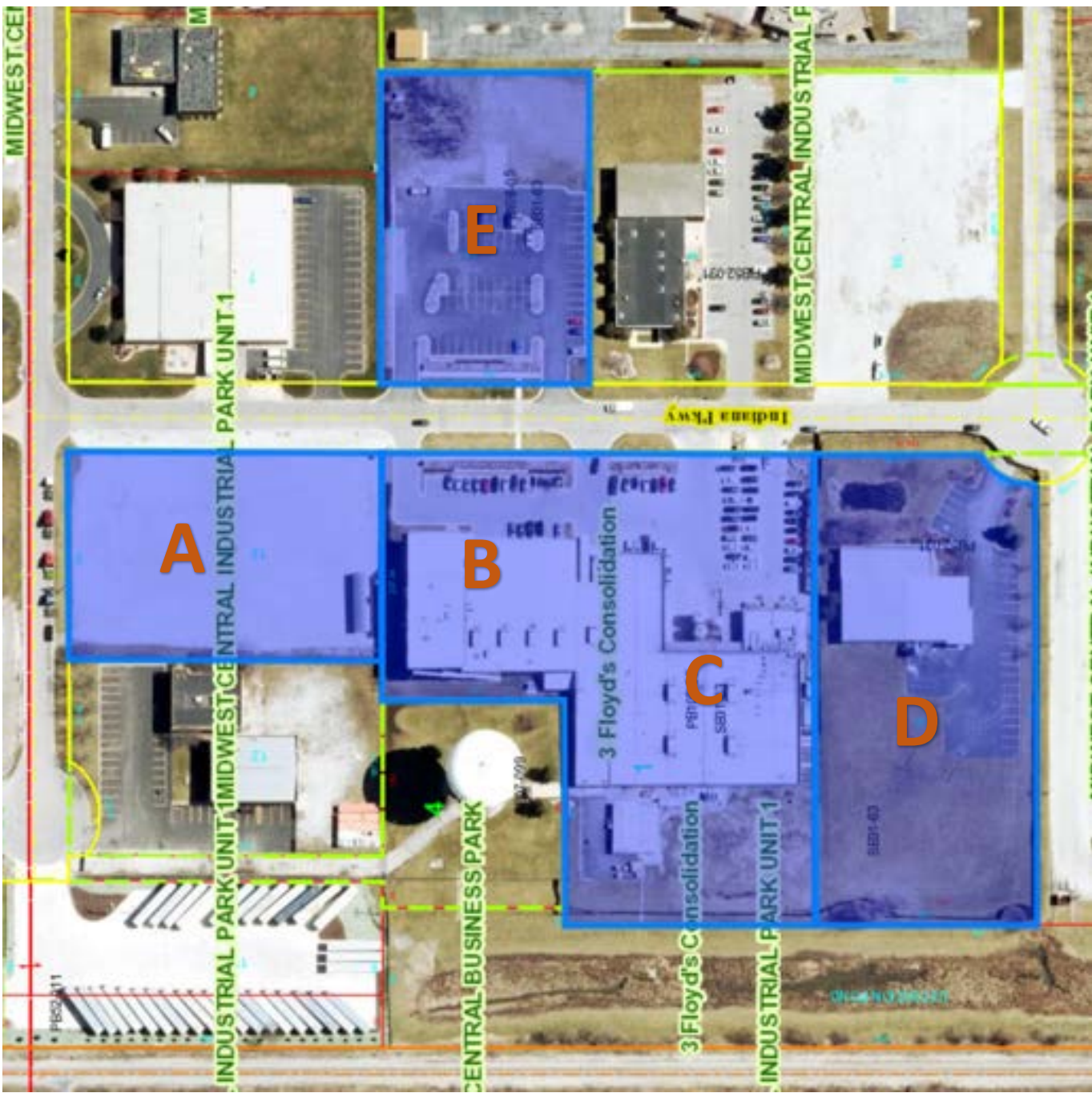
LOT 13, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

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LOT 16, EXCEPT THE NORTH 14 FEET THEREOF, IN MIDWEST CENTRAL INDUSTRIAL PARK, UNIT 1, IN THE TOWN OF MUNSTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 52, PAGE 31, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

COMMONLY KNOWN AS: 9812, 9750 and 9731 Indiana Parkway and 448 Superior Avenue,
Munster, IN 46321

Parcel Identification Nos.: 45-06-36-201-011.000-027
45-06-36-201-006.000-027
45-06-36-202-008.000-027
45-06-36-201-009.000-027



☆ **Parcel: 45-06-36-201-009.000-027** > | ...

Owner:

Floyds Concern LLC

Mailing Address:

9750 Indiana Parkway Munster IN 46321

Site Address:

9812 INDIANA PKWY MUNSTER IN 46321

☆ **Parcel: 45-06-36-201-006.000-027** > | ...

Owner:

Floyds Concern LLC

Mailing Address:

9750 Indiana PARK Munster IN 46321

Site Address:

448 SUPERIOR AVE MUNSTER IN 46321

☆ **Parcel: 45-06-36-201-011.000-027** > | ...

Owner:

Floyds Concern LLC

Mailing Address:

9748 Indiana PKWY Munster IN 46321

Site Address:

9750 Indiana PKWY Munster IN 46321

☆ **Parcel: 45-06-36-202-008.000-027** > | ...

Owner:

Floyds Concern LLC

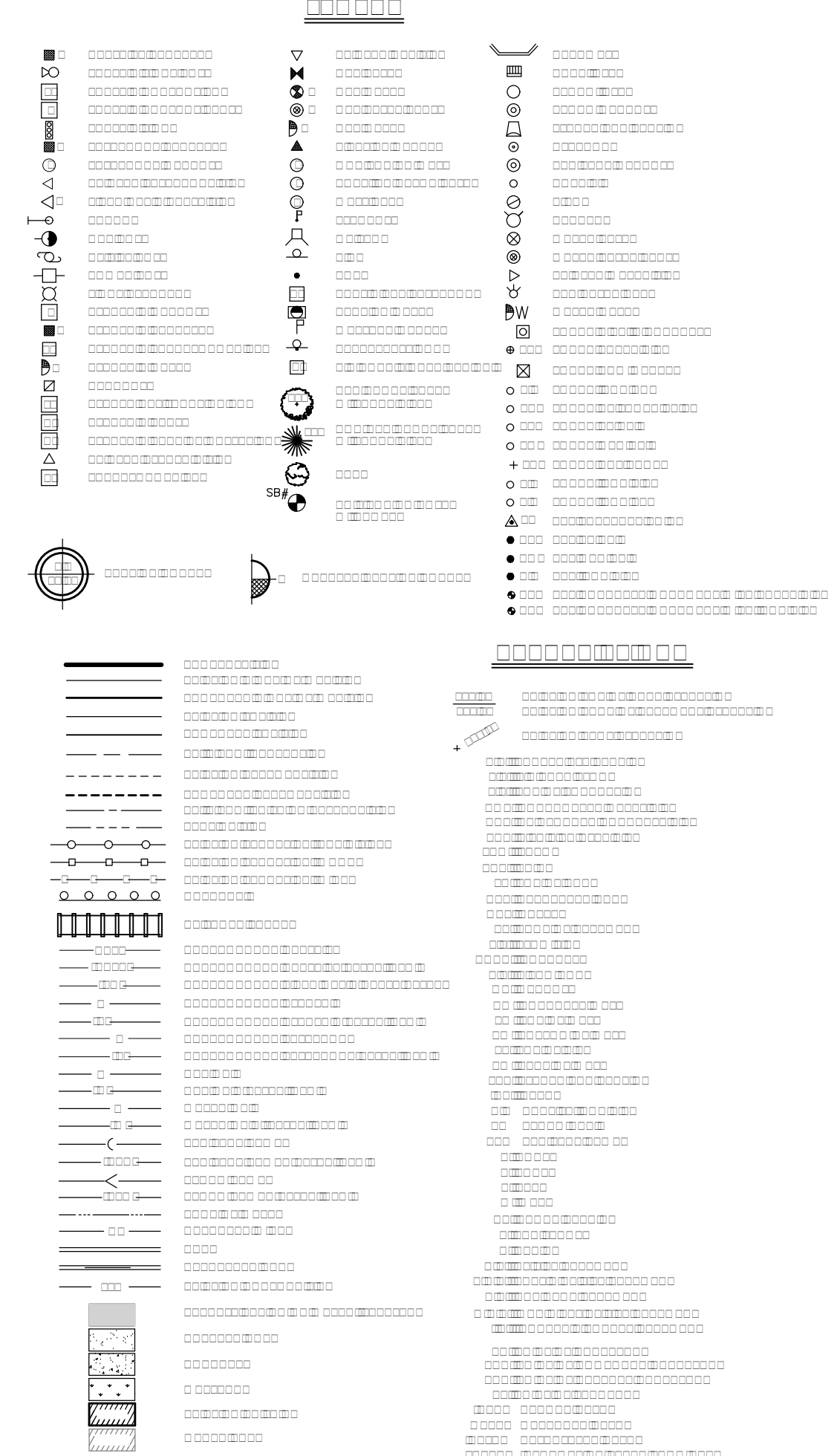
Mailing Address:

9748 Indiana PKWY Munster IN 46321

Site Address:

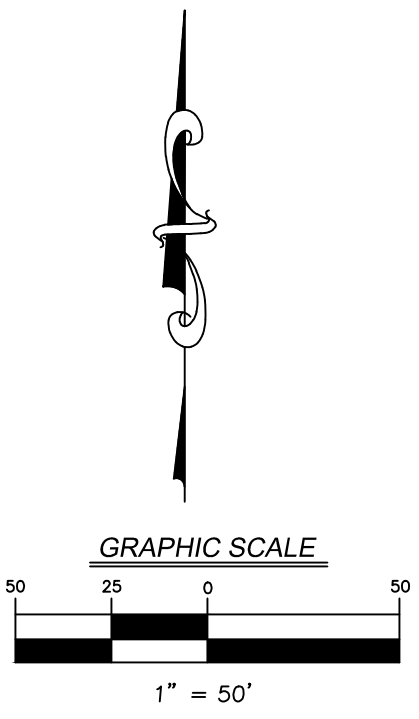
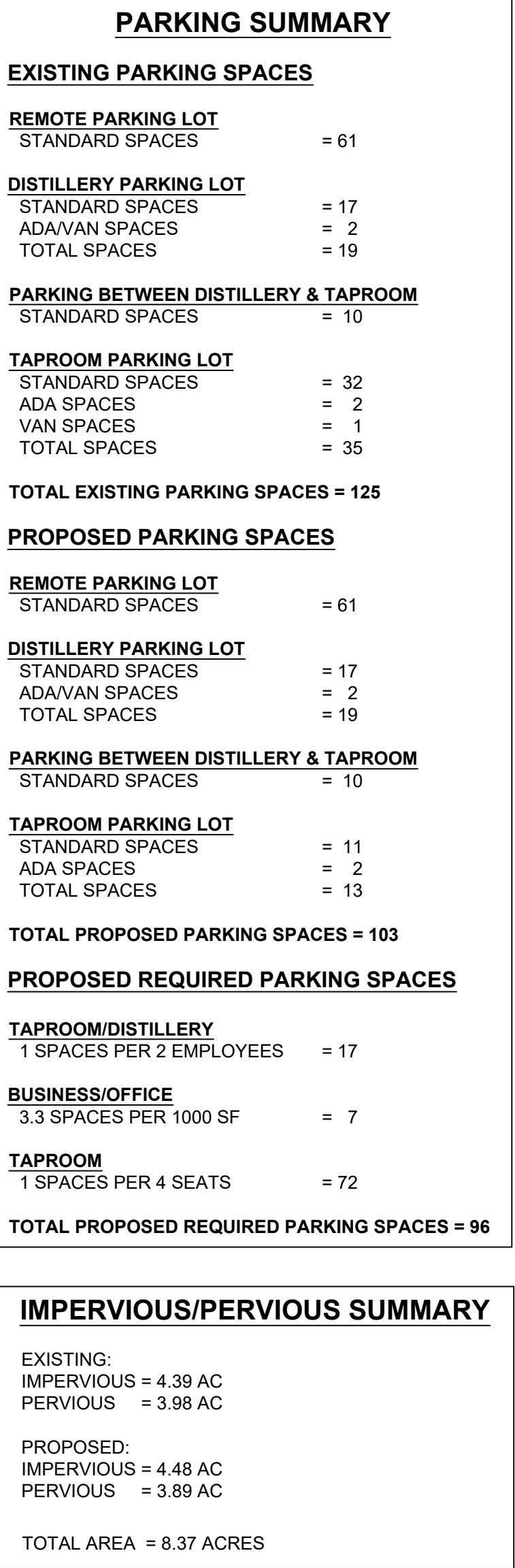
9731 Indiana PKWY Munster IN 46321


THREE FLOYDS BREWING
MUNSTER, IN

[illegible]



VICINITY PLAN
SCALE= 1"= 100'



<div><p>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</p></div>	<div>OVERALL SITE PLAN</div>		PROJECT NO.: 17285.3F2		ORIGINAL ISSUE DATE: 10-24-2023				REVISIONS				
			PROJECT MANAGER: RS		NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION			
	<div>THREE FLOYDS BREWERY</div>		DESIGNED BY: MR										
			DRAWN BY:										
MUNSTER		9750 INDIANA PARKWAY		INDIANA									
DRAWING NO.		1.0											

FINAL ENGINEERING PLANS
FOR
THREE FLOYDS TAPROOM
9750 INDIANA PARKWAY
MUNSTER, INDIANA

PROJECT TEAM
<u>OWNER/DEVELOPER</u> Three Floyds Brewing, LLC 9750 Indiana Parkway Munster, Indiana 46321 630 930 7228 Contact: Gary Modrow
<u>ENGINEER</u> V3 Companies, Ltd. 7325 Janes Avenue Woodridge, Illinois 60517 630 724 9200 Principal In Charge: Ted Feenstra; P.E. Project Manager: Ryan Smykowski, rsmykowski@v3co.com Design Engineer: Mary Rokicki mrokicki@v3co.com
<u>ARCHITECT</u> V Three Studios, LLC 2717 Sutton Blvd. St Louis, Missouri 63143 314 922 7212 Contact: Gabe McKee



INDEX
CIVIL ENGINEERING PLANS
C0.0 TITLE SHEET
C1.0 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
C1.1 SPECIFICATIONS
C2.0 EXISTING CONDITIONS AND DEMOLITION PLAN
C3.0 LAYOUT AND PAVING PLAN
C4.0 GRADING PLAN
C4.1 EROSION CONTROL PLAN
C4.2 EROSION CONTROL DETAILS
C5.0 UTILITY PLAN
C6.0 CONSTRUCTION DETAILS
C6.1 CONSTRUCTION DETAILS

SUPPORTING DOCUMENTS
1 of 2 TOPOGRAPHIC SURVEY

BENCHMARKS
SOURCE: BENCHMARKS ESTABLISHED & HELD VIA TRIMBLE VRS HARN NETWORK. PROJECT ORIGIN AT : LATITUDE: 41-32-05.86814 N LONGITUDE: 87-30-55.12359 W ELLIPSOIDAL HEIGHT: 511.468 SFT GROUND SCALE FACTOR 1.0000417549 VERTICAL DATUM IS NAVD88 . SITE: STATION DESIGNATION: SBM #1 ESTABLISHED BY: V3 COMPANIES DATE:10-20-17 ELEVATION: 614.60 (MEASURED) DATUM: NAVD88 DESCRIPTION: NORTH BOLT OF FIRE HYDRANT WITH CUT CROSS ON BOLT AT SOUTH SIDE OF INDIANA AND PROGRESS AVENUE. STATION DESIGNATION: SBM #1 ESTABLISHED BY: V3 COMPANIES DATE:10-20-17 ELEVATION: 614.63 (MEASURED) DATUM: NAVD88 DESCRIPTION: NORTH BOLT OF FIRE HYDRANT AT SOUTHEAST CORNER OF INDIANA AND SUPERIOR AVENUE.

PROFESSIONAL ENGINEER'S CERTIFICATION
I, THEODORE E. FEENSTRA, A LICENSED PROFESSIONAL ENGINEER OF INDIANA, HEREBY CERTIFY THAT THE CIVIL ENGINEERING PLANS WERE PREPARED ON BEHALF OF THREE FLOYDS BREWING, LLC BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. DATED THIS 24TH DAY OF OCTOBER, A.D., 2023. <i>Theodore E. Feenstra Jr.</i> INDIANA LICENSED PROFESSIONAL ENGINEER PE10100366 MY LICENSE EXPIRES ON JULY 31, 2024

PROJECT NO.: 17265.3F2 S04 PROJECT MANAGER: RS DESIGNED BY: MR DRAWN BY: NRS	ORIGINAL ISSUE DATE: 10-24-2023		REVISIONS	
	NO.	DATE	DESCRIPTION	DESCRIPTION
TITLE SHEET		THREE FLOYDS TAPROOM		
MUNSTER		9750 INDIANA PARKWAY		
INDIANA				
7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com		DRAWING NO. C0.0		

GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

V3 COMPANIES, LTD.
7325 JANES AVENUE
WOODRIDGE, IL 60517

- COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
3. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES, LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE INDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
8. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- a. "STANDARD SPECIFICATIONS" AS PREPARED BY INDOT, LATEST EDITION.
- b. "RECOMMENDED STANDARDS FOR WATER WORKS (10 STATE STANDARDS)", LATEST EDITION.
- c. "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (10 STATE STANDARDS)", LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE TOWN OF MUNSTER.
- e. THE NATIONAL ELECTRIC CODE.
- f. THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN
9. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER INDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION

PLAN.

12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE TOWN OF MUNSTER MUNICIPAL CODE AND INDOT REQUIREMENTS.
13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5644. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
21. ALL CURB RADII REFER TO BACK OF CURB.
22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR INDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND INDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE TOWN OF MUNSTER STANDARDS.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE PERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.


LEGEND

EXISTING	PROPOSED

DESCRIPTION
RIGHT-OF-WAY LINE
PROPERTY LINE (EXTERIOR)
LOT LINE (INTERIOR)
EASEMENT LINE
FENCE LINE
CENTERLINE
PROPERTY CORNER
CONTOUR
CURB & GUTTER
DEPRESSED CURB & GUTTER
REVERSE PITCHED CURB
SPOT ELEVATION
TOP OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION
UTILITY STUB
SANITARY SEWER
SANITARY FORCE MAIN
STORM SEWER
WATER MAIN
GAS MAIN
UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK
BURIED CABLE-ELECTRIC
BURIED CABLE-TELEPHONE
ATLAS LOCATED UTILITY
UTILITY STRUCTURE WITH CLOSED LID
CURB INLET
DRAINAGE STRUCTURE WITH OPEN LID
FIRE HYDRANT
VALVE IN VALVE BOX
GATE VALVE IN VALVE VAULT
POST INDICATOR VALVE
THRUST BLOCK
TREE
TREE LINE
CONCRETE HEADWALL
SUBMERGED HEADWALL
FLARED END SECTION (F.E.S.)
GUY WIRES
FLOOD LIGHT
UTILITY POLE
LIGHT STANDARD
TRAFFIC SIGNAL POLE
HAND HOLE
SOIL BORING
IRRIGATION HEADS
SIGN
TELEPHONE MANHOLE
MONITORING WELL
TELEPHONE PEDESTAL
TRANSFORMER PAD
UTILITY TO BE ABANDONED
FEATURE TO BE REMOVED
STORMWATER FLOW DIRECTION
STORMWATER OVERFLOW ROUTE
DITCH CHECK
INLET FILTER BASKET
RIP RAP
BOLLARD
SILT FENCE
WATER MAIN PROTECTION
TRENCH BACKFILL
UTILITY CROSSING LABEL
GUARDRAIL
RAILROAD TRACKS
RETAINING WALL
REVISION DELINEATION
CONSTRUCTION LIMIT LINE
TREE PROTECTION FENCE

ABBREVIATIONS

A	ARC LENGTH
B-B	BACK TO BACK OF CURB
B/C	BACK OF CURB
BLDG	BUILDING
BM	BENCHMARK
B/P	BOTTOM OF PIPE
BV/VV	BUTTERFLY VALVE IN VALVE VAULT
C & G	CURB AND GUTTER
CB	CATCH BASIN
CL	CENTERLINE
CL	CLOSED LID
CO	CLEAN OUT
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
DIWM	DUCTILE IRON WATER MAIN
DWG	DRAWING
E	EAST OR ELECTRIC OR EDGE
EJ	EXPANSION JOINT
ELEV	ELEVATION
E/P	EDGE OF PAVEMENT
EX.	EXISTING
F & CL	FRAME & CLOSED LID
F & G	FRAME & GRATE
F & OL	FRAME & OPEN LID
FES	FLARED END SECTION
F-F	FACE TO FACE OF CURB
FF	FINISHED FLOOR
F/G	FINISHED GRADE
FH	FIRE HYDRANT
F/L	FLOW LINE
G	GAS LINE
GV/VB	GATE VALVE IN VALVE BOX
GV/VV	GATE VALVE IN VALVE VAULT
HDCP	HANDICAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HDW	HEADWALL
HOR	HORIZONTAL
HP	HIGH POINT
HWL	HIGH WATER LEVEL
IE	INVERT ELEVATION
IN	INLET
LF	LINEAL FEET
LP	LOW POINT OR LIGHT POLE
L	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MW	MONITORING WELL
N	NORTH
NIC	NOT IN CONTRACT / NOT INCLUDED
NWL	NORMAL WATER LEVEL
OC	ON CENTER
OL	OPEN LID
PC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS OR RIGHT
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SLOPE OR SOUTH
SAN	SANITARY
SF	SILTATION FENCE
SFM	SANITARY FORCE MAIN
SHT	SHEET
SHW	SUBMERGED HEADWALL
SMH	SANITARY MANHOLE
STA	STATION
ST	STORM STRUCTURE OR STORM SEWER
STMH	STORM MANHOLE
T	TANGENT LENGTH OR TELEPHONE
T/C	TOP OF CURB
T/P	TOP OF PIPE
T/W	TOP OF WALL
TY	TYPE
TYP	TYPICAL
UP	UTILITY POLE
VC	VERTICAL CURVE
VERT	VERTICAL
VCP	VITRIFIED CLAY PIPE
W	WEST
WM	WATER MAIN

<div><div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div></div> <div>DRAWING NO. C1.0</div>	<div>GENERAL NOTES, LEGEND AND ABBREVIATIONS</div> <div>THREE FLOYDS TAPROOM</div> <div>MUNSTER 9750 INDIANA PARKWAY INDIANA</div>										PROJECT NO.: 17265.3F2 S04				ORIGINAL ISSUE DATE: 10-24-2023				REV I S I O N S			
											PROJECT MANAGER:		RS		DESIGNED BY:		MR		DRAWN BY:		NRS	
											NO.		DATE		NO.		DATE		NO.		DATE	
											DESCRIPTION		DESCRIPTION		DESCRIPTION		DESCRIPTION		DESCRIPTION			

SPECIFICATIONS

EARTHWORK

1.

THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE. IN WRITING, ANY REMEDIATION, BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
2.

THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
3.

THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
4.

EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
5.

ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
6.

COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1' TOLERANCE OF DESIGN SUBGRADE.
7.

THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
8.

BORROW PIT LOCATION(S) SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.

SANITARY SEWER

1.

SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:

a.

POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D2241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.

b.

DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
2.

MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "SEWER".
3.

ALL SANITARY SEWER SHALL BE TESTED FOR ACCEPTANCE IN ACCORDANCE WITH THE STANDARD FOR WASTEWATER FACILITIES (10 STATE STANDARDS). CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. IF THE LOCAL JURISDICTION HAS MORE STRINGENT TESTING REQUIREMENTS THE CONTRACTOR SHALL ADHERE TO THE MORE STRINGENT REQUIREMENTS. THE COST SHALL BE INCIDENTAL TO THE CONTRACT.

STORM SEWER

1.

STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:

A.

REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH INDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C776. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-443, UNLESS OTHERWISE NOTED.

B.

POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.

C.

DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).

D.

HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3350 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
2.

STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM".

WATERMAIN CROSSING REQUIREMENTS

1.

HORIZONTAL SEPARATION:

A.

WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.

B.

WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:

i.

TYPICAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;

ii.

THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND

iii.

THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

C.

BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
2.

VERTICAL SEPARATION:

A.

A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.

B.

BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN:

i.

IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 9A) ABOVE; OR

ii.

THE WATERMAIN PASSES UNDER A SEWER DRAIN.

C.

A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.

D.

CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.
- PAVING
1.

BASE COURSE SHALL BE AGGREGATE BASE COURSE, CONFORMING TO INDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).

2.

SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO INDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).

3.

CURB & GUTTER AND SIDEWALK SHALL BE PORTLAND CEMENT CONCRETE CONFORMING TO INDOT STANDARD SPECIFICATIONS.

4.

SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.

5.

AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE INDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.

6.

PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.
7.

SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND ½ INCH PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, UNLESS OTHERWISE NOTED.

8.

TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH INDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.

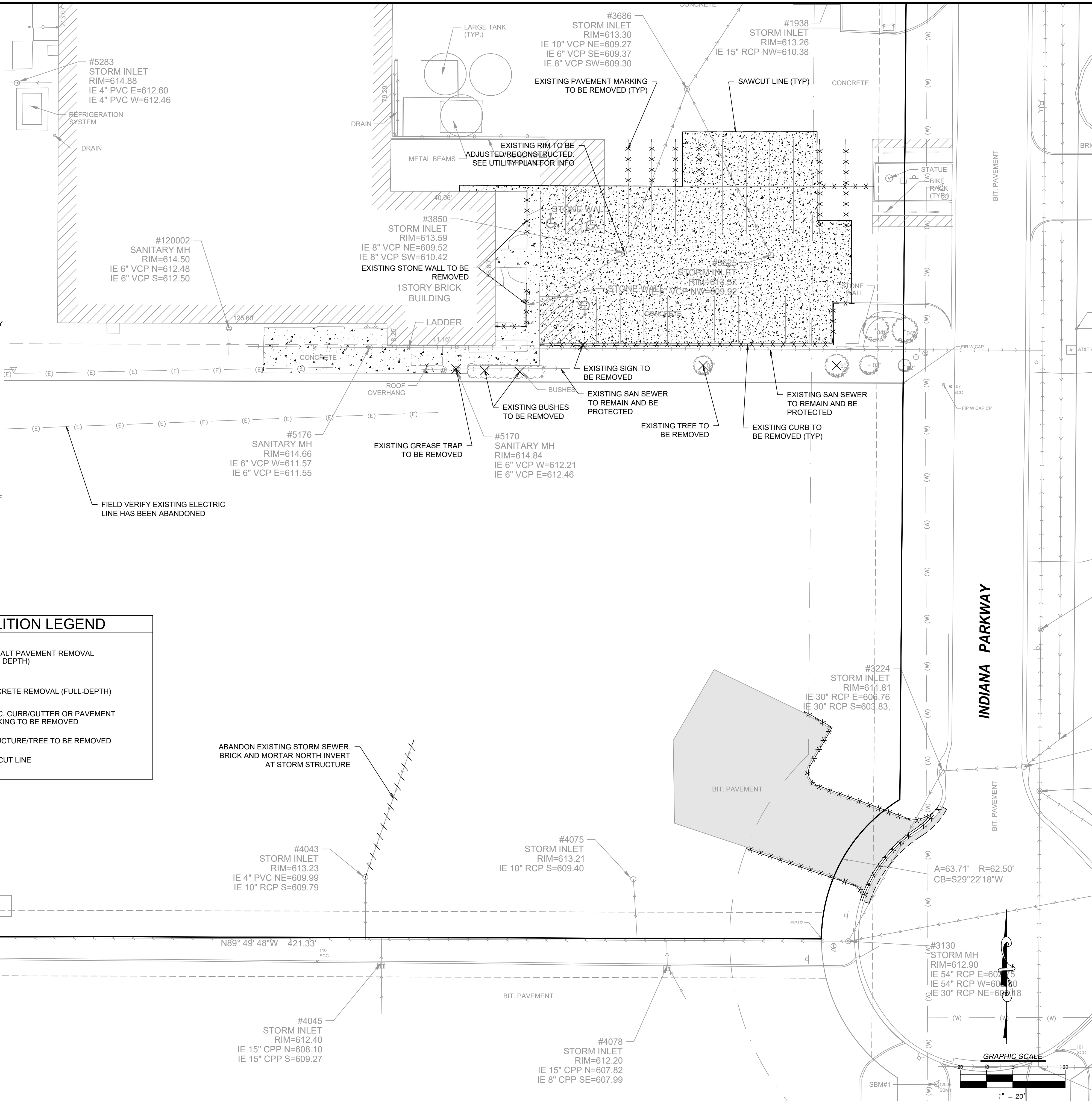
9.


ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.
- 7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com
-
- DRAWING NO.
- C1.1
- SPECIFICATIONS
- THREE FLOYDS TAPROOM
- MUNSTER
- 9750 INDIANA PARKWAY
- INDIANA
- PROJECT NO.:
- 17265.3F2 S04
- PROJECT MANAGER:
- RS
- DESIGNED BY:
- MR
- DRAWN BY:
- NRS
- ORIGINAL ISSUE DATE: 10-24-2023
- REVISIONS
- DESCRIPTION
- NO.
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- DESCRIPTION
- NO.
- DATE
- N:\2017\17265\17265.3F2\Drawings\ACAD\LD\S04\Sheet Drawings\C1.0 Gal7265.3F2.dwg10/23/2023

THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:

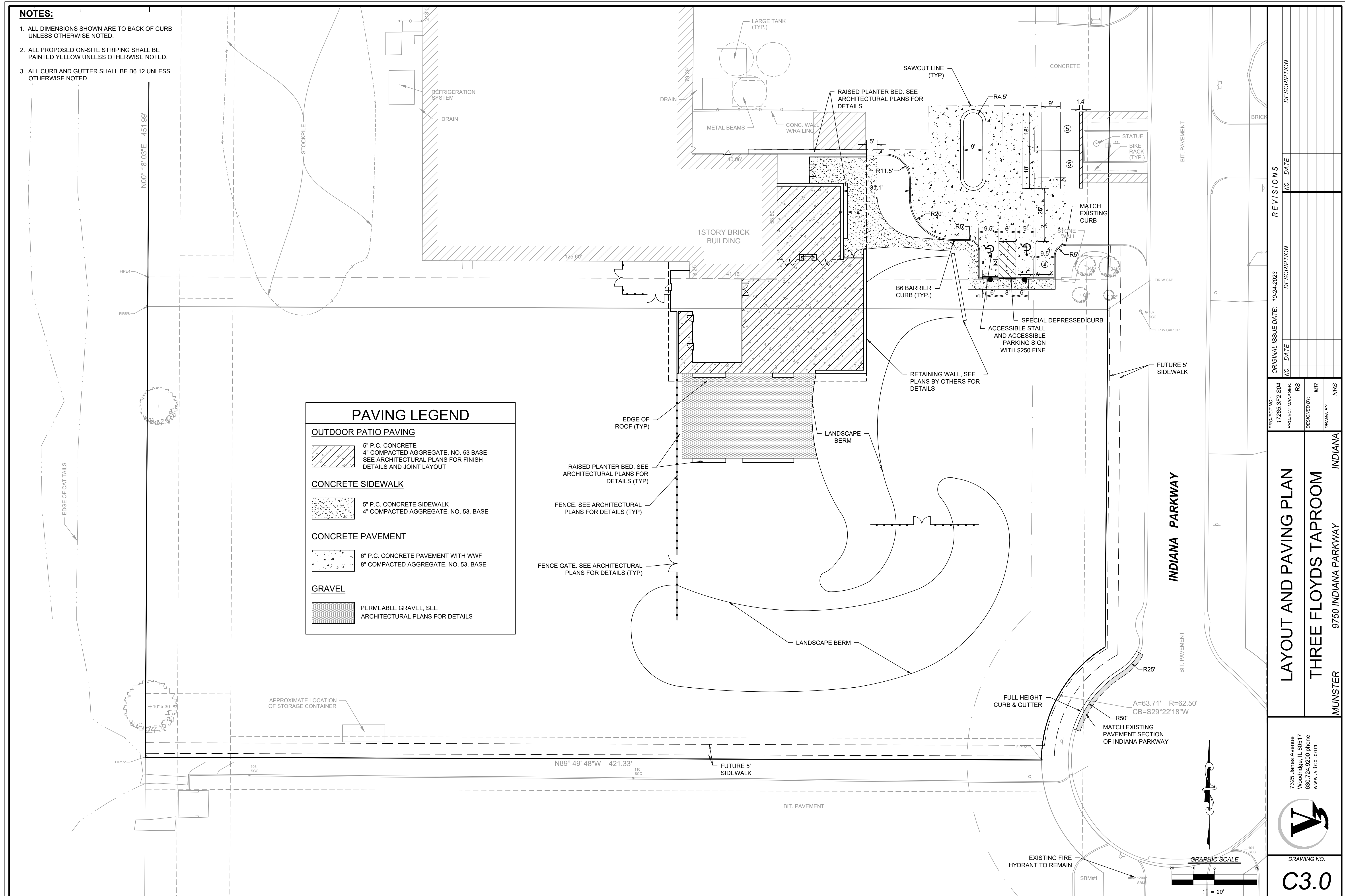
- SIDEWALK AND ON-SITE PAVEMENT
- UTILITIES
- CONSTRUCTION DEBRIS


2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
3. CONTRACTOR MUST RECEIVE APPROVAL FROM GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
4. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
5. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
7. EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
8. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-23 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
9. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
10. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
11. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
12. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
13. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
14. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE INDOT APPROVED AGGREGATE (NO. 53) OR APPROVED EQUAL.
15. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
16. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.



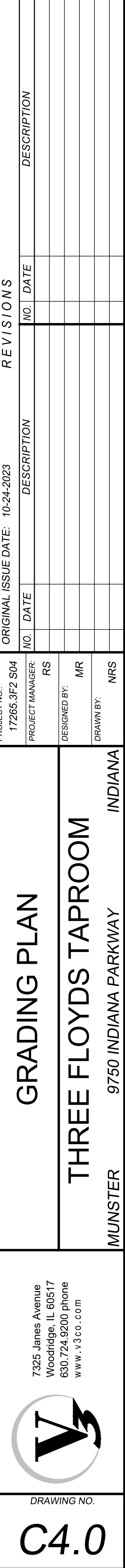
 <p>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</p>	<p>EXISTING CONDITIONS AND DEMOLITION PLAN</p>		<p>PROJECT NO.: 17265.3F2 S04</p>		<p>ORIGINAL ISSUE DATE: 10-24-2023</p>		<p>REVISIONS</p>	
			<p>PROJECT MANAGER: RS</p>		<p>NO. DATE DESCRIPTION</p>		<p>NO. DATE DESCRIPTION</p>	
			<p>DESIGNED BY: MR</p>					
			<p>DRAWN BY:</p>					
			<p>NRS</p>					
<p>MUNSTER 9750 INDIANA PARKWAY INDIANA</p>								
<p>DRAWING NO.</p>			<p>C2.0</p>					

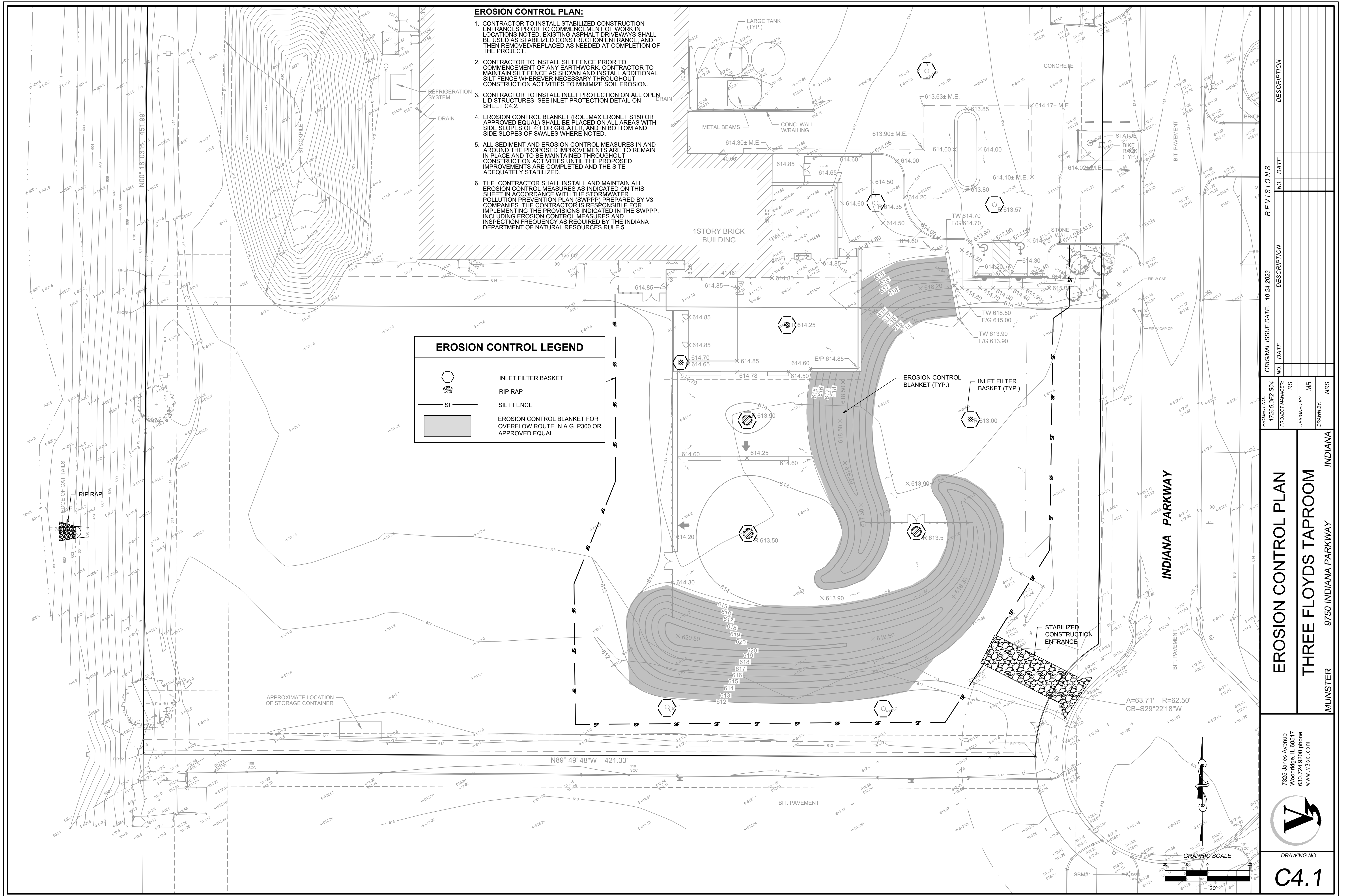
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
3. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.




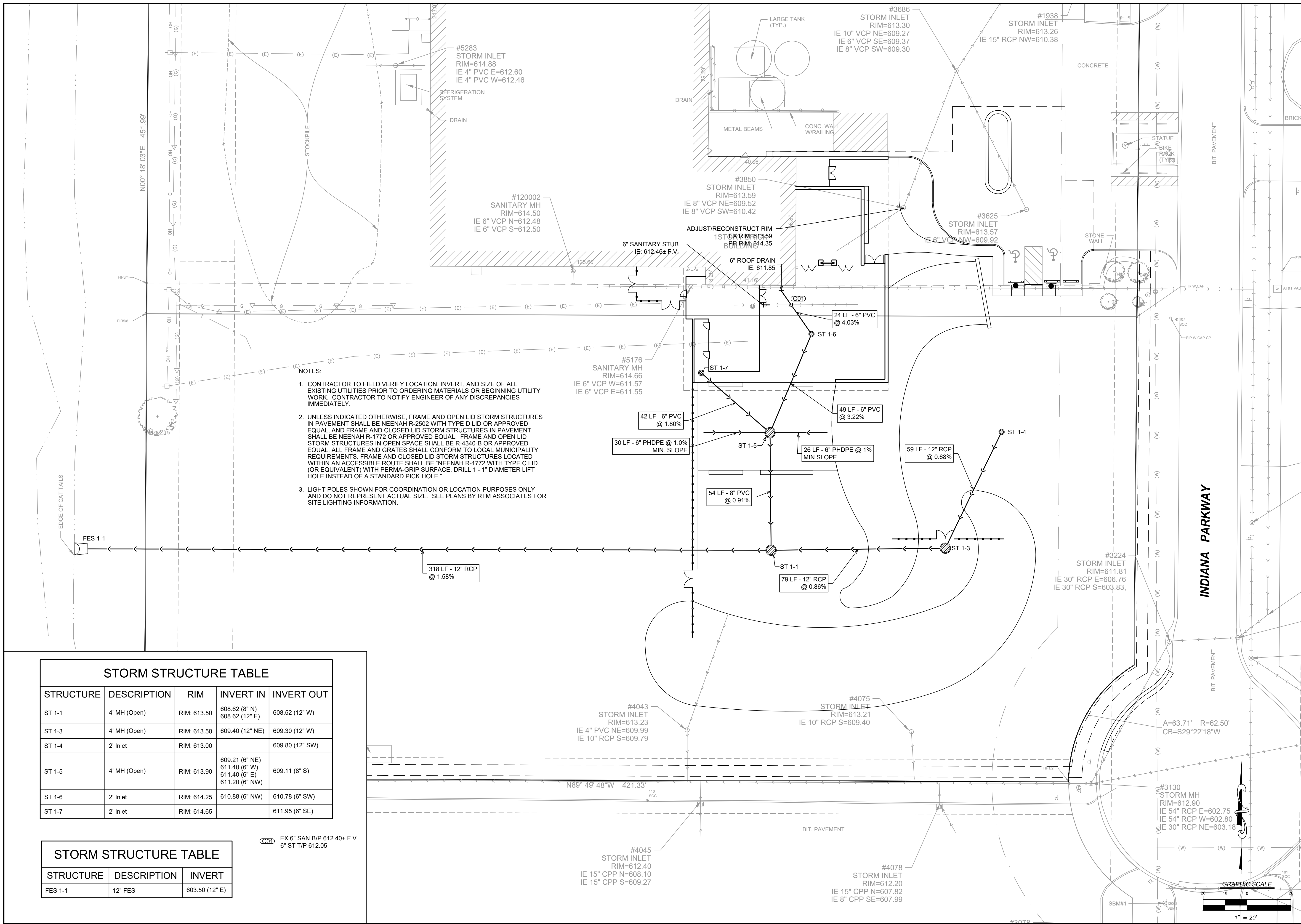
<div><p>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</p></div>	<div><p>DRAWING NO.</p><p>C3.0</p></div>	<div><p>MUNSTER 9750 INDIANA PARKWAY INDIANA</p><p>LAYOUT AND PAVING PLAN</p><p>THREE FLOYDS TAPROOM</p></div>	PROJECT NO.: 17265-3F2 S04	ORIGINAL ISSUE DATE: 10-24-2023				REV I S I O N S			
			PROJECT MANAGER: RS	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION		
			DESIGNED BY: MR								
			DRAWN BY:								
			NRS								

1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.50% CROSS SLOPE AND 4.50% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED.
4. T/W GRADES ARE SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR WALL DETAILS.





<div></div> <div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div>	<div>DRAWING NO.</div> <div>C4.1</div>	<div>EROSION CONTROL PLAN</div> <div>THREE FLOYDS TAPROOM</div> <div>MUNSTER9750 INDIANA PARKWAYINDIANA</div>	PROJECT NO: 17265.3F2 S04	ORIGINAL ISSUE DATE: 10-24-2023				REVISIONS	
			PROJECT MANAGER RS	DESCRIPTION	NO.	DATE	DESCRIPTION		
			DESIGNED BY: MR						
			DRAWN BY:						
			NFS						



- NOTES:
- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE.
 - LIGHT POLES SHOWN FOR COORDINATION OR LOCATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY RTM ASSOCIATES FOR SITE LIGHTING INFORMATION.

STORM STRUCTURE TABLE				
STRUCTURE	DESCRIPTION	RIM	INVERT IN	INVERT OUT
ST 1-1	4" MH (Open)	RIM: 613.50	608.62 (8" N) 608.62 (12" E)	608.52 (12" W)
ST 1-3	4" MH (Open)	RIM: 613.50	609.40 (12" NE)	609.30 (12" W)
ST 1-4	2" Inlet	RIM: 613.00		609.80 (12" SW)
ST 1-5	4" MH (Open)	RIM: 613.90	609.21 (6" NE) 611.40 (6" W) 611.40 (6" E) 611.20 (6" NW)	609.11 (8" S)
ST 1-6	2" Inlet	RIM: 614.25	610.88 (6" NW)	610.78 (6" SW)
ST 1-7	2" Inlet	RIM: 614.65		611.95 (6" SE)

STORM STRUCTURE TABLE		
STRUCTURE	DESCRIPTION	INVERT
FES 1-1	12" FES	603.50 (12" E)

EX 6" SAN B/P 612.40± F.V.
6" ST T/P 612.05

ORIGINAL ISSUE DATE: 10-24-2023

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.: 17265.3F2 S04

PROJECT MANAGER: RS

DESIGNED BY: MR

DRAWN BY: NRS

UTILITY PLAN

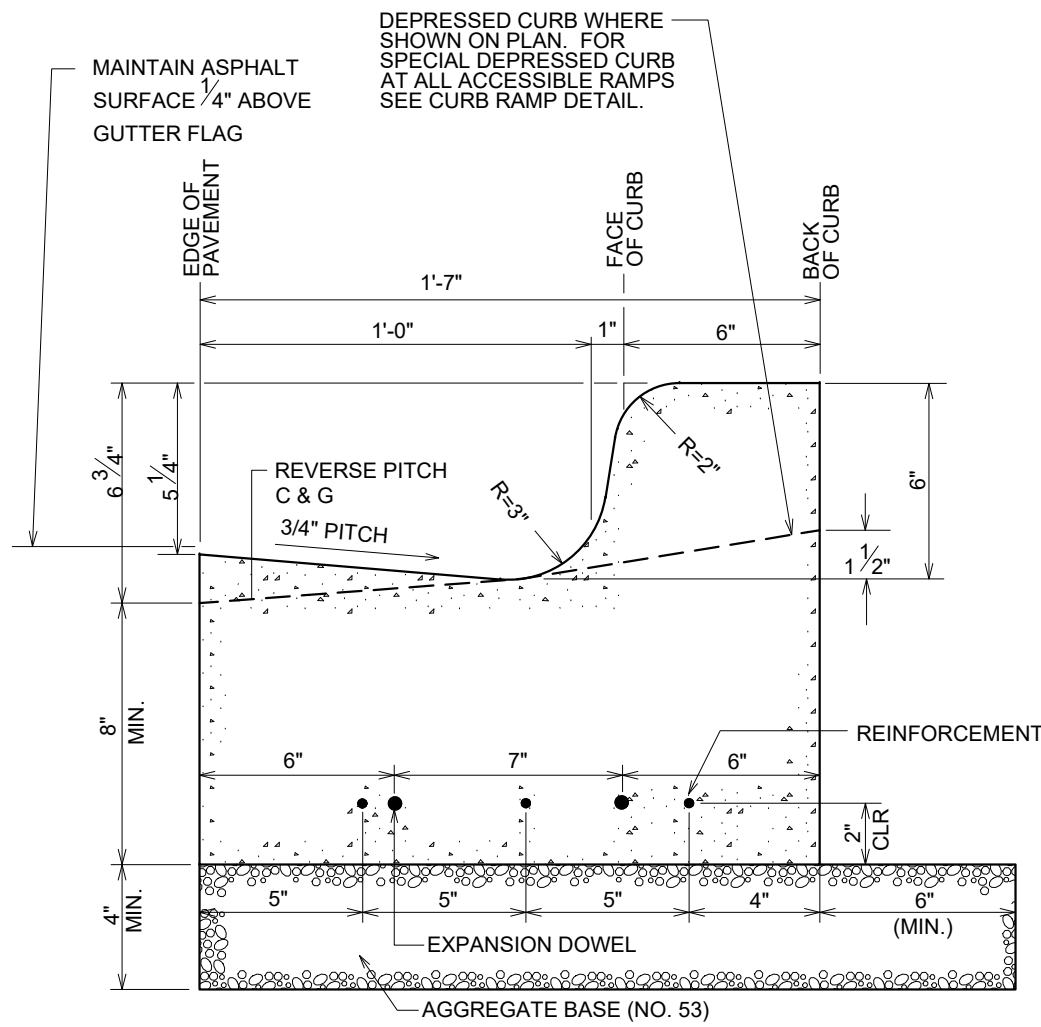
THREE FLOYDS TAPROOM

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DRAWING NO.

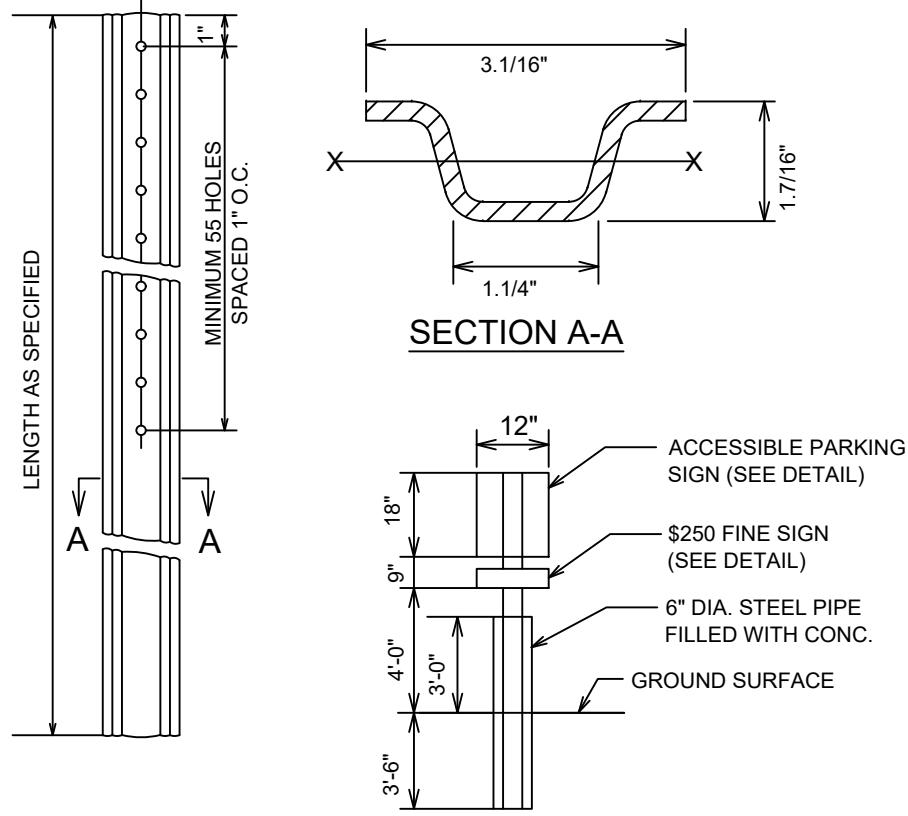
C5.0



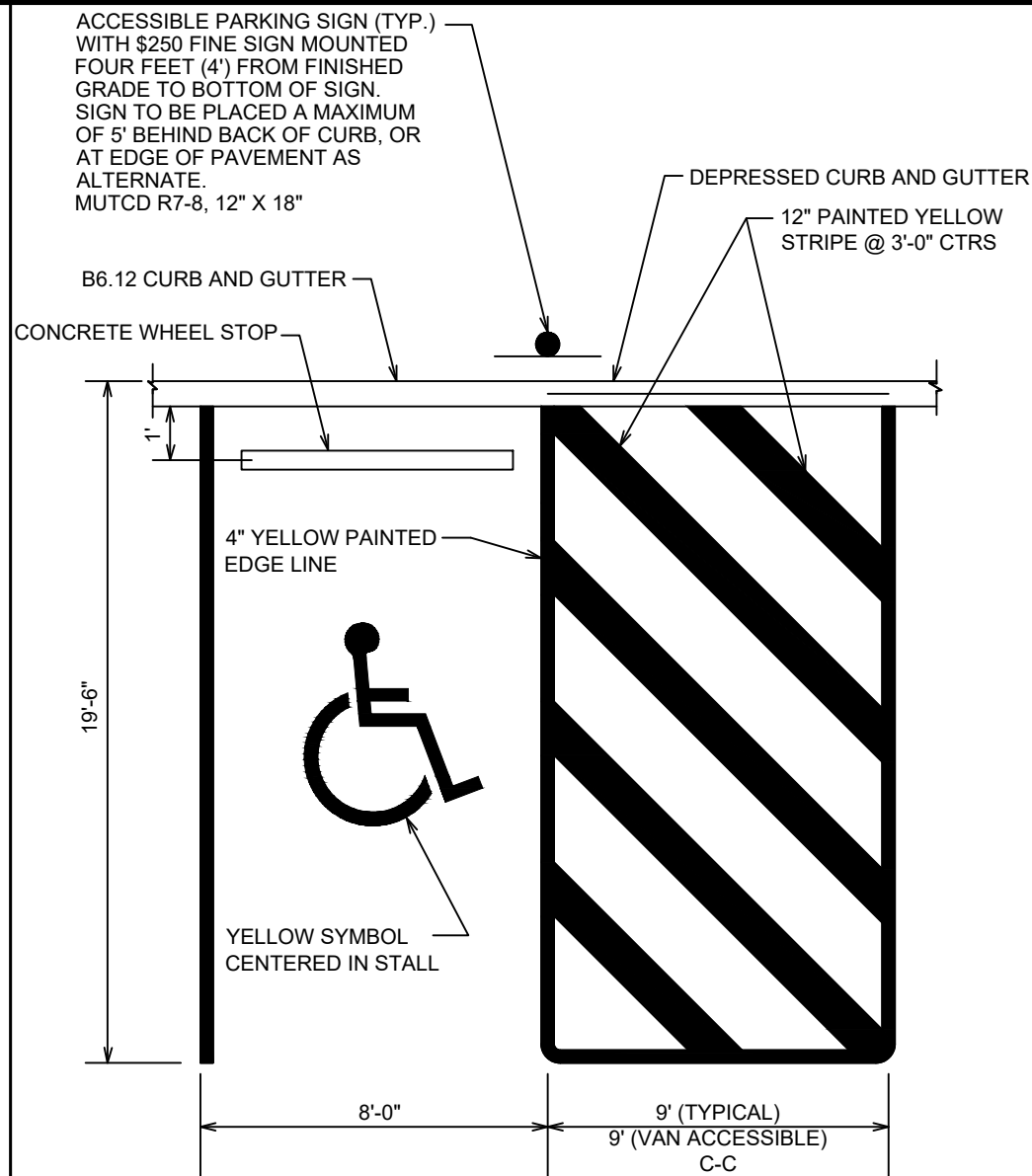
	RELATIVE ELEVATIONS	
	STANDARD PITCH	REVERSE PITCH
E/P	0.00	0.00
GUTTER	-1/4" (-0.021)	+1/4" (+0.021)
FLOW LINE	-1" (-0.083)	+1" (+0.083)
T/C	+5" (+0.417)	+7" (+0.583)

NOTES:

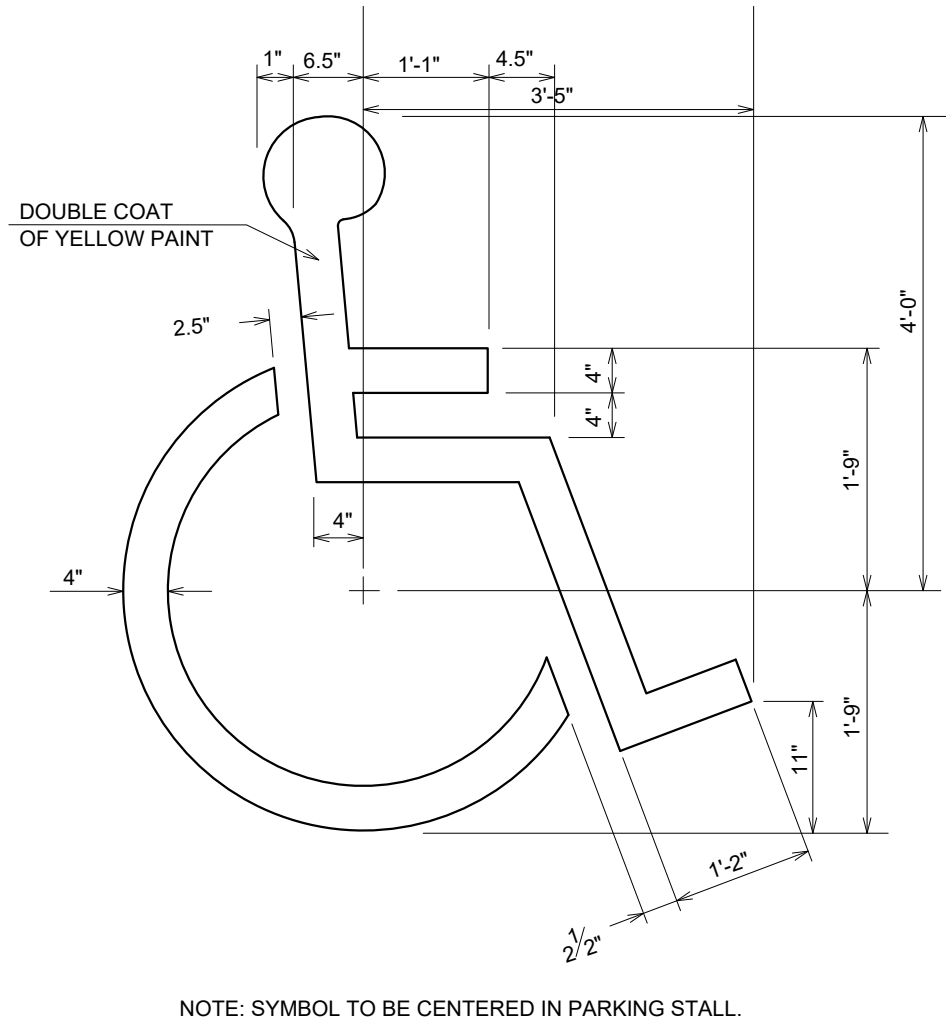
1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADII, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL).
3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 6x2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.



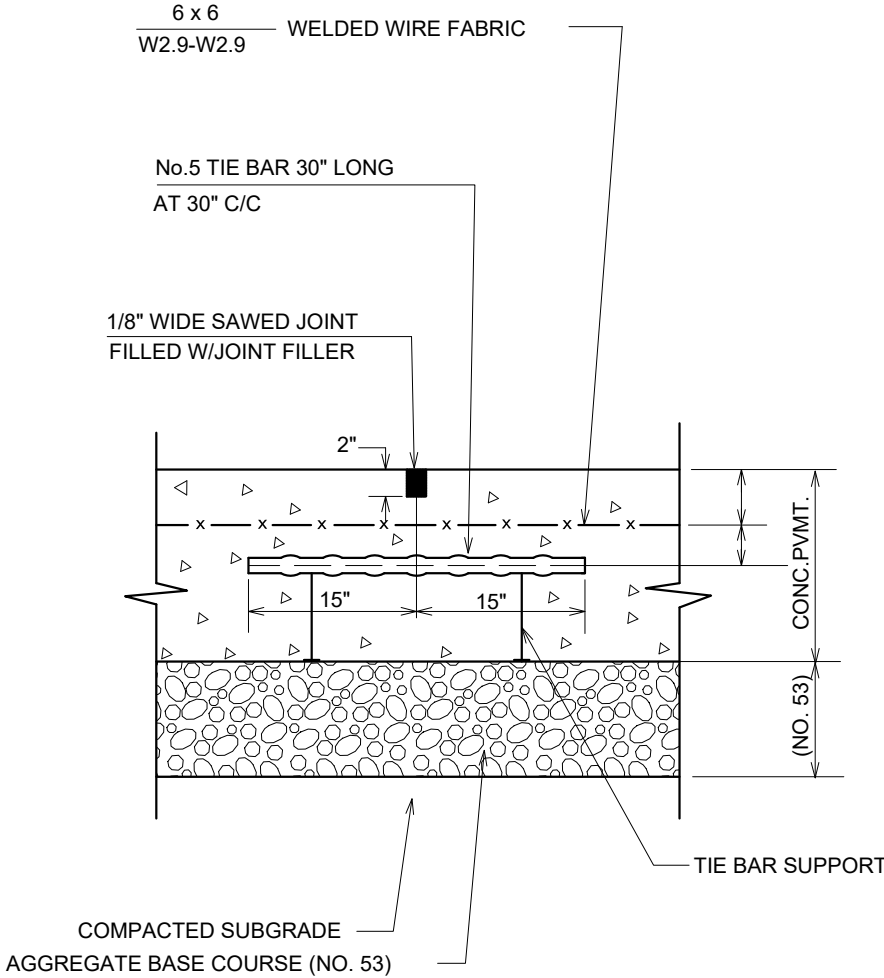
POST MOUNTING
2' BACK OF CURB



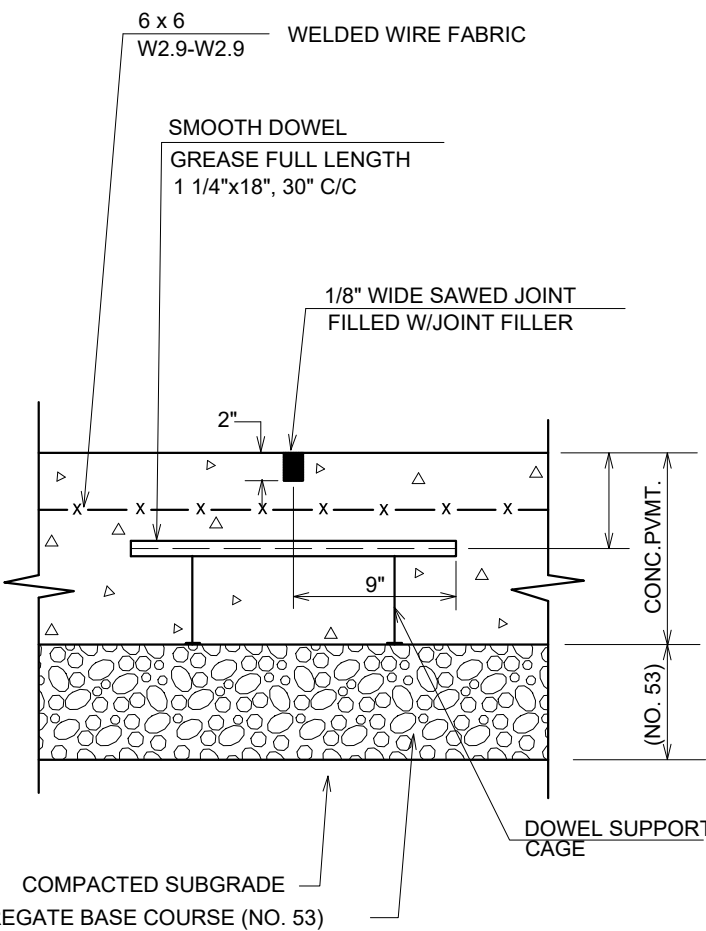
ACCESSIBLE PARKING STALL DETAIL



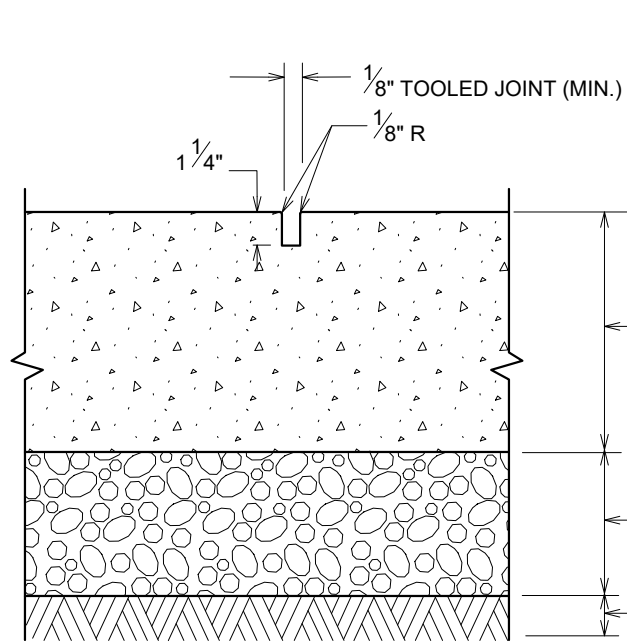
PAINTED ACCESSIBLE STALL SYMBOL



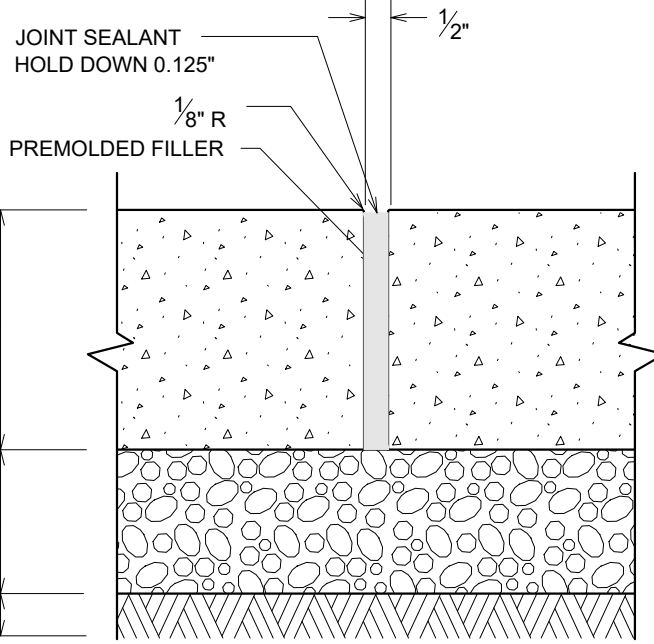
LONGITUDINAL CENTER JOINT



TRANSVERSE CONTRACTION JOINT



CONTRACTION JOINT DETAIL

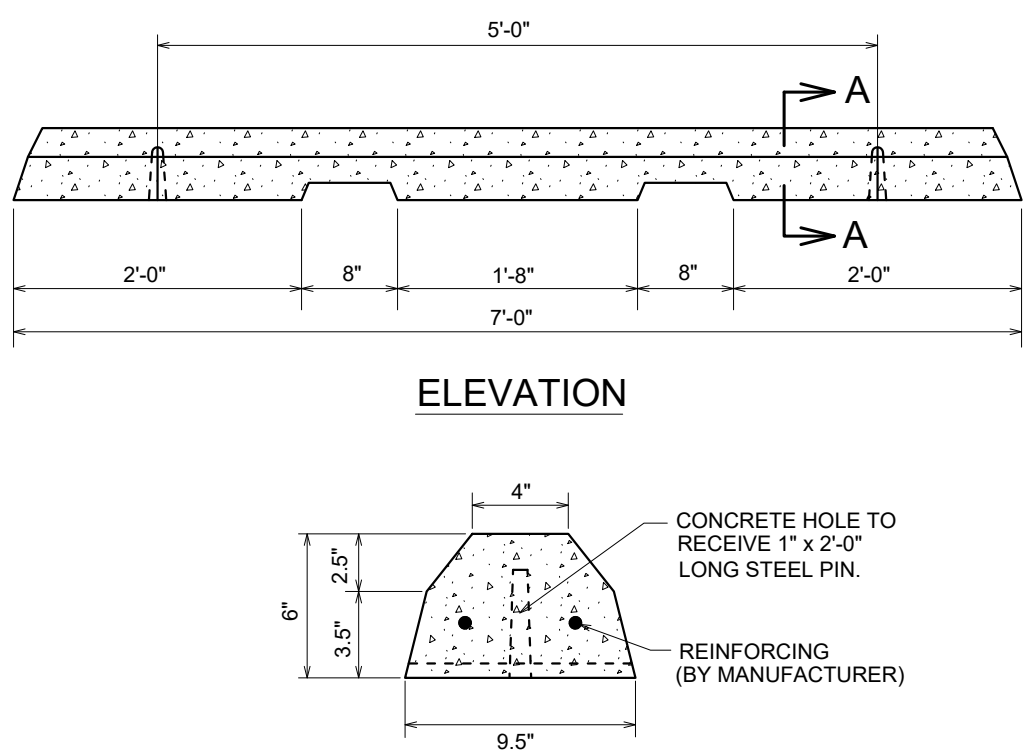


EXPANSION JOINT DETAIL



ACCESSIBLE PARKING SIGN
WITH \$250 FINE SIGN
MUTCD R7-8, 12"x18".

ACCESSIBLE PARKING SIGN

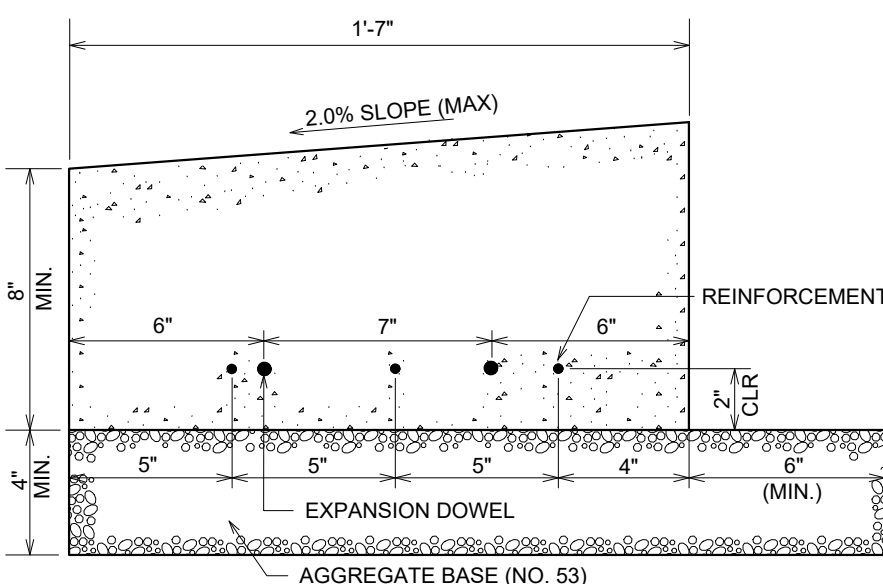


SECTION A-A

NOTES:

1. WHEEL STOPS TO BE CENTERED IN WIDTH OF PARKING STALLS.
2. STEEL PINS TO BE PROVIDED AS REQUIRED TO SECURE WHEEL STOPS.

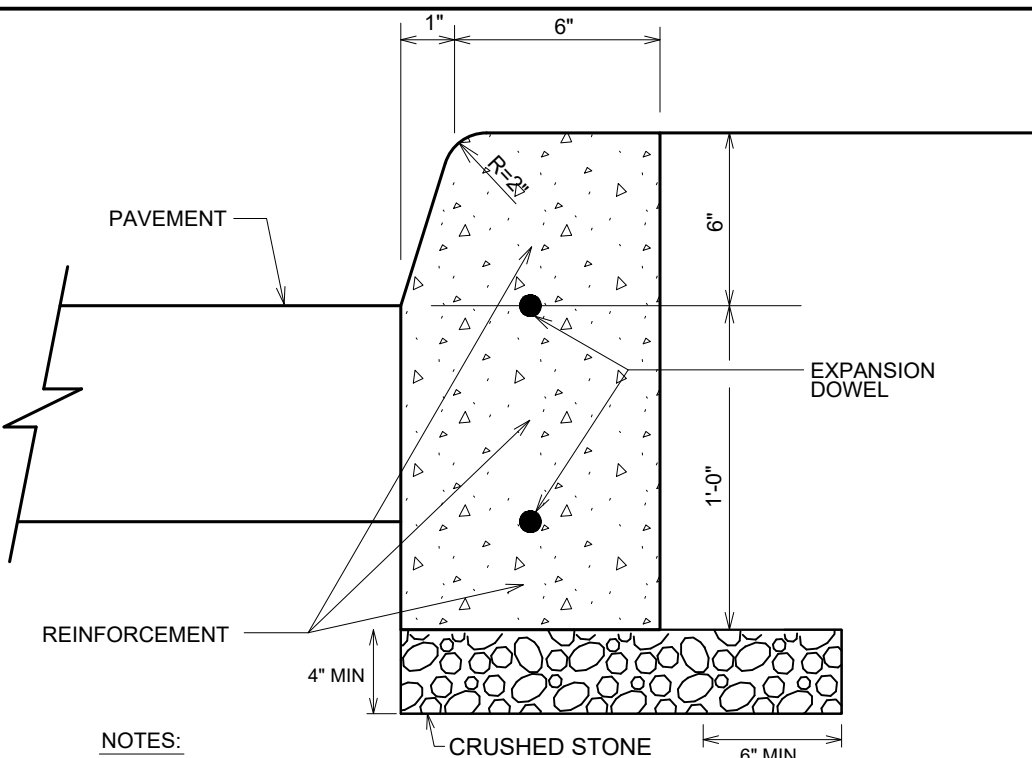
CONCRETE WHEEL STOP



NOTES:

1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT: PLACE 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL).
3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 6 X 2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.
6. SEE PLANS FOR EXACT LOCATIONS OF SPECIAL FLUSH CURBS.

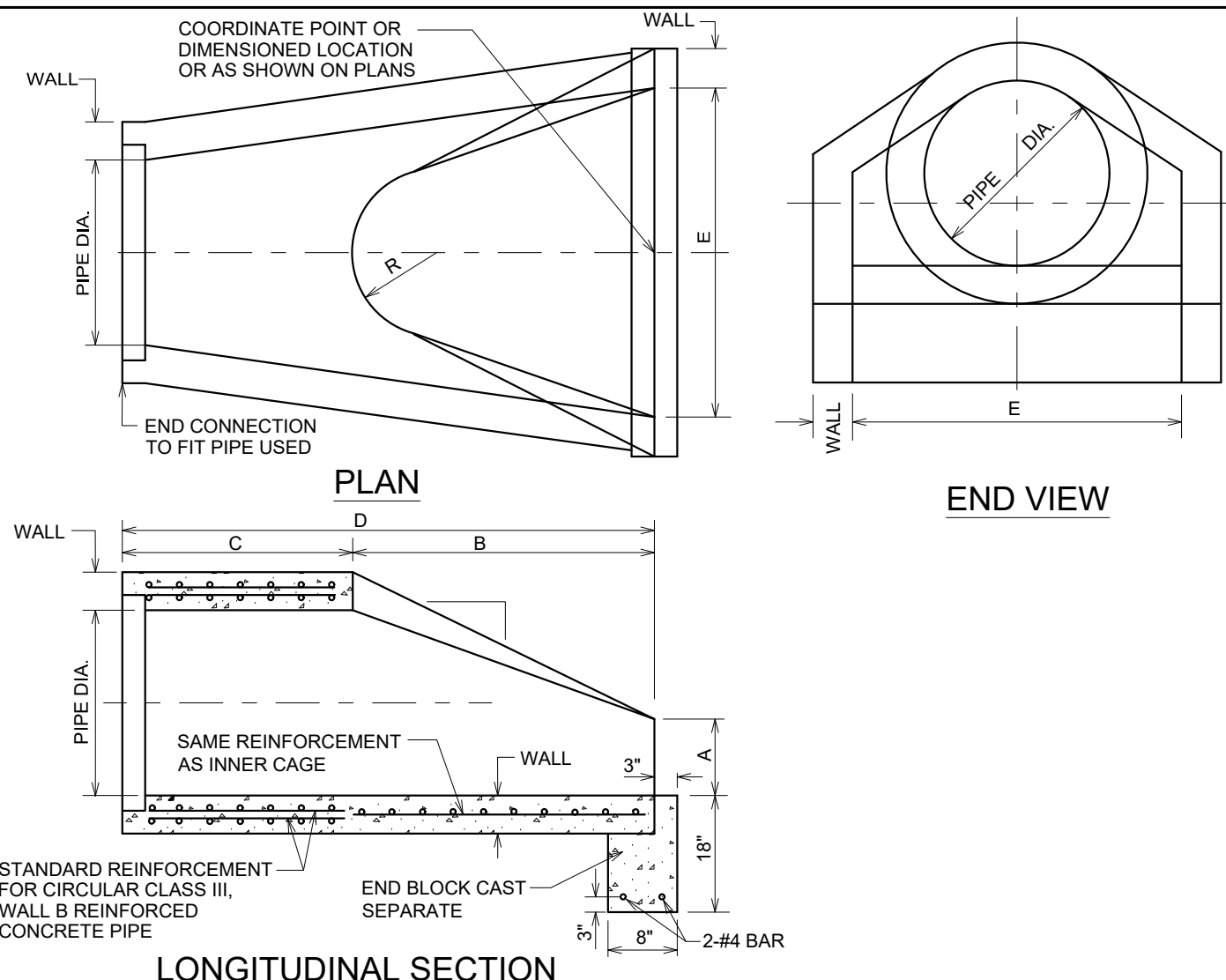
SPECIAL DEPRESSED CURB



NOTES:

1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADII, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL).
3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 6 X 2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.

B6 BARRIER CURB



LONGITUDINAL SECTION

PRECAST REINFORCED CONCRETE FLARED END SECTION

PIPE DIA.	WALL	A	B	C	D	E	R	SLOPE
12"	2"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1"	2'-6"	9"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	13"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	14"	3:1
27"	3 1/4"	10 1/2"	4'-0"	25 1/2"	6'-1 1/2"	4'-6"	14 1/2"	3:1
30"	3 1/2"	12"	4'-6"	19 3/4"	6'-1 3/4"	5'-0"	15"	3:1
33"	3 3/4"	13 1/2"	4'-10 1/2"	39 3/4"	8'-1 3/4"	5'-6"	17 1/2"	3:1
36"	4"	15"	5'-3"	34 3/4"	8'-1 3/4"	6'-0"	20"	3:1
42"	4 1/2"	21"	5'-3"	35"	8'-2"	6'-6"	22"	3:1
48"	5"	24"	6'-0"	26"	8'-2"	7'-0"	22"	3:1
54"	5 1/2"	27"	5'-5"	35"	8'-4"	7'-6"	24"	2.4:1
60"	6"	35"	5'-0"	39"	8'-3"	8'-0"	*	2:1
66"	6 1/2"	30"	6'-0"	27"	8'-3"	8'-6"	*	2:1
72"	7"	36"	6'-6"	21"	8'-3"	9'-0"	*	2.26:1
78"	7 1/2"	36"	7'-6"	21"	9'-3"	9'-6"	*	2.12:1
84"	8"	36"	7'-6 1/2"	21"	9'-3 1/2"	10'-0"	*	1.94:1

* RADIUS AS FURNISHED BY MANUFACTURER

NOTES:

1. PRECAST CONCRETE FLARED END SECTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS III, WALL B REINFORCED CONCRETE PIPE.
2. LENGTHS OF PIPE WHICH TERMINATE WITH A FLARED END SECTION INCLUDE THE LENGTH OF THE FLARED END SECTION.

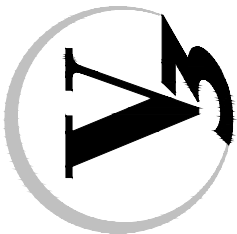
REVISIONS		DESCRIPTION	
		NO.	DATE
ORIGINAL ISSUE DATE: 10-24-2023			
PROJECT NO.: 17265.3F2 S04			
PROJECT MANAGER: RS			
DESIGNED BY: MR			
DRAWN BY: NRS			

CONSTRUCTION DETAILS

THREE FLOYDS TAPROOM

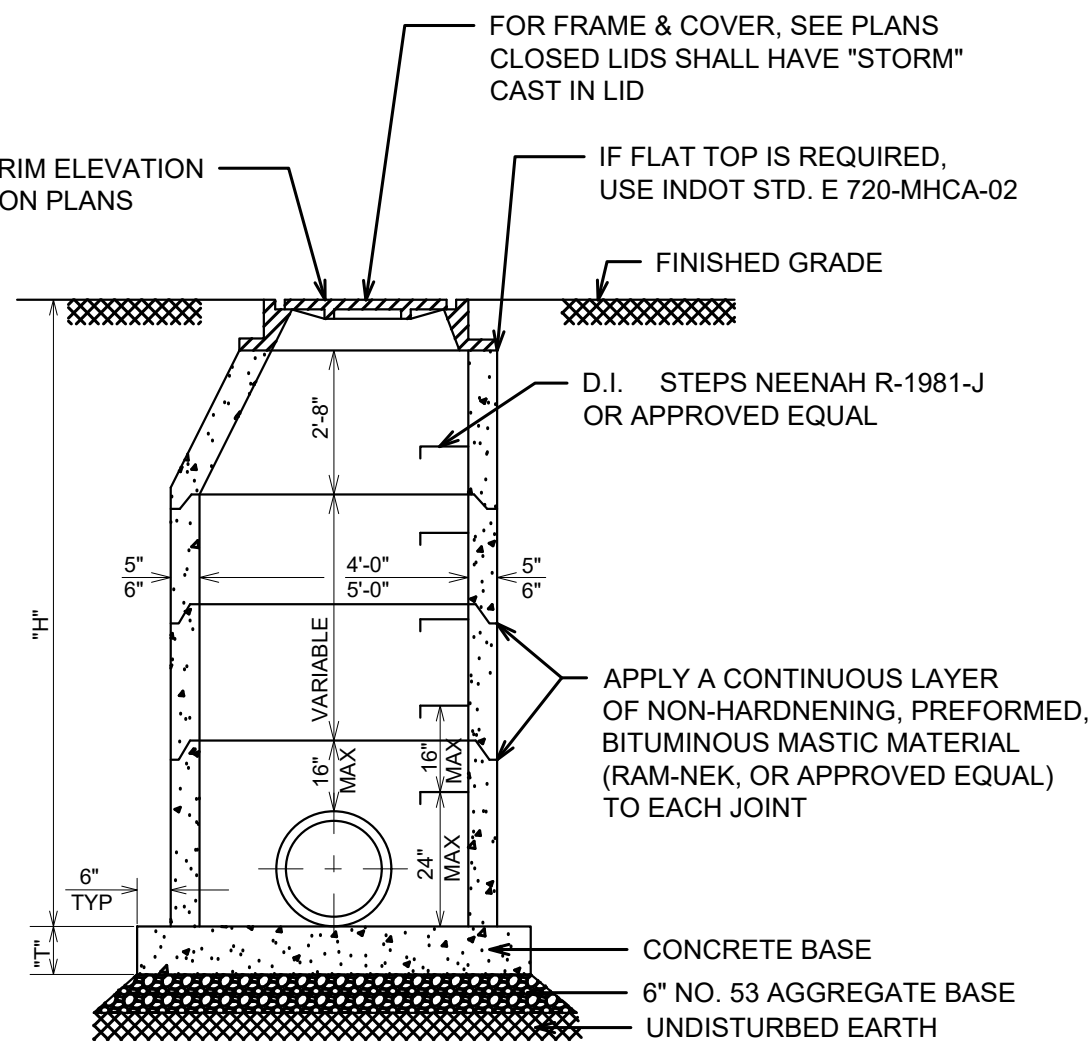
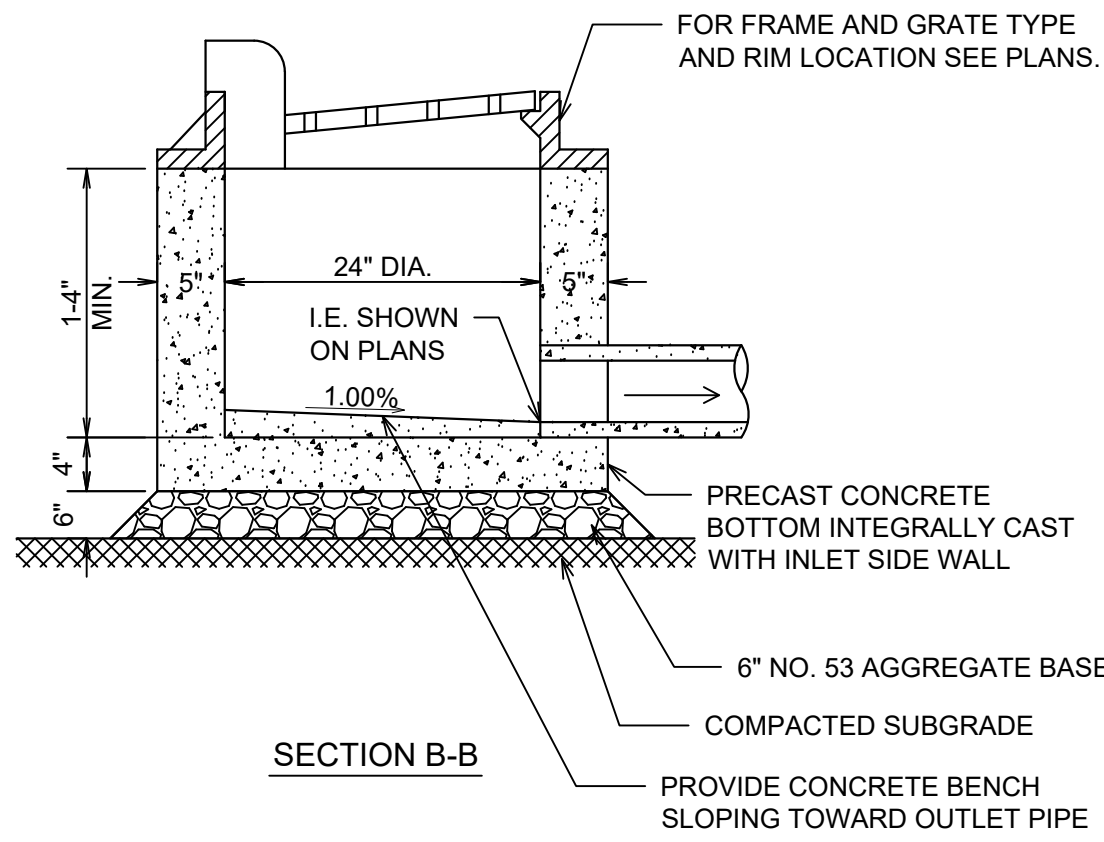
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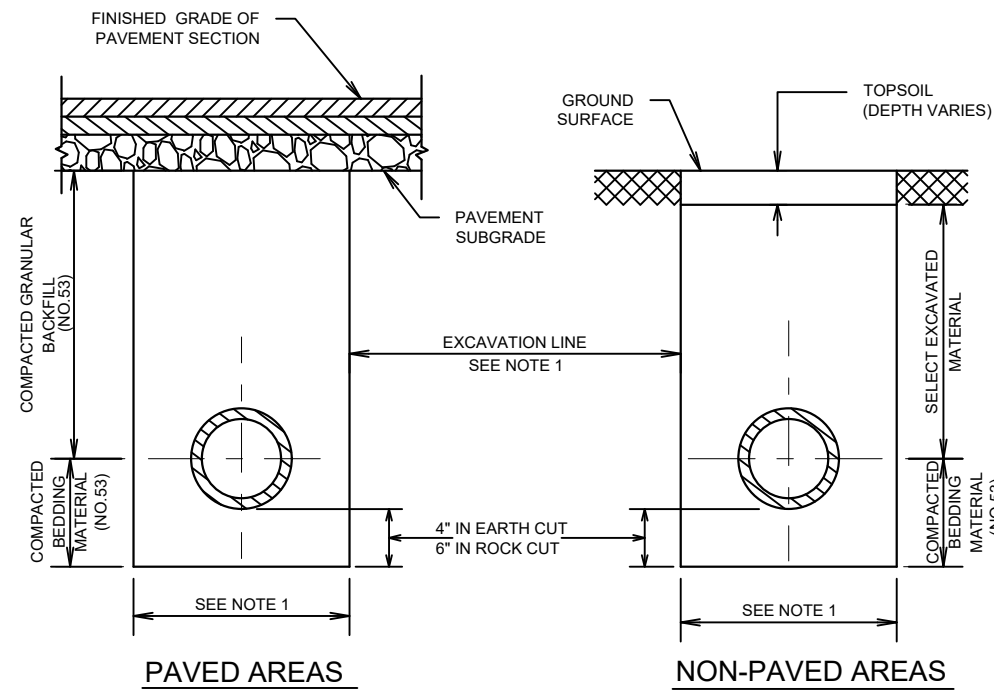
DRAWING NO.

C6.0



- NOTES:
1. WHEN "H" EQUALS 12 FT. OR LESS, "T" = 8" FOR "H" OVER 12 FT. "T" = 10"
 2. ADJUSTMENTS TO ELEVATION OF FRAME SHALL BE ACCOMPLISHED WITH PRECAST CONCRETE RINGS WITH A FULL MORTAR BED; MAXIMUM ADJUSTMENT - 12" USING A MAXIMUM OF 2 RINGS. NO MORE THAN ONE - 2" ADJUSTMENT RING SHALL BE USED.
 3. FOR COORDINATE LOCATION SEE NOTES FOR 2' DIA. INLET DETAIL - TYPE A
 4. THE FLAT SLAB TOP MAY BE USED IN LIEU OF THE TAPERED TOPS AT THE OPTION OF THE CONTRACTOR OR WHEN FIELD CONDITIONS PROHIBIT THE USE OF TAPERED TOPS.

ST04



- NOTES:
1. EXCAVATION LINE : PIPE SIZES UP TO AND INCLUDING 24", USE I.D. PLUS 20" PIPE SIZES OVER 24", USE O.D. PLUS 24"
 2. LIMITS OF TRENCH BACKFILL SHALL EXTEND 2' OUTSIDE ALL PAVED AREAS.

2' DIAMETER INLET

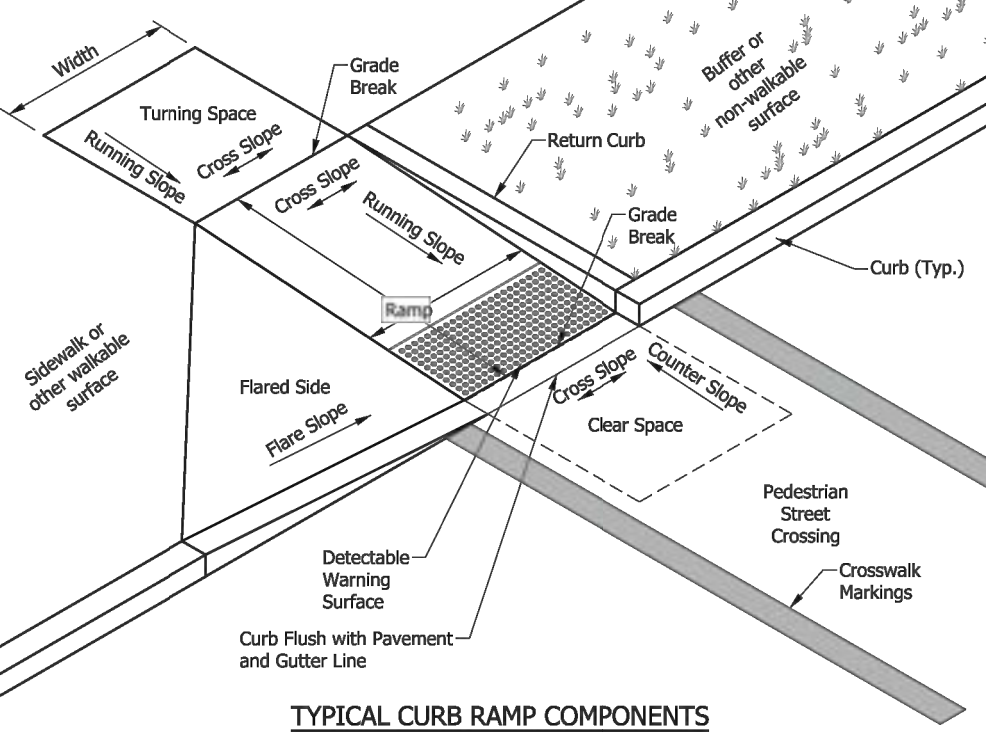
4' AND 5' DIA. STORM MANHOLE

TRENCH BACKFILL SECTIONS FOR STORM SEWER

SHEET NO.	SUBJECT
1	Curb Ramp Drawing Index and General Notes
2-3	Perpendicular Curb Ramp Typical Placement
4	Perpendicular Curb Ramp Component Details
5	One-Way-Directional Perpendicular Curb Ramp Typical Placement
6	One-Way-Directional Perpendicular Curb Ramp Component Details
7	Parallel Curb Ramps Typical Placement
8	Parallel Curb Ramps Component Details
9	Blended Transition Curb Ramp, Depressed Curb Ramp and Diagonal Curb Ramp Typical Placement
10	Blended Transition Curb Ramp Component Details
11	Header Cut Through and Median Perpendicular Curb Ramp Typical Placement
12-13	Detectable Warning Surface Placement and Configuration
14	Detectable Warning Surface Details

GENERAL NOTES:

1. All slopes are absolute rather than relative to the sidewalk or roadway grade. Slopes at least 0.50% less than the maximum are preferred.
2. Ramp or Blended Transition. A ramp or blended transition shall be used to lower or raise the sidewalk to connect with the street or highway.
3. Turning Space. A turning space shall be provided at the top of a perpendicular ramp, bottom of a parallel ramp, or where the pedestrian travel requires a change in direction. A common turning space may be shared by adjacent ramps. The turning space shall have a minimum clear dimension of 4 ft x 4 ft. Where the turning space is constrained at the back of the sidewalk by a curb, retaining wall, building, or feature over 2 inches in height, the minimum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope.
4. Flared Side. A flared side shall be used adjacent to a walkable surface. A flared side may be used adjacent to a non-walkable surface. A flared side shall have a maximum slope of 10.00% measured parallel to the back of the curb.
5. Return Curb. A return curb is placed perpendicular to the roadway curb. A return curb may be used adjacent to a non-walkable surface. A return curb shall not be used adjacent to a walkable surface. The return curb may be omitted where the non-walkable surface is flared and the curb adjacent the roadway is tapered to meet the flush curb at the bottom of the ramp.
6. Clear Space. A clear space shall be provided beyond the bottom grade break of a curb ramp wholly contained within the crosswalk and wholly outside the parallel vehicular travel path. The clear space shall have a minimum clear dimension of 4 ft x 4 ft.
7. Detectable Warning Surface. A detectable warning surface shall consist of truncated domes and be placed at each street, highway, or railroad crossing. The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and be placed the entire width of a ramp, blended transition, or turning space.
8. Running Slope. The running slope of a ramp, blended transition, or turning space shall be measured parallel to the direction of pedestrian travel.
 - a. A running slope of 2.00% or less is considered level.
 - b. A ramp shall have a maximum running slope of 8.33% but shall not require a ramp length to exceed 15 ft.
 - c. A blended transition shall have a maximum running slope of 5.00%.
 - d. A turning space shall have a maximum running slope of 2.00%.
9. Width. Unless otherwise noted, minimum width of a ramp, blended transition, or turning space, excluding flared sides or return curb, shall be 4 ft.
10. Grade Break. A grade break at the top and bottom of a ramp, blended transition, or turning space shall be perpendicular to the running slope. Grade breaks shall not be within the ramp, blended transition, turning space, or detectable warning surface. Grade breaks shall be flush. Vertical discontinuities shall not be greater than 1/2 in. Where a discontinuity is greater than 1/4 in, the surface shall be beveled with a slope not steeper than 1V:2H.
11. Cross Slope Exceptions. The cross slope of a ramp, blended transition, or turning space shall be measured perpendicular to the direction of pedestrian travel.
 - a. The maximum cross slope at a pedestrian street crossing without posted yield or stop control shall be 5.00%.
 - b. The maximum cross slope at a pedestrian street crossing with posted yield or stop control shall be 2.00%.
 - c. The maximum cross slope at a midblock crossing shall be the established grade of the adjacent roadway.
12. Counter Slope. A counter slope is the cross slope of the gutter or street adjacent the running slope of the ramp, blended transition, or turning space. See Standard Drawing E 604-SWCR-14 for counter slope details.
13. Objects such as a utility cover, vault frame, and grating shall be placed outside the curb ramp.
14. Curb ramps shall be placed within the marked crosswalk area.
15. Drainage inlets should be located uphill from a curb ramp to prevent ponding in the path of pedestrian travel.

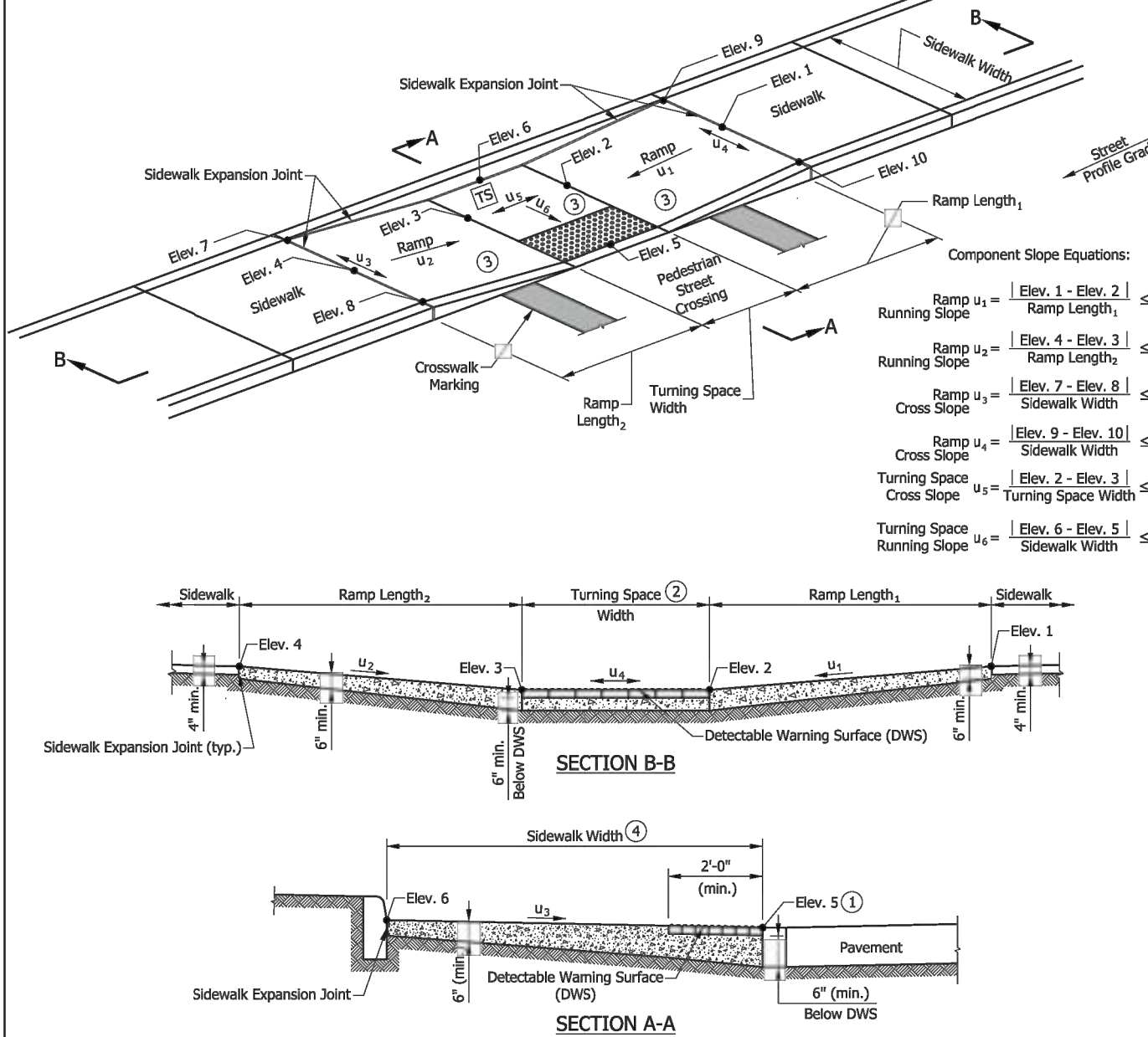


INDIANA DEPARTMENT OF TRANSPORTATION CURB RAMP DRAWING INDEX AND GENERAL NOTES

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-01

	/s/ Elizabeth W. Phillips	03/20/18
	DESIGN STANDARDS ENGINEER	DATE
	/s/ John Leckie	04/25/18
	CHIEF ENGINEER	DATE



NOTES:

1. The bottom edge of the turning space and top of curb shall be flush with the edge of adjacent pavement and gutter line.
2. The turning space shall have a minimum clear dimension of 4 ft x 4 ft and a running slope of 2.00% maximum. Where the turning space is constrained at the back of the sidewalk, the minimum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope.
3. Curb ramp surface shall be coarse broomed transverse to the running slope.
4. Where there is no buffer between the sidewalk and curb, the preferred minimum sidewalk width is 6 ft. Where a buffer is placed between the sidewalk and curb, the preferred minimum sidewalk width is 5 ft. See Standard Drawing Series E 604-SWCR for sidewalk details.
5. See Standard Drawing E 604-SWCR-01 for cross slope exceptions.
6. See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details.
7. See Standard Drawing E 604-CSU-01 for sidewalk expansion joint details.

LEGEND:

- Ramp
- ▨ Detectable Warning Surface
- TS Turning Space

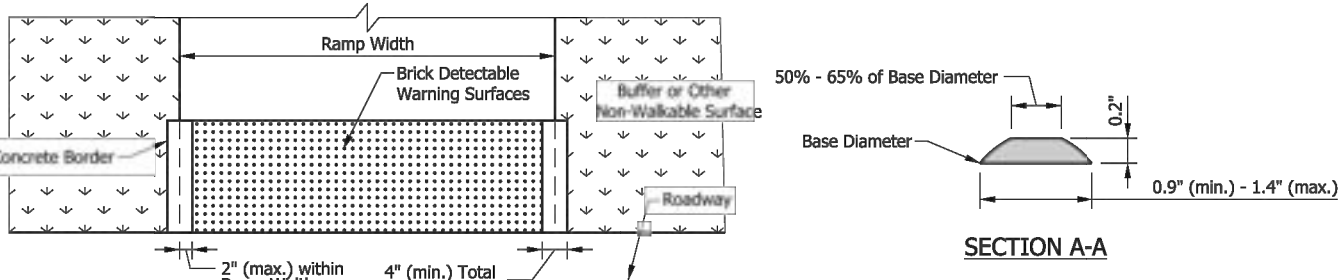
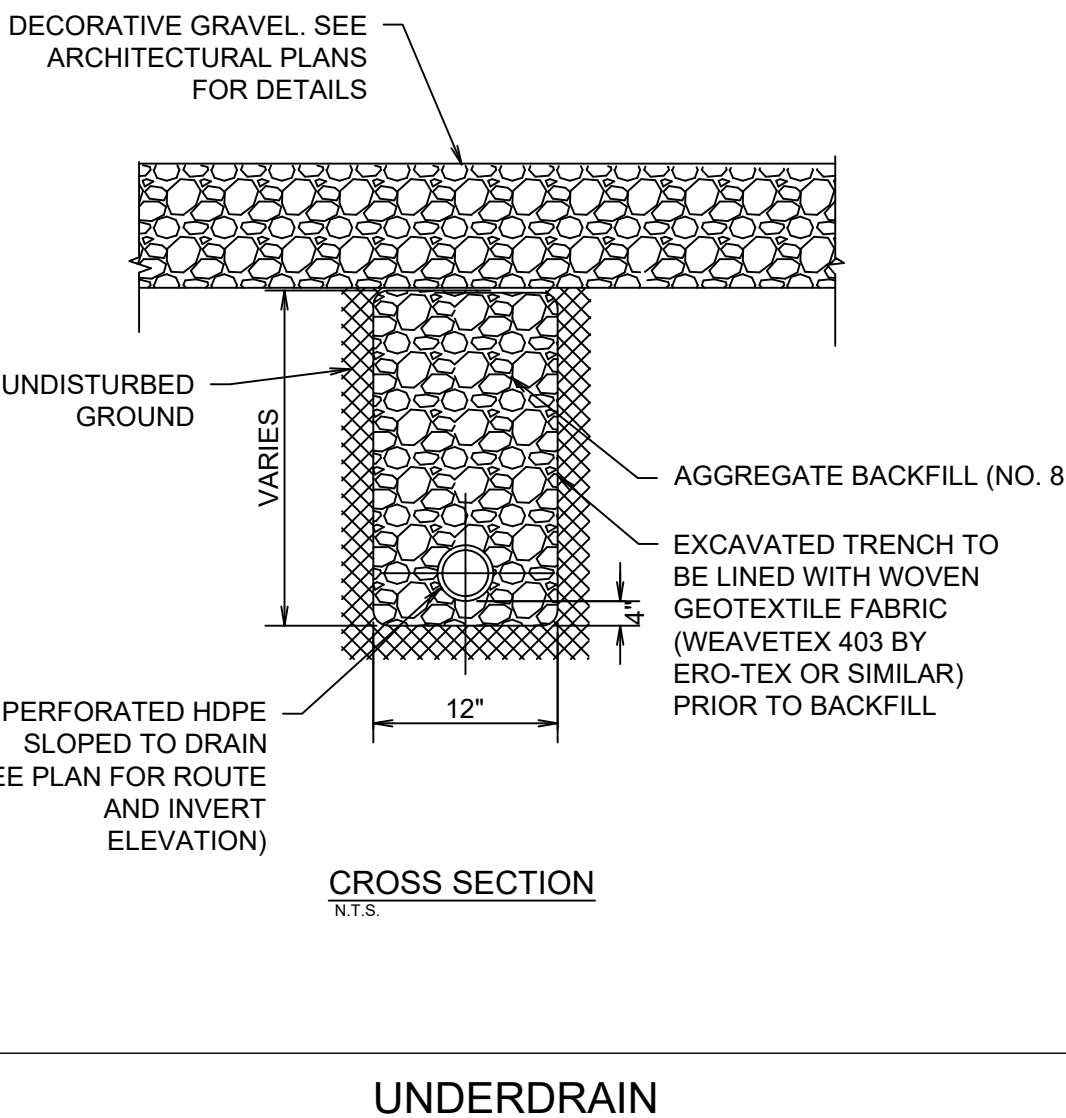
INDIANA DEPARTMENT OF TRANSPORTATION

PARALLEL CURB RAMP COMPONENT DETAILS

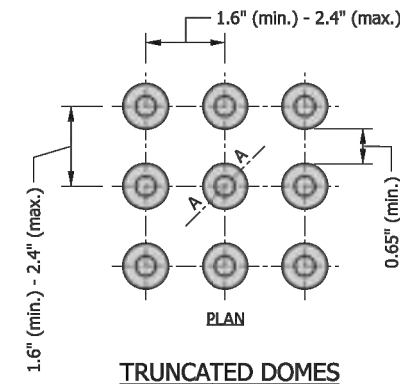
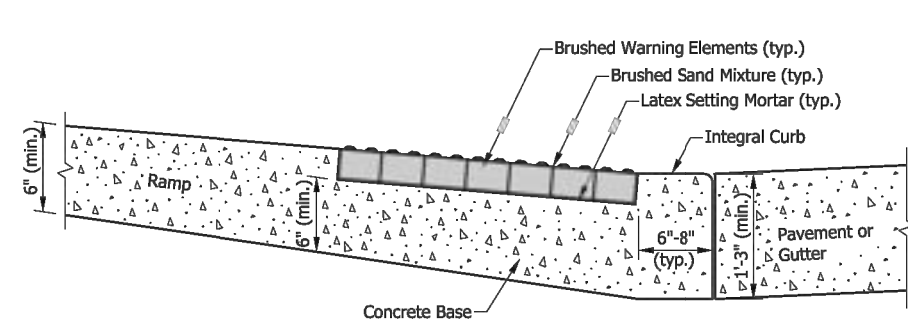
SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-08

	/s/ Elizabeth W. Phillips	03/29/18
	DESIGN STANDARDS ENGINEER	DATE
	/s/ John Leckie	04/25/18
	CHIEF ENGINEER	DATE



BRICK DETECTABLE WARNING SURFACE WITH CONCRETE BORDER ⑥ ⑦



NOTES:

1. Detectable warning surface shall consist of truncated domes. Domes shall be aligned in a square or radial grid pattern with diameter and center-to-center spacing within the ranges specified.
2. The detectable warning surface may be field cut. Truncated dome spacing between adjacent panels shall be within the ranges specified.
3. The detectable warning surface shall contrast visually with adjacent surfaces, either light-on-dark or dark-on-light.
4. The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break.
5. The maximum counter slope of the gutter or street at the bottom of the ramp shall be 5.00%. Where the algebraic difference between the running slope and the counter slope exceeds 11%, a 2-ft minimum level strip should be provided at the bottom of the ramp.
6. Where a concrete border is used for forming, the border shall be cast monolithically with the curb ramp concrete. The concrete border shall not reduce the ramp width by more than 2 in. on each side.
7. Where forming other than a concrete border is used, the edge restraint shall not encroach upon the ramp width.

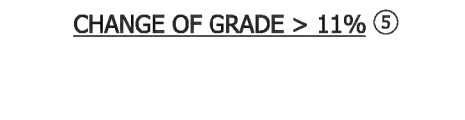
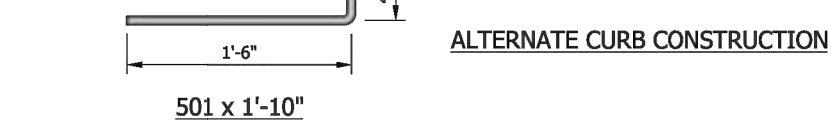
INDIANA DEPARTMENT OF TRANSPORTATION

DETECTABLE WARNING SURFACE DETAILS

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-14

	/s/ Elizabeth W. Phillips	03/29/18
	DESIGN STANDARDS ENGINEER	DATE
	/s/ John Leckie	04/25/18
	CHIEF ENGINEER	DATE



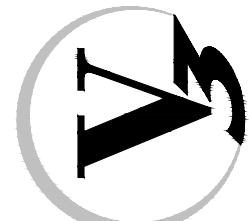
CONSTRUCTION DETAILS

THREE FLOYDS TAPROOM

9750 INDIANA PARKWAY

MUNSTER

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



DRAWING NO.

C6.1



2717 Sutton Blvd
St. Louis, Missouri 63143
888. 895. 2842

not for construction

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OWNER: FLOYDS CONCERN, LLC
ATTN: GARY MODROW
9750 INDIANA PARKWAY
MUNSTER, IN 46321
1-630-930-7228

GENERAL CONTRACTOR: HELIOS CONSTRUCTION
ATTN: ZACH BENCUR
2324 W. FULTON ST.
CHICAGO, IL 60612
1-219-384-9303

CIVIL ENGINEER : V3 COMPANIES
ATTN: RYAN SMYKOWSKI
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CHICAGO, IL 60654
1-630-651-9868

STRUCTURAL ENGINEER: ROCKEY STRUCTURES, LLC
ATTN: DAVID PARDO
751 S. CLARK ST., SUITE 200
CHICAGO, IL 60605
1-314-681-0372

MEPF ENGINEER: DESIGN-BUILD

DESIGN BUILD NOTE:
MEP & FIRE PROTECTION SCOPE TO BE DESIGN/BUILD. PROVIDED DRAWINGS THAT COVER ANY PORTION OF THESE DISCIPLINES ARE STRICTLY TO COMMUNICATE DESIGN INTENTION. GC TO COORDINATE BUILDING WALK-THROUGHS WITH OWNER AND ALL POTENTIAL MEPP CONTRACTORS IF MORE INFORMATION IS REQUIRED.

THE PLUMBING CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF CLAYTON; PLUMBING CONTRACTOR SHALL PROVIDE VERIFICATION THAT THE CURRENT SIZING AND PRESSURE OF THE WATER SERVICE WILL SUPPLY THE ADDITIONAL FIXTURE LOADING IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2015 IPC. THE PLUMBING CONTRACTOR SHALL PROVIDE AN ISOMETRIC SHOWING THE SIZE AND ROUTING OF THE WASTE, VENT AND SUPPLY PIPING THE INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 IPC.

THE MECH CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF CLAYTON; MECH CONTRACTOR SHALL PROVIDE A DRAWING SHOWING THE LOCATION OF DUCT RUNS, RETURN AIRS AND SUPPLIES WITH DUCT SIZES DETERMINED IN ACCORDANCE WITH ASHRAE. THE MECH CONTRACTOR MUST ALSO SHOW THE EQUIPMENT HAS BEEN PROPERLY SIZED. THE INSTALLATION SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2015 IMC AND ENERGY CONSERVATION REQUIREMENTS.

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

FLOYDS CONCERN, LLC

NUMBER	SHEET NAME	ISSUE DATE
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ARCHITECTURE	
A001	COVER
A103	ARCHITECTURAL SITE PLAN
A104	FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR SIGNAGE
A901	RENDERINGS
A902	RENDERINGS
A903	RENDERINGS
A904	RENDERINGS

ELECTRICAL	
E101	PHOTOMETRIC SITE PLAN
E102	SITE LIGHTING SPECS

LANDSCAPE	
L100	LANDSCAPE NOTES & DETAILS
L101	LANDSCAPE PLAN - OVERALL
L102	LANDSCAPE PLAN - ENLARGED



Applicable Building Codes:

2014 INDIANA BUILDING CODE (2012 IBC + 2009 ANSI A117.1 + AMENDMENTS)
2012 INDIANA PLUMBING CODE (2006 IPC 2ND ED. + AMENDMENTS)
2009 INDIANA ELECTRICAL CODE (2008 NEC + AMENDMENTS)
2014 INDIANA MECHANICAL CODE (2012 IMC + AMENDMENTS)
2010 INDIANA ENERGY CONSERVATION CODE (ASHRAE 90.1 2007 + AMENDMENTS)
2014 INDIANA FIRE PREVENTION CODE (2012 IFC + AMENDMENTS)

Construction Type:

EXISTING: THREE-STORY STRUCTURAL STEEL (TYPE IIB)
NEW ADDITION: SINGLE-STORY STRUCTURAL STEEL (TYPE IIB)
FULLY SPRINKLERED

Occupancy:

NO CHANGE OF USE: MIXED OCCUPANCY, SEPARATED
WORK AREA: A-2, ASSEMBLY (BREW PUB)
ADDITIONAL EXISTING OCCUPANCIES NOT IN WORK AREA:
F-2, FACTORY (BREWERY)
H-3, HIGH HAZARD (DISTILLERY)
S-1, MODERATE HAZARD STORAGE (BARREL HOUSE)

Project Area:

EXIST. OCCUPIABLE AREA - APPROX. 70,202 SF (56,432 SF 1ST FLR
4,238 SF 2ND FLR, 4,329 SF 3RD FLR, & 2,206 SF MEZZANINES)
PROPOSED NEW AREA - 2,538 SF BUILDING ADDITION W/ 3,954 SF
COVERED OUTDOOR SPACE
TOTAL BUILDING AREA, PROPOSED + EXISTING - 72,740SF

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[illegible]

PROJECT NUMBER:

23002

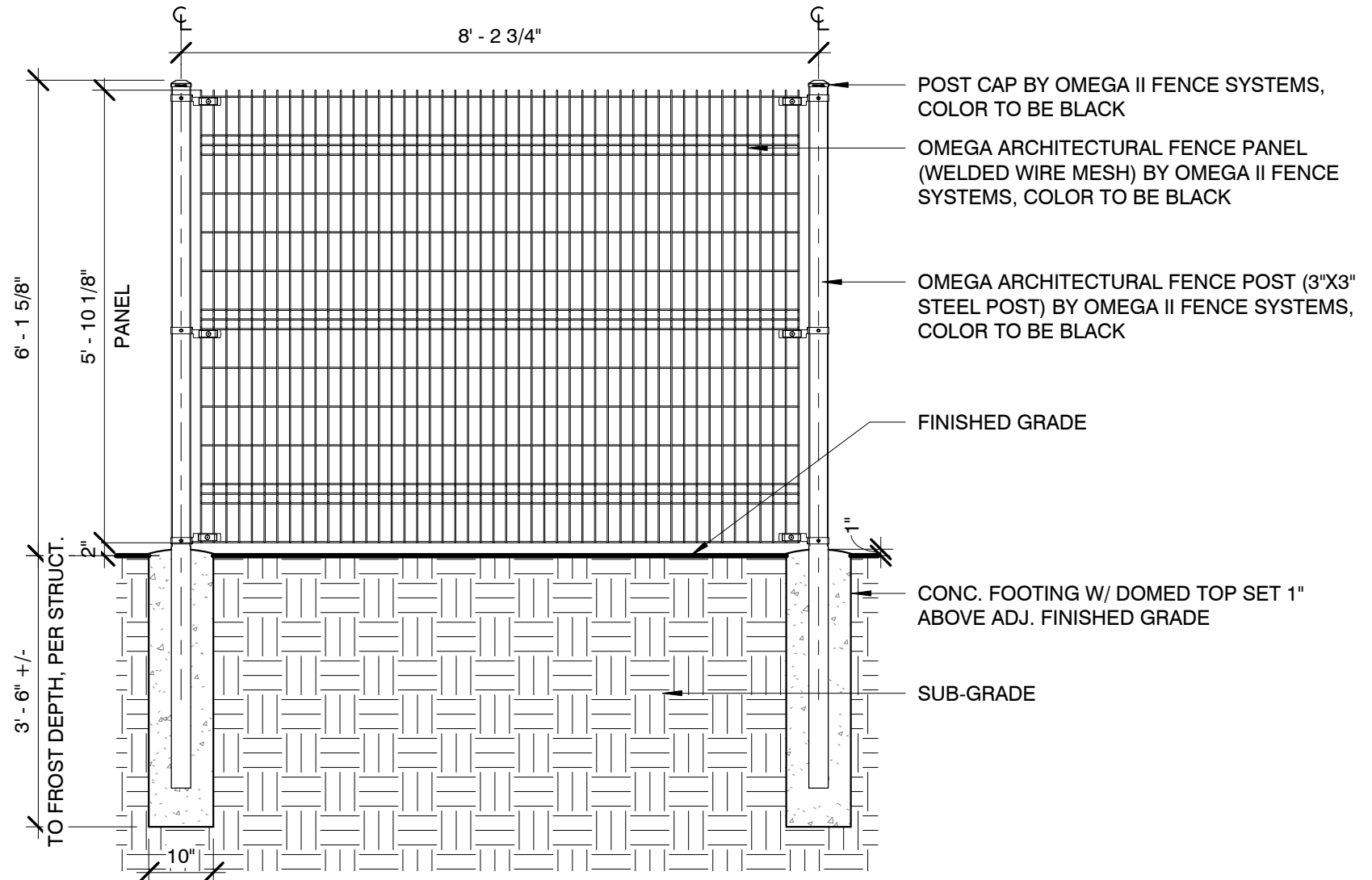
ISSUE DATE:



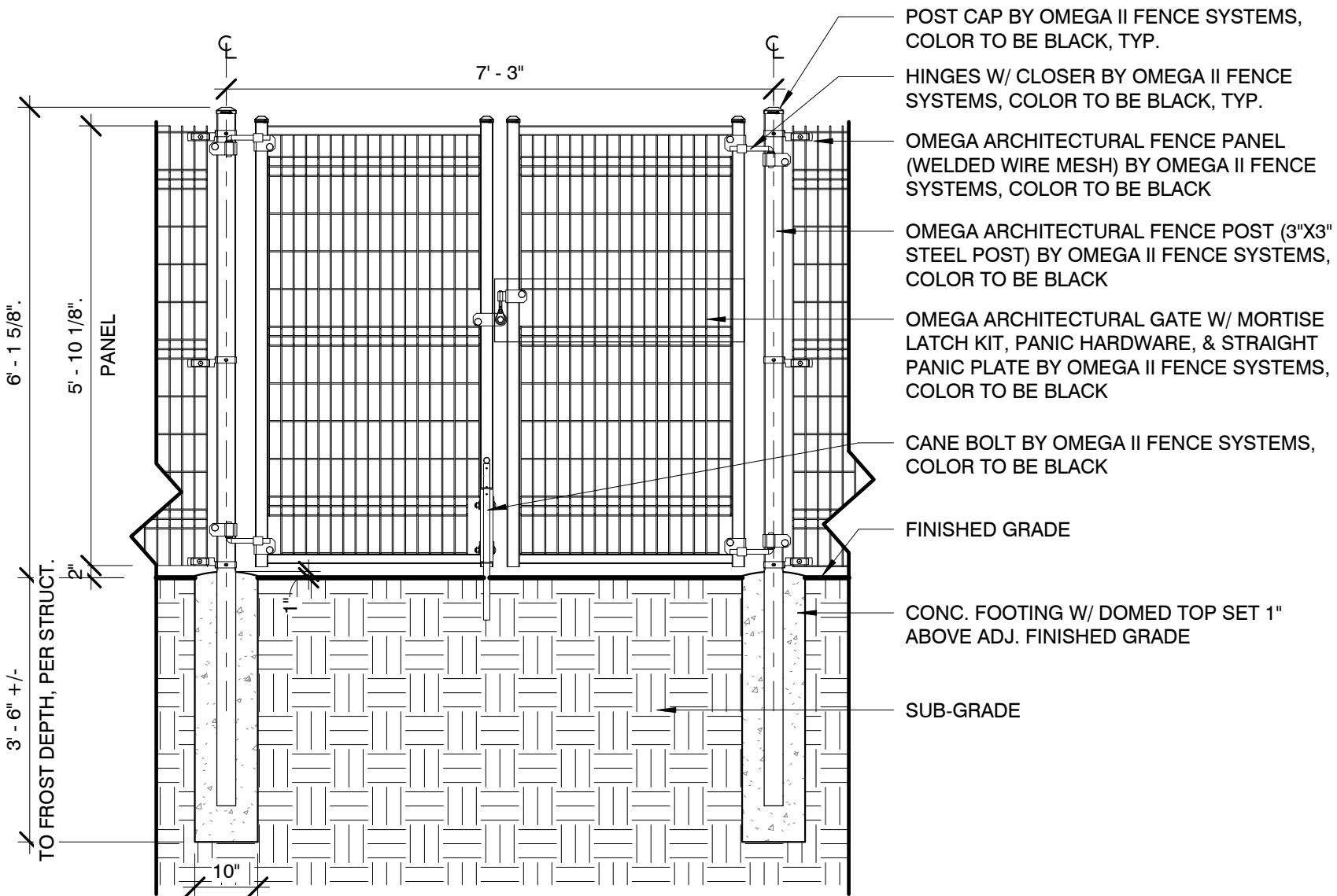
ORNAMENTAL FENCE REFERENCE PHOTOS



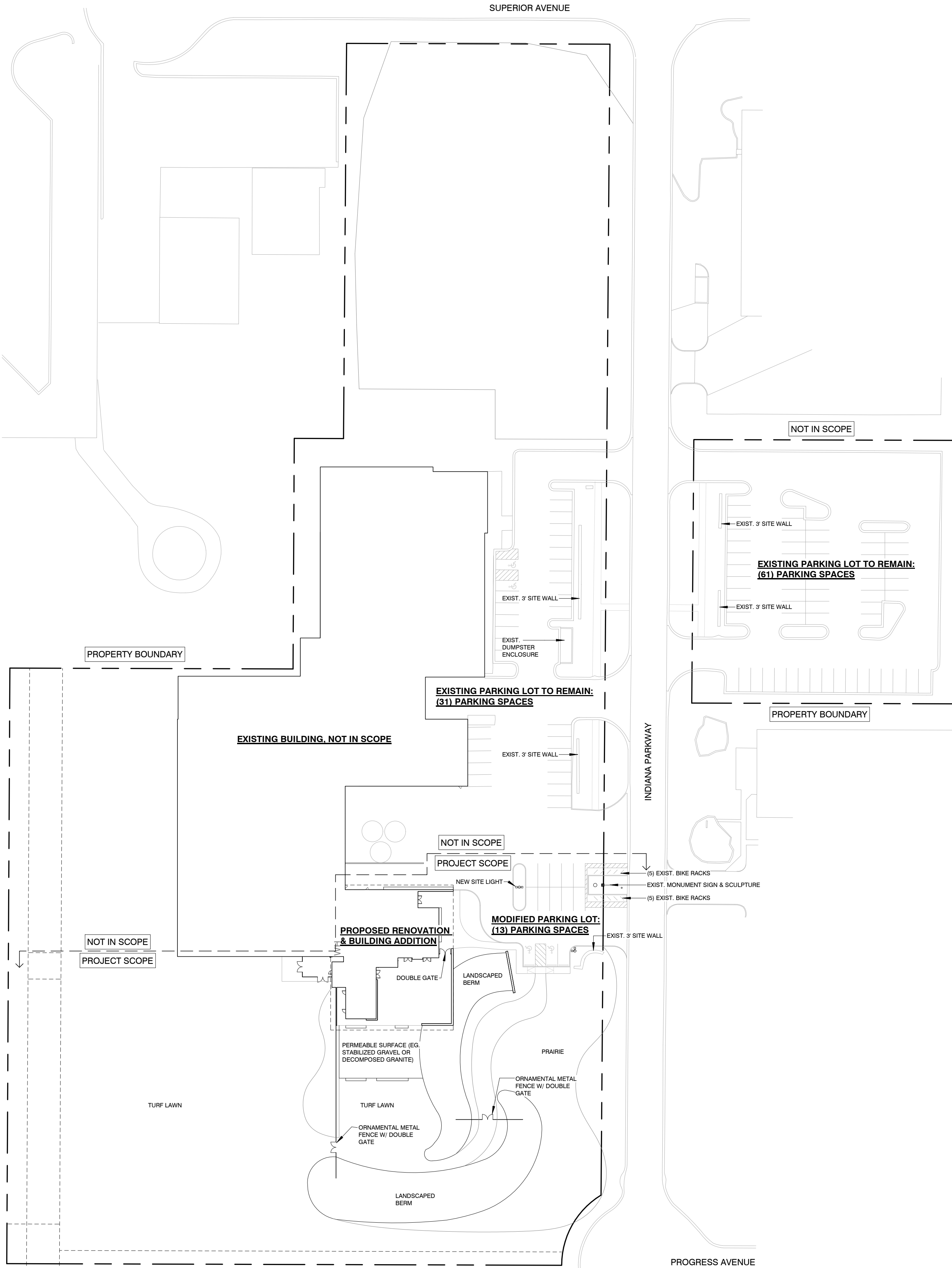
ORNAMENTAL DOUBLE GATE REFERENCE PHOTO



3 ORNAMENTAL METAL FENCE ELEVATION
A103 1/2" = 1'-0"



2 ORNAMENTAL METAL DOUBLE GATE ELEVATION
A103 1/2" = 1'-0"



1 ARCHITECTURAL SITE PLAN
A103 1" = 50'-0" **NOTE: REFER TO CIVIL DRAWINGS FOR PARKING CALCULATIONS & REFER TO LANDSCAPE DRAWINGS FOR PLANTING CALCULATIONS.**

General Contractor: **HELIOS CONSTRUCTION**
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Civil Engineer: **V3 COMPANIES**
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Structural Engineer: **ROCKEY STRUCTURES, LLC**
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1-314-681-0372

Electrical Engineer: **DESIGN-BUILD**

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INDIANA # AR12100250

3 FLOYDS TAPROOM

RENOVATION & EXPANSION

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date

Sheet Title:

ARCHITECTURAL SITE PLAN

Project Number: 23002
Drawn By: **A103**
TM
Issue Date:

10/24/2023 3:53:29 PM

Autodesk Docs://3 Floyds Brewing/23002_3 Floyds Brewing_Expansion_230919.rvt

KEYNOTE LEGEND

V

THREE STUDIOS LLC

2717 Sutton Boulevard
St. Louis, Missouri 63143
888. 895. 2842

General Contractor: HELIOS CONSTRUCTION
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3 FLOYDS TAPROOM

RENOVATION & EXPANSION

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date
	DEVELOPMENT PLAN	10/24/2023
	REVIEW	

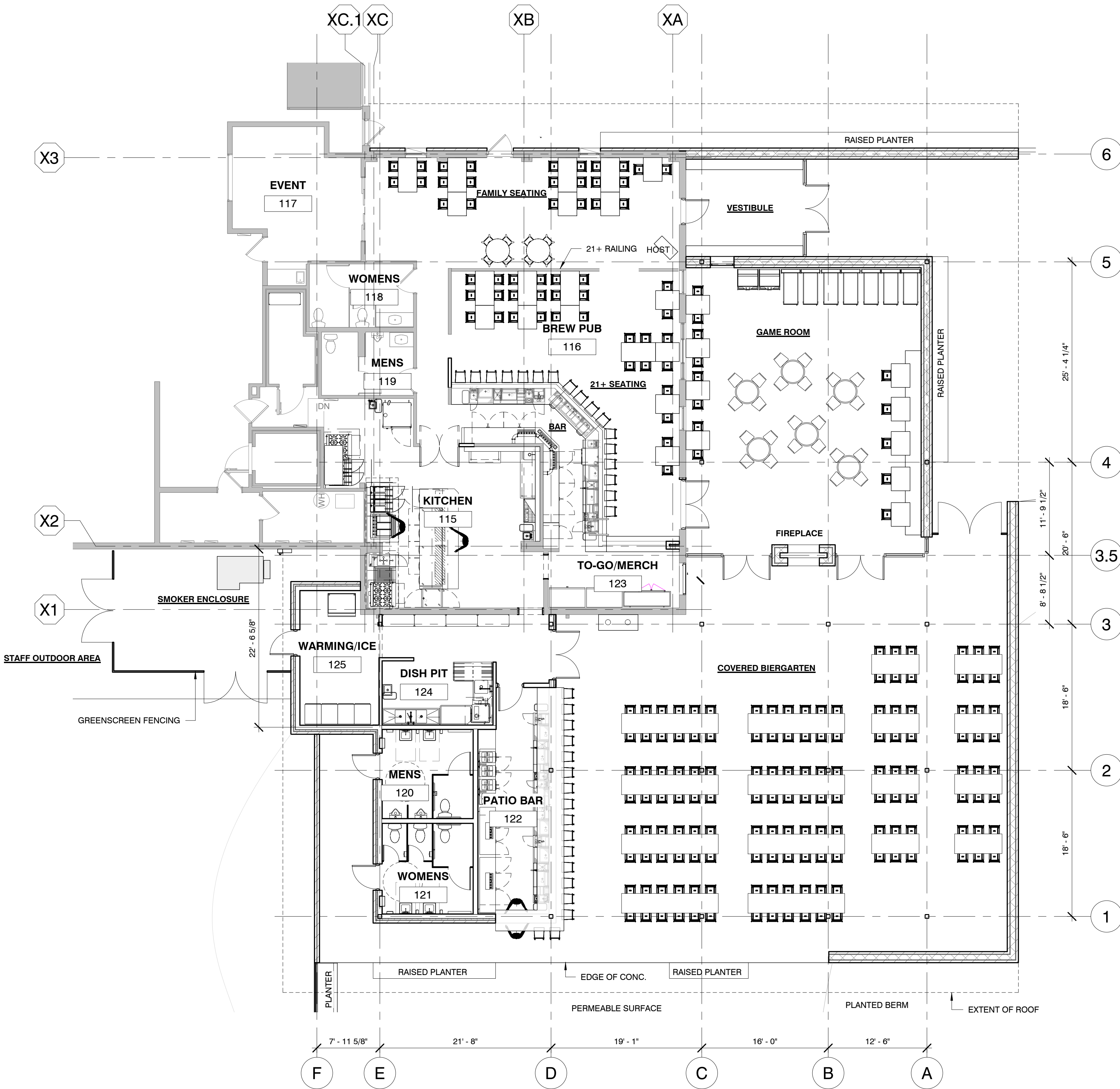
Sheet Title:

FLOOR PLAN

Project Number: 23002
Drawn By: XX
Issue Date:

Sheet Number:

A104

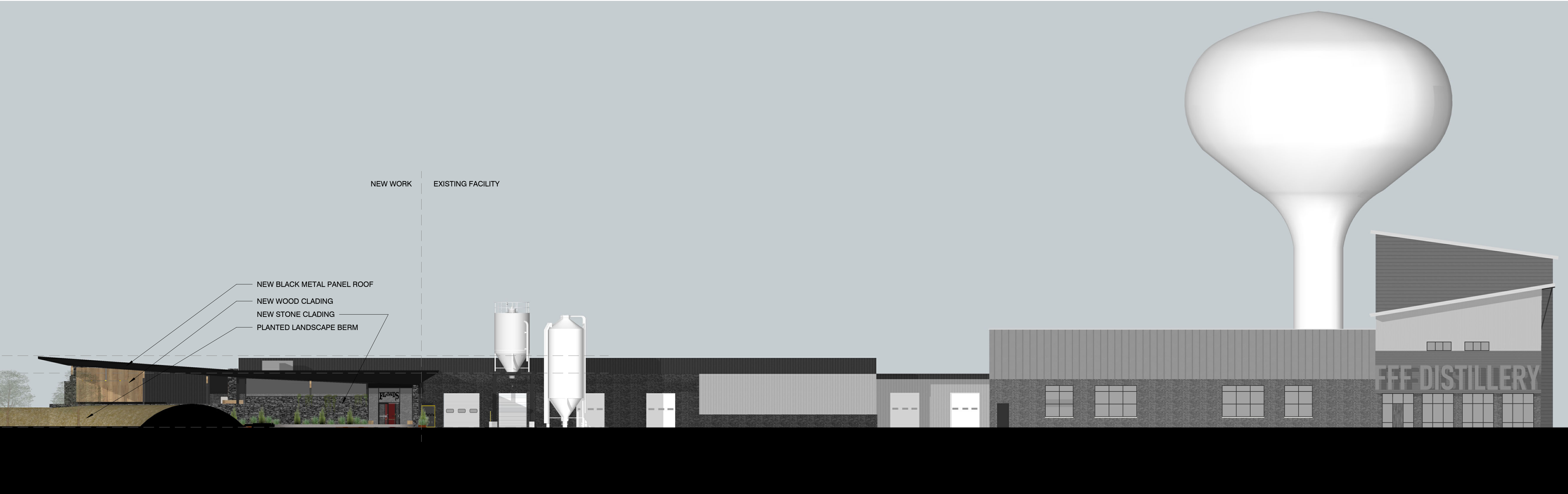
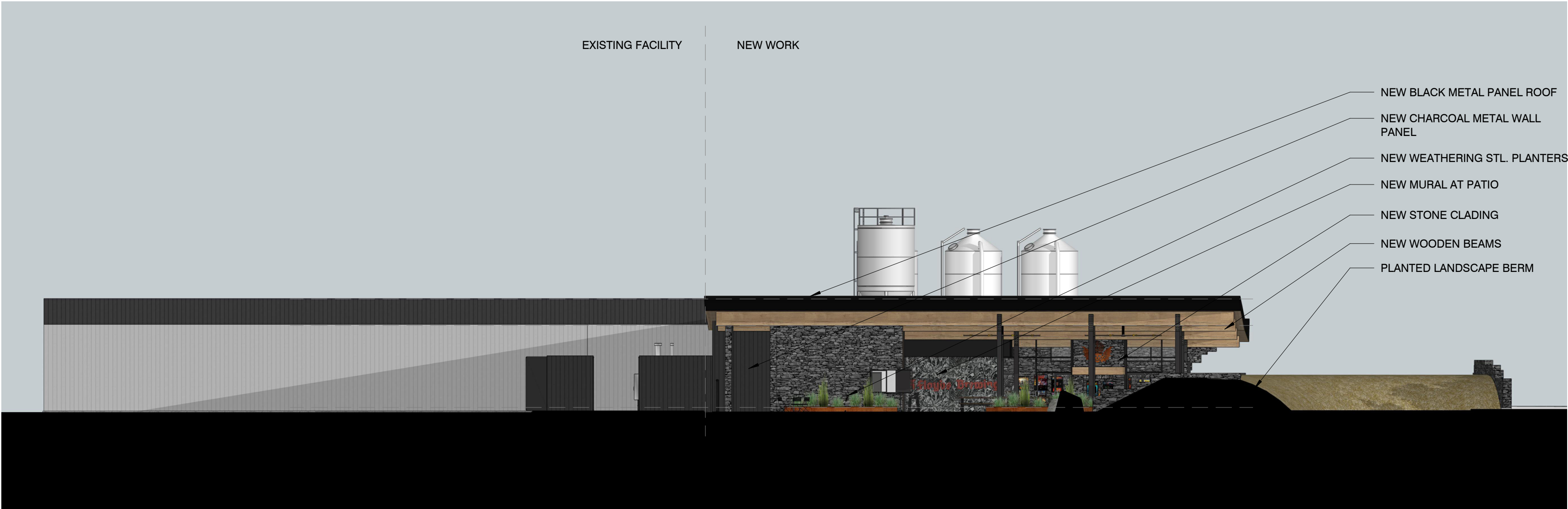


1 FLOOR PLAN - NEW
A104 1/8" = 1'-0"

10/24/2023 3:53:30 PM

Autodesk Docs://3 Floyds Brewing Expansion_23002_3 Floyds Brewing Expansion_23002_3.rvt

KEYNOTE LEGEND



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RENOVATION & EXPANSION
9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date
	DEVELOPMENT PLAN	10/24/2023
	REVIEW	

Sheet Title:

EXTERIOR ELEVATIONS

Project Number: 23002
Drawn By: GM
Issue Date:

Sheet Number: **A201**

General Contractor:

HELIOS CONSTRUCTION
ATTN: ZACH BENCUR
2324 W. FULTON ST.
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1-219-384-9303

Civil Engineer:

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Structural Engineer:

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Electrical Engineer:

DESIGN-BUILD

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RENOVATION & EXPANSION

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date

Sheet Title:

EXTERIOR SIGNAGE

Project Number: 23002

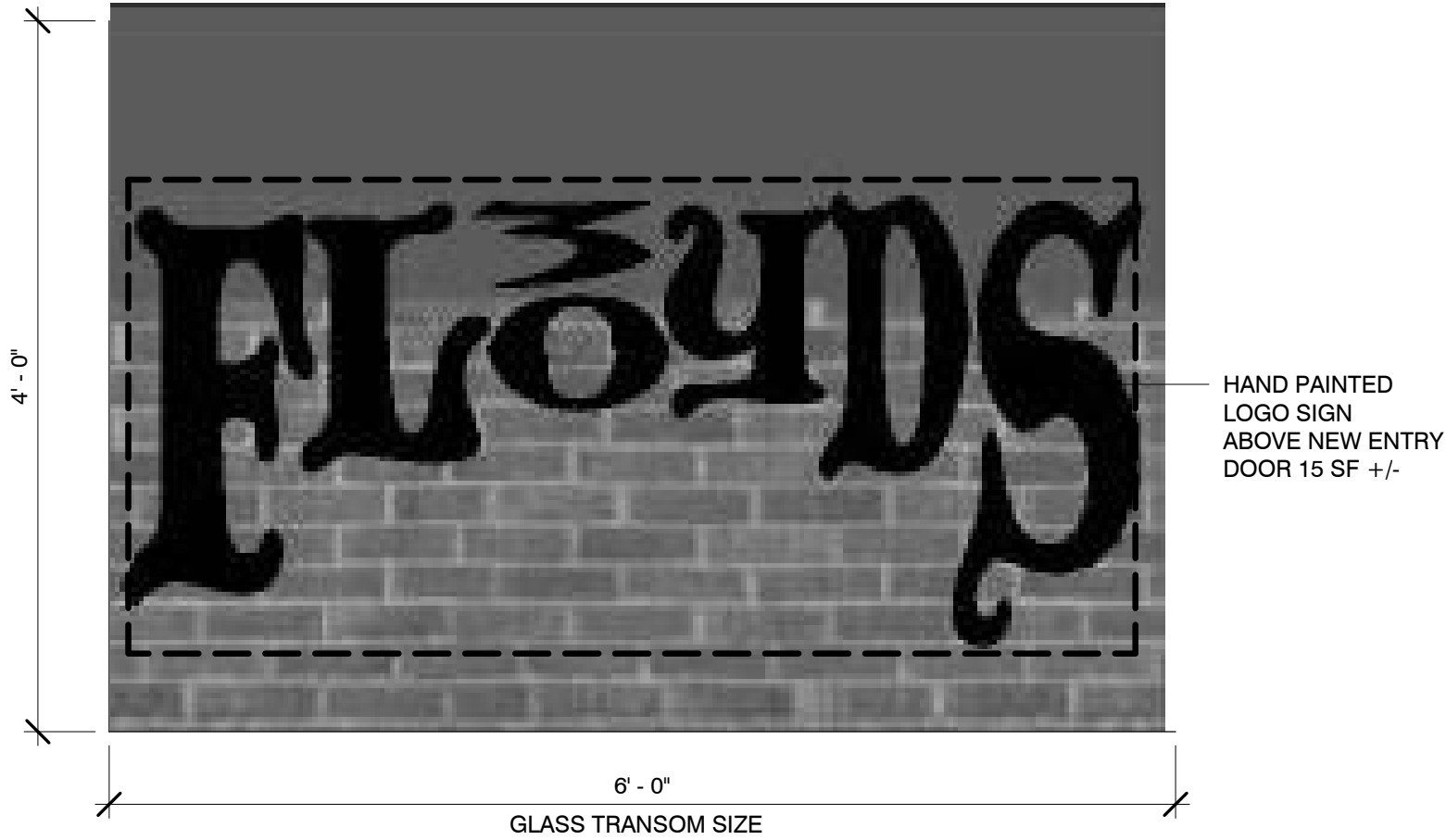
Sheet Number:

Drawn By:

Author

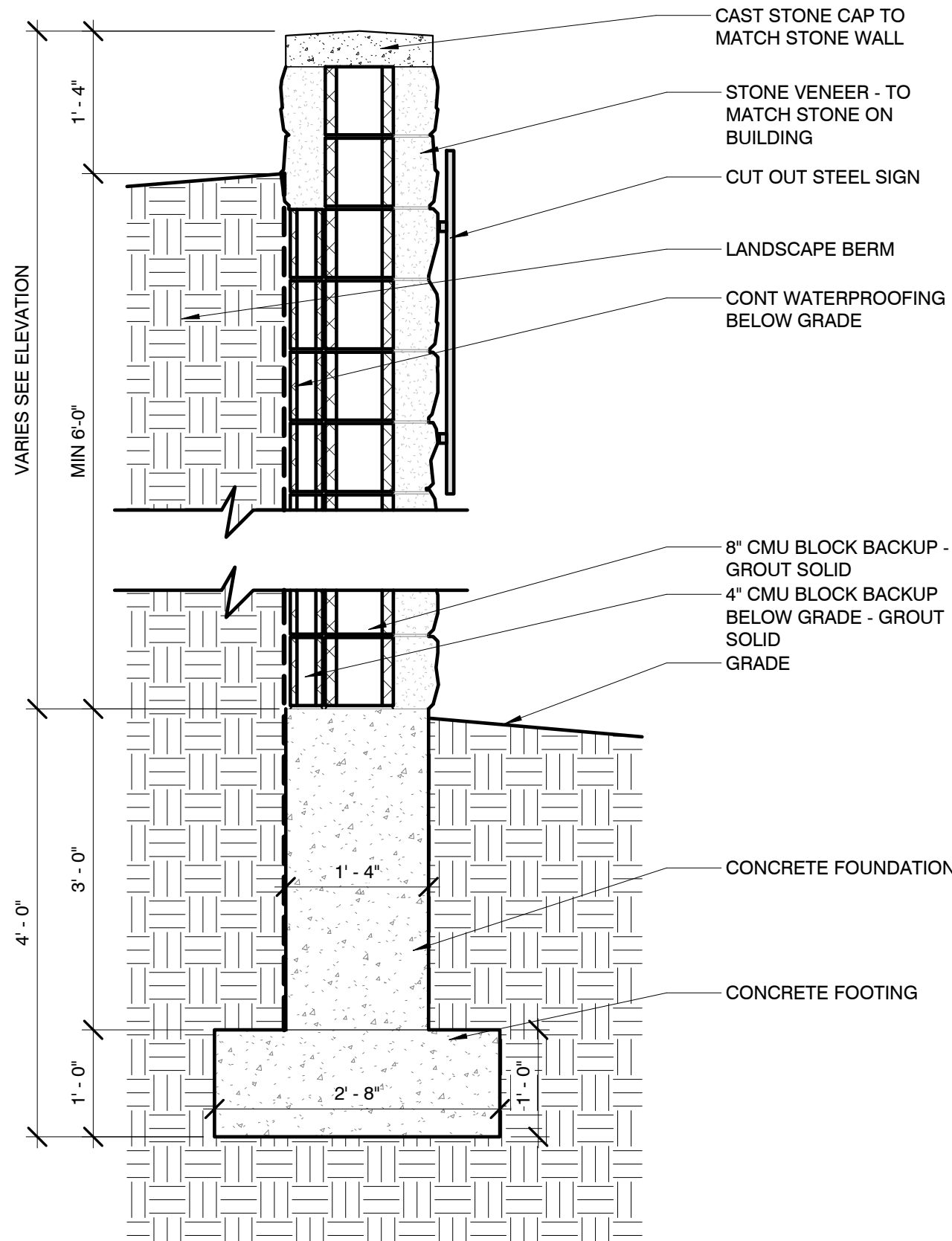
Issue Date:

A202



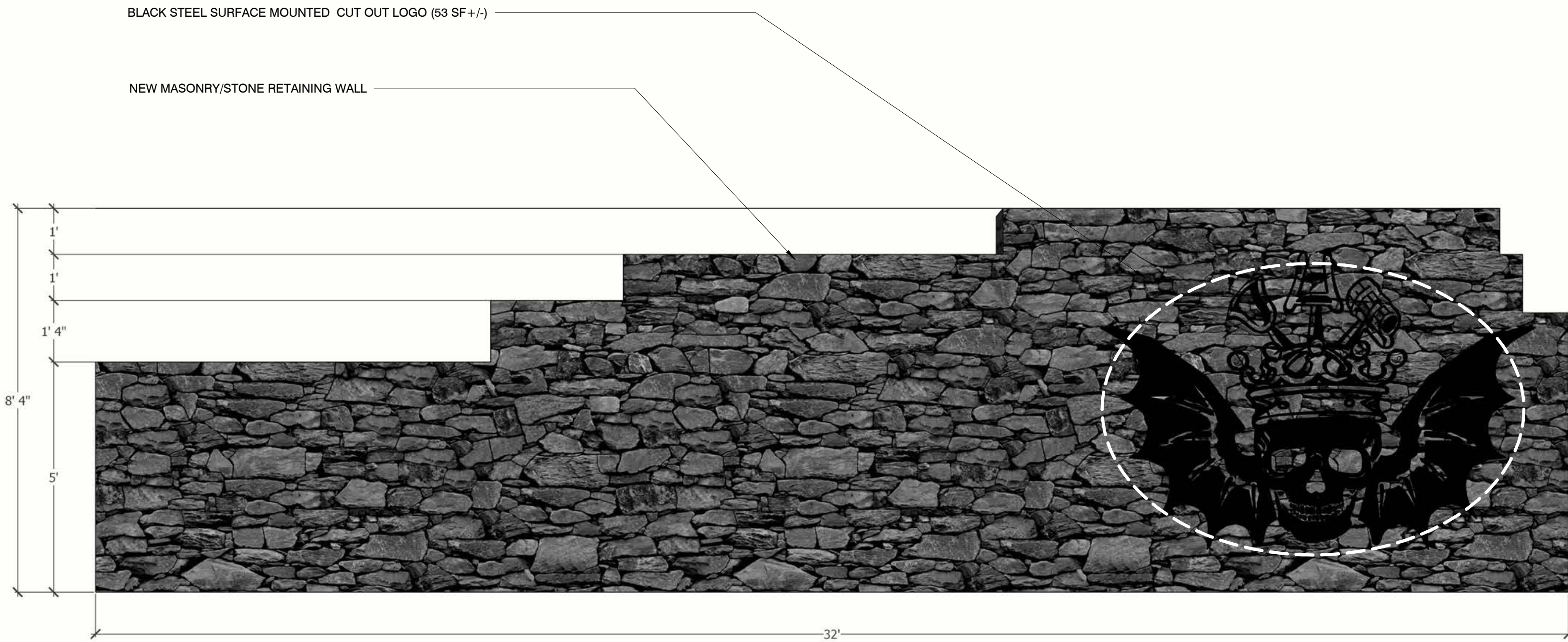
3 ENTRY SIGNAGE

A202 1" = 1'-0"



2 DETAIL - RETAINING/ SIGNAGE WALL SECTION

A202 3/4" = 1'-0"



1 SIGNAGE ELEVATION

A202 1/2" = 1'-0"



NOTE:
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OVER 3D IMAGERY. REFER TO INT ELEV & PLANS.

General Contractor: **HELIOS CONSTRUCTION**
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3 FLOYDS TAPROOM

RENOVATION & EXPANSION

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date
	DEVELOPMENT PLAN	10/24/2023
	REVIEW	

Sheet Title:

RENDERINGS

Project Number: 23002
Sheet Number: **A901**

Drawn By: _____
TM
Issue Date: _____



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General Contractor: HELIOS CONSTRUCTION
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2324 W. FULTON ST.
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INDIANA # AR12100250

3 FLOYDS TAPROOM

RENOVATION & EXPANSION

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date

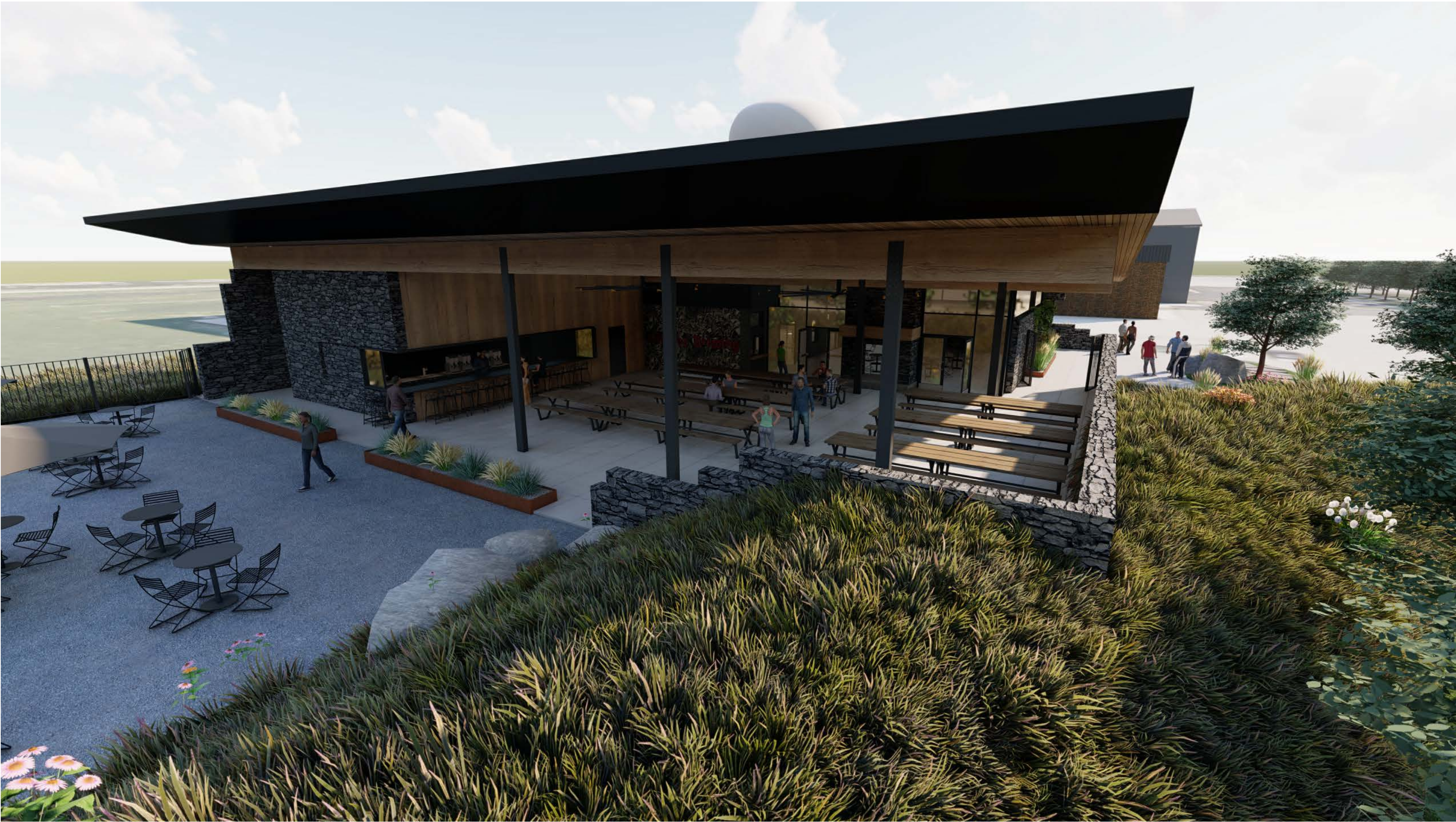
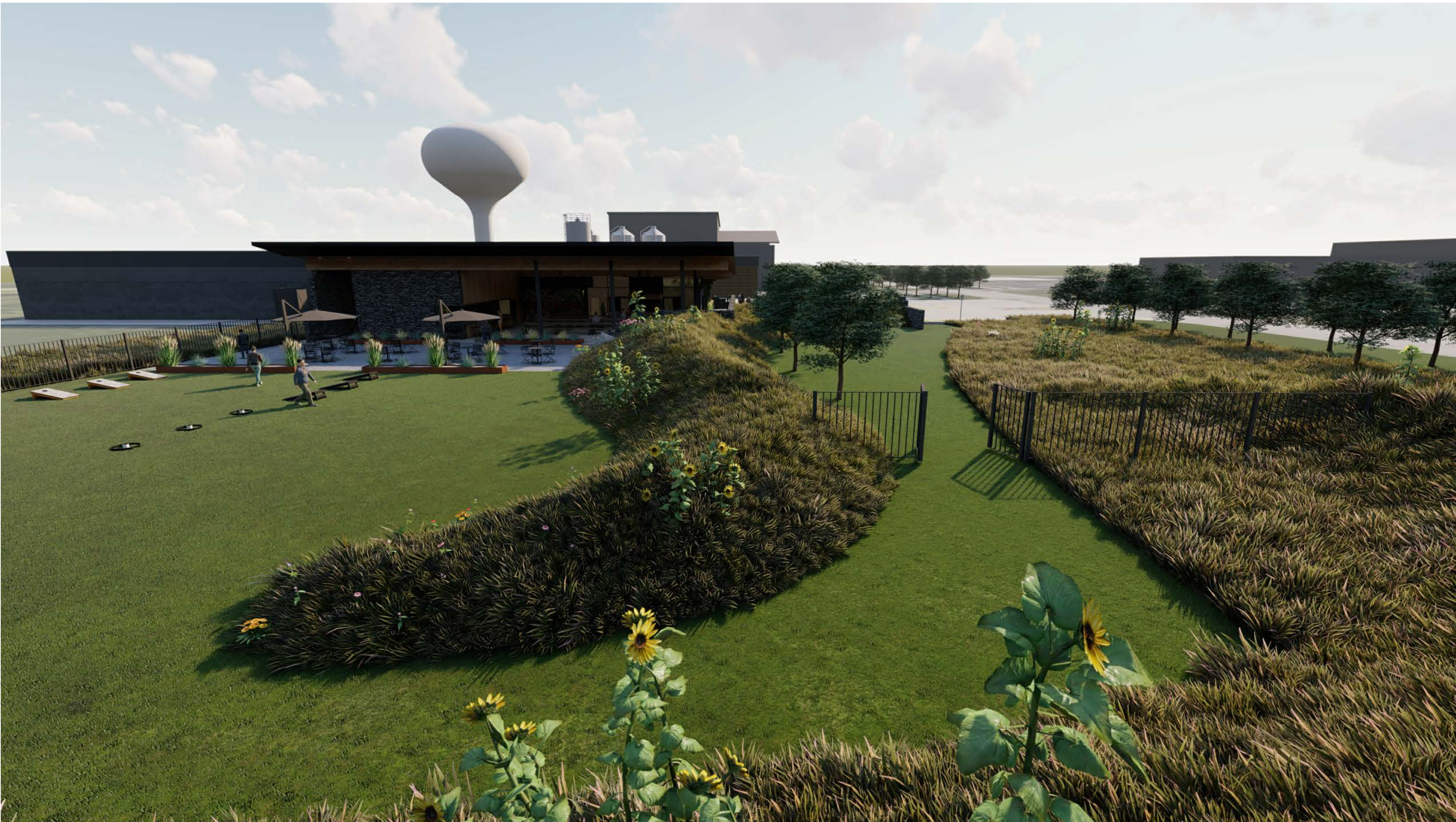
Sheet Title:

RENDERINGS

Project Number: 23002
Drawn By:
TM
Issue Date:

Sheet Number:
A902

NOTE:
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OVER 3D IMAGERY. REFER TO INT ELEV & PLANS.



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2717 Sutton Boulevard
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Electrical Engineer: **DESIGN-BUILD**

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not for construction

INDIANA # AR12100250

3 FLOYDS TAPROOM

RENOVATION & EXPANSION
9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date

Sheet Title:

RENDERINGS

Project Number: 23002
Drawn By: **A903**
Issue Date:

NOTE:
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CONSTRUCTION DOCUMENTS ARE TO TAKE PRECEDENT
OVER 3D IMAGERY. REFER TO INT ELEV & PLANS.



General Contractor: **HELIOS CONSTRUCTION**
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1-219-384-9303

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Electrical Engineer: **DESIGN-BUILD**

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3 FLOYDS TAPROOM

RENOVATION & EXPANSION

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date

Sheet Title:

RENDERINGS

Project Number: 230002
Drawn By: **A904**
Issue Date:

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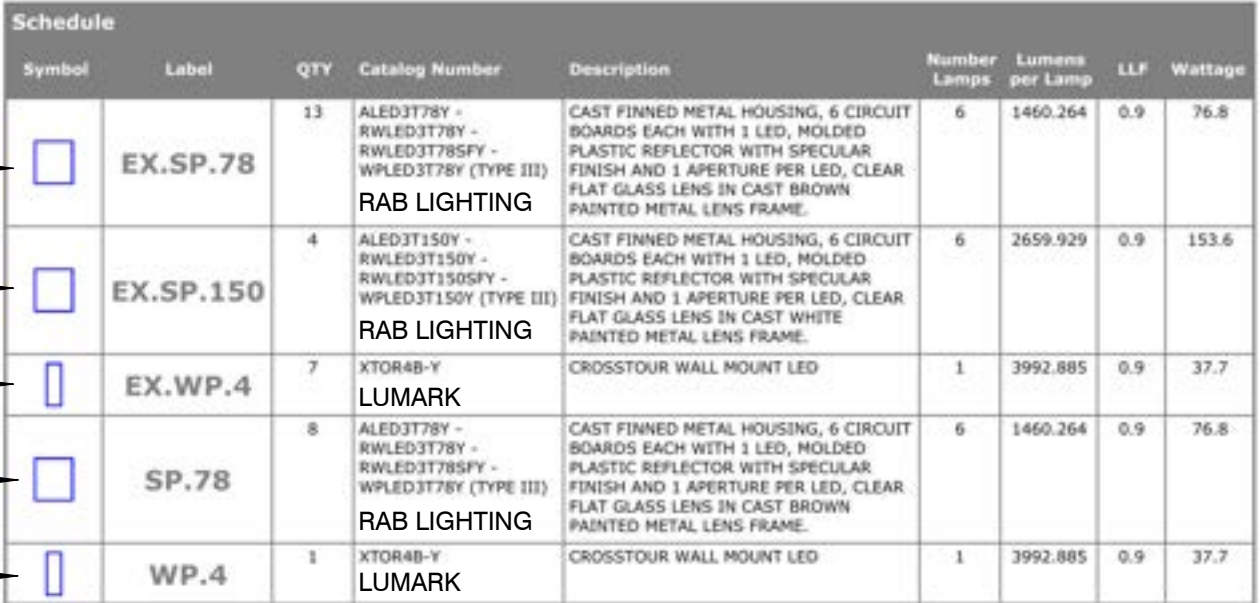
INDIANA # AR12100250

9750 INDIANA PARKWAY,
MUNSTER, IN 46321

Sheet Title:

Project Number: _____ Sheet Number: _____

E101



Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Biergarten - East Egg	✕	1.2 f	2.6 f	0.4 f	6.5 i	3.0 i	
Biergarten - West Egg	✕	2.0 f	3.0 f	0.6 f	5.0 i	3.3 i	
Brewpub Entry	✕	1.3 f	3.2 f	0.4 f	8.0 i	3.3 i	
Central Landing Dock	✕	2.5 f	4.5 f	1.1 f	4.1 i	2.3 i	
Central Parking Stalls	✕	2.0 f	4.5 f	1.2 f	3.8 i	1.7 i	
East Parking Lot	✕	1.6 f	5.2 f	0.2 f	26.0 i	8.0 i	
North Building Sidewalk	✕	3.8 f	8.6 f	1.2 f	7.1 i	3.2 i	
North Building Parking Lot	✕	0.6 f	5.5 f	0.1 f	3.1 i	3.8 i	
South Landing Dock	✕	1.9 f	5.0 f	0.7 f	7.1 i	2.7 i	
South Parking Lot	✕	2.4 f	5.3 f	0.4 f	13.3 i	6.0 i	

LANDSCAPE: PLANTING SOIL PREPARATION SPECIFICATIONS

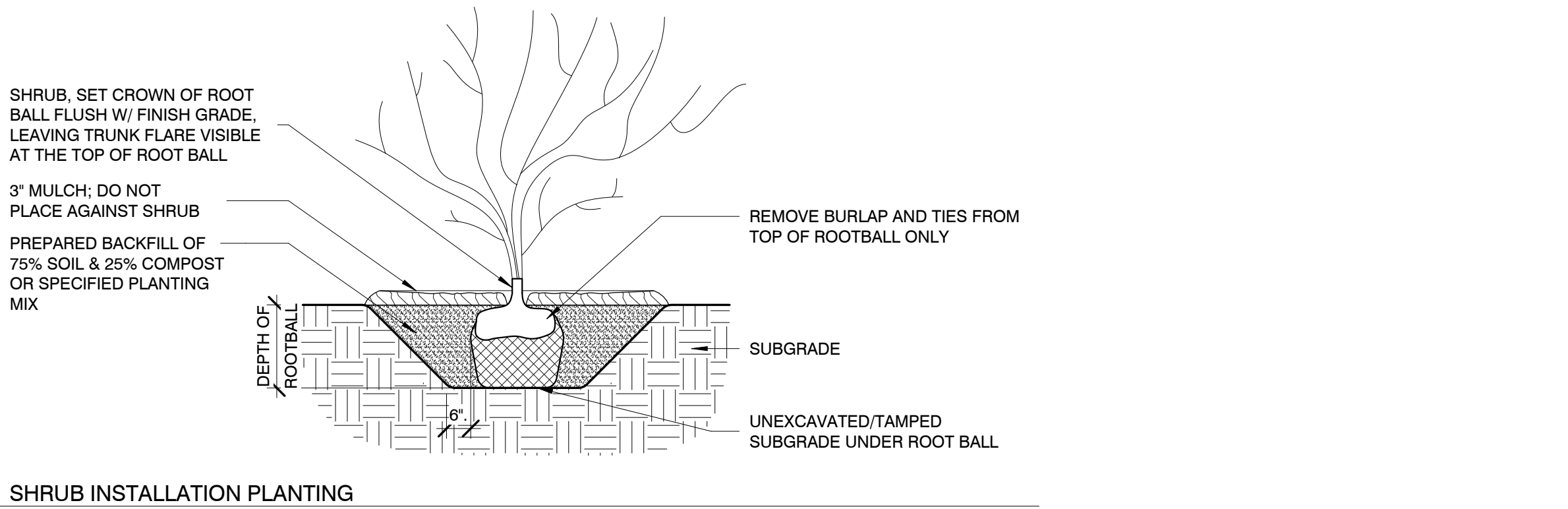
- A. PRODUCT DATA
1. SOIL TESTING: THE CONTRACTOR SHALL PROVIDE SOIL TESTS OF ANY APPLICABLE SUPPLEMENTAL TOPSOIL PRIOR TO DELIVERY OF TOPSOIL TO THE SITE AND OF ANY ON-SITE TOPSOIL TO BE USED AS PLANTING SOIL. SUBMIT A REPORT TO THE ARCHITECT CONTAINING THESE SOIL TESTS WITH LAB ANALYSIS STATING WHETHER TOPSOIL MEETS SPECIFICATION REQUIREMENTS AND LAB SUGGESTIONS FOR SOIL AMENDMENT. THE CONTRACTOR SHALL ALSO PROVIDE SOILTESTS FOR ANY EXISTING SOIL THAT WILL BE USED OR AMENDED TO PLANTING SOIL.
2. SOIL TESTS TO INCLUDE: CHEMICAL ANALYSIS TO INCLUDE PH, CATION EXCHANGE CAPACITY (CEC), ORGANIC MATTER (OM), PHOSPHOROUS, POTASSIUM (K), SOLUBLE SALTS, ANY ESSENTIAL NUTRIENTS AND ANY HARMFUL CHEMICALS. MECHANICAL ANALYSIS TO INCLUDE PERCENTAGES OF SAND, SILT, AND CLAY. LAB RECOMMENDATIONS FOR SOIL AMENDMENTS.
- B. DELIVERY, STORAGE, AND HANDLING
1. TOPSOIL AND PLANTING MIXTURES:
- A. COORDINATE AND DELIVER SOIL TO PRE-APPROVED STAGING AREAS ON PROJECT SITE.
- B. ALL DELIVERIES OF TOPSOIL WHICH IN ANY WAY FAILS TO MEET THE REQUIREMENTS OF THESE SPECIFICATIONS SHALL BE REJECTED, AND THE CONTRACTOR WILL IMMEDIATELY REMOVE REJECTED TOPSOIL FORM THE SITE AND SUPPLY SUITABLE TOPSOIL IN ITS PLACE.
- C. NO DELIVERIES WILL BE PERMITTED WHEN WEATHER CONDITIONS ARE UNSATISFACTORY, OR IF THE APPROVED STAGING AREA IN NOT IN WORKING ORDER TO RECEIVE TOPSOIL. NO FROZEN TOPSOIL WILL BE ACCEPTED. DO NOT DELIVER OR HANDLE SOIL IN WET, MUDDY OR FROZEN CONDITIONS. PROTECT STOCKPILES FROM WINDS AND/OR ANY DISTURBANCE WITH LANDSCAPE FABRIC OR OTHER SUITABLE MATERIAL.
- C. PROJECT CONDITION
1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL EXAMINE AND VERIFY THE ACCEPTABILITY OF THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY AND ALL UNSATISFACTORY CONDITIONS. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS HAVE BEEN ADDRESSED, CORRECTED, OR RESOLVED.
2. WHERE SOIL PREPARATION OCCURS, THE CONTRACTOR SHALL COMMIT TO OTHER SITE IMPROVEMENTS, ADEQUATE PROTECTION IS TO BE GIVEN TO ALL FEATURES PRIOR TO COMMENCING WORK. ANY ITEMS DAMAGED DURING SOIL PREPARATION IS TO BE PROMPTLY REPAIRED TO THEIR ORIGINAL CONDITION.
3. ON SITE TOPSOIL: IF AVAILABLE ON SITE TOPSOIL IS UNSATISFACTORY AS TOPSOIL, PROVIDE APPROVED PLANTING MIX AND TOPSOIL FOR ALL BACKFILL OF LANDSCAPE AREAS.
4. UTILITIES: HAVE ALL UNDERGROUND UTILITIES LOCATED BY SERVICING AGENCIES AND HAVE NEW UTILITIES STAKED BY THE CONTRACTOR, IF APPLICABLE. IN THE IMMEDIATE VICINITY OF UTILITIES, HAND EXCAVATE TO MINIMIZE THE POSSIBILITY OF DAMAGE.
5. EXCAVATION: WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED SUCH AS LIMESTONE, POOR DRAINAGE, RUBBLE FILL, OR OBSTRUCTIONS, NOTIFY ARCHITECT PRIOR TO PLACEMENT OF SOIL.
- D. PLANTING MIXTURE MATERIALS
1. TOPSOIL
- A. TOPSOIL SHALL BE A SANDY LOAM MINERAL SOIL, UNIFORM IN COLOR AND TEXTURE. IT SHALL CONTAIN NO GRAY CLAY AND BE FREE FROM GRASS ROOTS, SOD, WEEDS, STONES LARGER THAN 1-INCH IN DIAMETER, OR OTHER SUBSTANCES UNSUITABLE TO POSITIVE PLANT GROWTH. THE SOIL IS TO BE LOOSE, FRIABLE AND OF GOOD TILTH WITH A PH RANGING BETWEEN 6 AND 7.5.
- B. ALL SOIL SAMPLING AND TESTING SHALL COMPLY WITH THE PROCEDURES IN THE USDA AGRICULTURAL HANDBOOK 60: DIAGNOSIS AND IMPROVEMENTS OF SALINE AND ALKALI SOILS. NUTRIENT DATA AS FOLLOWS:
- a. PHOSPHOROUS - MIN. 75 LBS/AC.
- b. POTASSIUM - MIN. 300 LBS/AC
- c. CALCIUM - MIN 1500 PPM
- d. CATION EXCHANGE CAPACITY - MIN. 20 MEA/100G
- e. SOLUBLE SALT - MIN. 1000 PPM
- C. ORGANIC CONTENT IS NOT TO BE LESS THAN 5 PERCENT AND GREATER THAN 10 PERCENT.
2. SAND: CLEAN, WASHED, NATURAL, OR MANUFACTURER, FREE OF TOXIC MATERIALS AND ACCORDING TO ASTM C33/C 33M.
3. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER PRODUCED BY COMPOSTING FEEDSTOCK, AND BEARING USCCC "SEAL OF TESTING ASSURANCE," AND AS FOLLOWS:
- A. FEEDSTOCK: LIMITED TO LEAVES AND MAY INCLUDE ANIMAL WASTE.
- B. REACTION: pH OF 5.5 TO 8.
- C. SOLUBLE-SALT CONCENTRATION: LESS THAN 4 dS/m.
- D. MOISTURE CONTENT: 35 TO 55 PERCENT BY WEIGHT.
- E. ORGANIC-MATTER CONTENT: 40 TO 50 PERCENT BY DRY WEIGHT.
- F. PARTICLE SIZE: MINIMUM OF 98 PERCENT PASSING THROUGH A 1-INCH SIEVE.
4. SPHAGNUM PEAT: HOMOGENOUS, PARTIALLY DECOMPOSED SPHAGNUM PEAT MOSS, FINELY DIVIDED OR OF GRANULAR TEXTURE WITH 100 PERCENT PASSING THROUGH A 1/2-INCH SIEVE, A pH OF 3.4 TO 4.8, AND A SOLUBLE-SALT CONTENT MEASURED BY ELECTRICAL CONDUCTIVITY OF MAXIMUM 5 dS/m.
5. LIME: ASTM C 602, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT AND AS FOLLOWS:
- A. CLASS: T, WITH A MINIMUM OF 99 PERCENT PASSING THROUGH A NO. 8 (2.36MM) SIEVE AND A MINIMUM OF 75 PERCENT PASSING THROUGH A NO. 60 (0.25MM) SIEVE.
- B. CLASS: O, WITH A MINIMUM OF 95 PERCENT PASSING THROUGH A NO. 8 (2.36MM) SIEVE AND A MINIMUM OF 55 PERCENT PASSING THROUGH A NO. 60 (0.25MM) SIEVE.
- C. FORM: PROVIDE LIME IN FORM OF GROUND DOLOMITIC LIMESTONE.
6. SULFUR: GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90 PERCENT ELEMENTAL SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING THROUGH A NO. 6 (3.35MM) SIEVE AND A MAXIMUM OF 10 PERCENT PASSING THROUGH A NO. 40 (0.425MM) SIEVE.
- E. FERTILIZERS
1. COMMERCIAL FERTILIZER: COMMERCIAL-GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST- AND SLOW-RELEASE NITROGEN, 50 PERCENT DERIVED FROM NATURAL ORGANIC SOURCES OF UREA FORMALDEHYDE, PHOSPHOROUS, AND POTASSIUM IN THE FOLLOWING COMPOSITION:
- A. COMPOSITION: NITROGEN, PHOSPHOROUS, AND POTASSIUM IN AMOUNTS RECOMMENDED IN SOIL REPORTS FROM A QUALIFIED TESTING AGENCY.
2. SLOW-RELEASE FERTILIZER: GRANULAR OR PELLETTED FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHOROUS, AND POTASSIUM IN THE FOLLOWING COMPOSITION:
- A. COMPOSITION: NITROGEN, PHOSPHOROUS, AND POTASSIUM IN AMOUNTS RECOMMENDED IN SOIL REPORTS FROM A QUALIFIED TESTING AGENCY.
- F. EXECUTION
1. ALL TOPSOIL (AMENDED, IMPORTED, OR MANUFACTURED) TO BE USED IN PLANTING AREAS AND TREE PITS SHALL BE TESTED AND AMENDED PER RECOMMENDATION OF TESTING RESULTS.
2. ALL PLANTING AREAS AND TREE PITS SHALL BE PREPARED AND BACKFILLED WITH PLANTING SOIL MIX CONTAINING 3 PARTS APPROVED TOPSOIL AND 1 PART COMPOST.
3. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN PLANTING SOIL.
- H. PREPARATION
1. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, TREES, SHRUBS AND PLANTINGS FROM DAMAGE DURING EXCAVATION OPERATIONS. IF ANY EXISTING IMPROVEMENTS ARE DAMAGED, REPLACE OR MAKE ARRANGEMENTS FOR REPAIR.
2. PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- I. PERFORMANCE
1. PLANTING AREA PREPARATION: PRIOR TO INSTALLATION OF NEW PLANT MATERIAL, ENSURE ALL TREE PITS AND PLANTING BEDS TO BE FREE OF DEBRIS AND NOT IN A MUDDY CONDITION PRIOR TO BACKFILL WITH SPECIFIED PLANTING MIXTURE. LOOSEN THE BOTTOM OF THE TREE PIT OR PLANTING BED AND ENSURE THAT ALL STONES LARGER THAN 1-INCH IN DIAMETER AND THAT ALL LIMESTONE HAS BEEN REMOVED FROM THE SUBGRADE TO A DEPTH OF 12-INCHES MINIMUM. IN ADDITION, REMOVE ANY AND ALL STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
2. LANDSCAPE EXCAVATION AND BACKFILL: WHERE SPECIFIED SOIL TYPE DOES NOT EXIST, EXCAVATE EXISTING PLANTING AREAS, PLANTING BEDS, AND TREE PITS IN AREAS AND TO DEPTHS INDICATED ON THE DRAWINGS. PROVIDE PLANTING SOIL AS BACKFILL AS SPECIFIED.
3. COMPACT SUB-GRADE IN PLANTING AREAS TO 85% PROCTOR DENSITY.
4. AFTER PLANTING AREAS HAVE BEEN PREPARED AND PLANTING OPERATIONS COMPLETED, BACKFILL PLANTING AREAS AND TREE PITS WITH SPECIFIED PLANTING MIXTURES TO GRADES INDICATED ON PROJECT DRAWINGS.
5. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- J. PROTECTION AND CLEANING
1. PROTECT AREAS OF IN-PLACE SOIL FROM ADDITIONAL COMPACTION, DISTURBANCE, AND CONTAMINATION. PROHIBIT THE FOLLOWING PRACTICES WITHIN THESE AREAS EXCEPT AS REQUIRED TO PERFORM PLANTING OPERATIONS:
- A. STORAGE OF CONSTRUCTION MATERIALS, DEBRIS, OR EXCAVATED MATERIAL.
- B. PARKING VEHICLES OR EQUIPMENT.
- C. VEHICLE TRAFFIC.
- D. FOOT TRAFFIC.
- E. ERECTION OF SHEDS OR STRUCTURES.
- F. IMPOUNDMENT OF WATER.
- G. EXCAVATION OR OTHER DIGGING UNLESS OTHERWISE INDICATED.
2. REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE MATERIALS, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY UNLESS OTHERWISE INDICATED.
3. DISPOSE OF EXCESS SUBSOIL AND UNSUITABLE MATERIALS ON-SITE WHERE DIRECTED BY OWNER.

LANDSCAPE: PLANTING SPECIFICATIONS

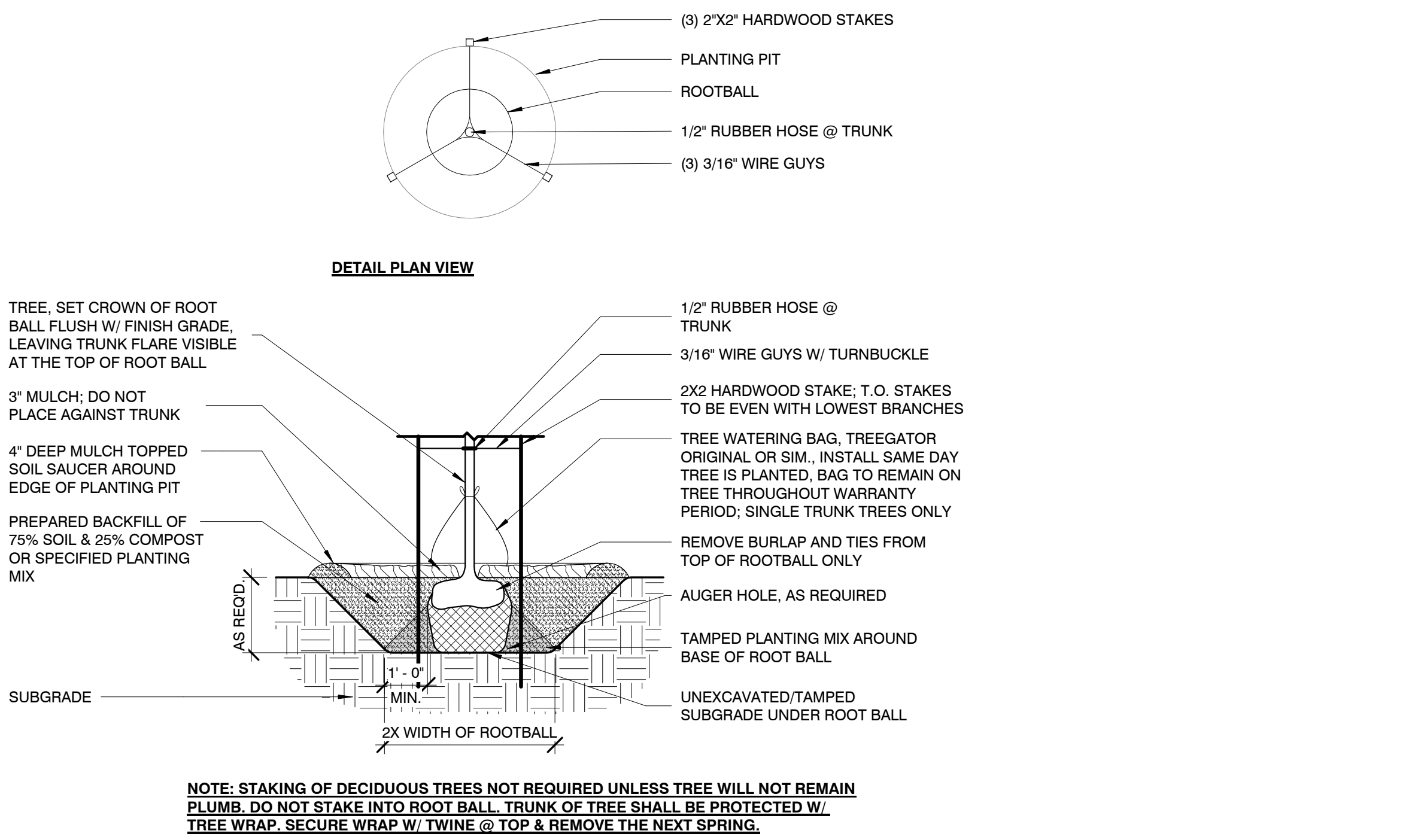
- A. PRIOR TO PLANTING
1. PLANT LOCATIONS ARE TO BE STAKED IN THE FIELD. THE LOCATION OF ALL PLANT MATERIAL WILL BE APPROVED IN THE FIELD BY THE ARCHITECT. NOTIFY THE ARCHITECT A MINIMUM OF 7 DAYS PRIOR TO PLANTING. DO NOT DIG HOLES FOR PLANTS UNTIL THE LOCATION IS APPROVED.
2. ALL LANDSCAPE SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. WRITTEN QUANTITIES TAKE PRECEDENCE OVER GRAPHIC QUANTITIES. NOTIFY ARCHITECT OF DISCREPANCIES.
4. IN ALL CASES, THE ARCHITECT MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARDS IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
5. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8"-12" AND AMENDED PER SPECIFICATIONS.
6. WHERE UTILITIES ARE LOCATED IN PLANTED BEDS, ENSURE UTILITY PROVIDERS' SCOPE OF WORK IS COMPLETE BEFORE PROCEEDING WITH PLANTINGS.
- B. DELIVERY, STORAGE, AND HANDLING
1. DO NOT PRUNE TREES BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
2. HANDLE PLANTING STOCK BY ROOT BALL.
3. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- C. PLANT MATERIAL
1. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE INDICATED ON DRAWINGS AND COMPLYING WITH THE CURRENT EDITION OF ANSI Z 60.1 "AMERICAN STANDARD FOR NURSERY STOCK," AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
2. ALL PLANTS SHALL MEET THE REQUIREMENTS OF THE STATE AND FEDERAL LAW WITH RESPECT TO DISEASE AND INSECT INFESTATION.
3. ROOT-BALL DEPTH: FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL, WHICH BEGINS AT ROOT FLARE ACCORDING TO ANSI Z60.1. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
4. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE ARCHITECT FOR THE ENTIRE PROJECT.
- D. MULCHES
1. ORGANIC MULCH: SHREDDED HARDWOOD MULCH SHALL BE TRIPLE GROUND, HARDWOOD, NATURAL COLOR.
- E. DECORATIVE GRAVEL
1. DECORATIVE GRAVEL TO BE 3/8" 'TORPEDO' GRAVEL SOURCED FROM MSD APPROVED BIORETENTION SOIL AND GRAVEL SUPPLIER.
- F. PLANTING WINDOW
1. CONTRACTOR SHALL INSTALL TREES AND SHRUBS WITHIN THE RECOMMENDED PLANTING WINDOW: SEPTEMBER 15 - MAY 15. ANY PLANT INSTALLATION THAT FALLS OUTSIDE OF THIS WINDOW SHALL BE APPROVED BY THE OWNER.
- G. EXCAVATION FOR TREES
1. PLANTING PITS AND TRENCHES: EXCAVATE CIRCULAR PLANTING PITS.
2. EXCAVATE PLANTING PITS WITH SIDES SLOPING INWARD AT A 45-DEGREE ANGLE, OR LESS. EXCAVATIONS WITH VERTICAL SIDES ARE UNACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED OR COMPACTED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMOEARED OR SMOOTHED DURING EXCAVATION.
3. EXCAVATE APPROXIMATELY TWO TIMES AS WIDE AS BALL DIAMETER.
4. EXCAVATE AT LEAST 12 INCHES WIDER THAN ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS FOR BARE-ROOT STOCK.
5. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.
6. BACKFILL SOIL: SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS BACKFILL SOIL IF IT MEETS THE REQUIREMENTS OF THE PLANTING SOIL MIXTURE AS SPECIFIED.
- H. TREE PLANTING
1. INSPECTION: AT TIME OF PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL AND UNDAMAGED ACCORDING TO ANSI Z60.1. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE THE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS.
2. ROOTS: REMOVE STEM GIRDLING ROOTS AND KINKED ROOTS. REMOVE INJURED ROOTS BY CUTTING CLEANLY; DO NOT BREAK. SET EACH TREE PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.
3. BALLED AND BURLAPPED STOCK: AFTER PLACING SOME BACKFILL AROUND ROOT BALL TO STABILIZE PLANT, CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM TOPS OF ROOT BALLS AND FROM SIDES, BUT DO NOT REMOVE FROM UNDER ROOT BALLS. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
4. BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.
5. PLACE PLANTING TABLETS EQUALLY DISTRIBUTED AROUND EACH PLANTING PIT WHEN PIT IS APPROXIMATELY ONE-HALF FILLED. PLACE TABLETS BESIDE THE ROOT BALL ABOUT 1 INCH FROM ROOT TIPS; DO NOT PLACE TABLETS IN BOTTOM OF THE HOLE.
6. SIZE: 21G TABLET.
7. QUANTITY: TWO FOR EACH CALIPER INCH OF TREE.
8. CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.
9. SLOPES: WHEN PLANTING ON SLOPES, SET THE PLANT SO THE ROOT FLARE ON THE UPHILL SIDE IS FLUSH WITH THE SURROUNDING SOIL ON THE SLOPE. THE EDGE OF THE ROOT BALL ON THE DOWNHILL SIDE WILL BE ABOVE THE SURROUNDING SOIL. APPLY ENOUGH SOIL TO COVER THE DOWNHILL SIDE OF THE ROOT BALL.
- I. TREE PRUNING
1. PRUNE, THIN, AND SHAPE TREES, ACCORDING TO STANDARD PROFESSIONAL HORTICULTURAL AND ARBORICULTURAL PRACTICES. UNLESS OTHERWISE INDICATED BY ARCHITECT, DO NOT CUT TREE LEADERS; REMOVE ONLY INJURED, DYING, OR DEAD BRANCHES FROM TREES; AND PRUNE TO RETAIN NATURAL CHARACTER.
2. DO NOT APPLY PRUNING PAINT TO WOUNDS.
- J. SHRUB, PERENNIAL, AND PLUG PLANTING
1. SET OUT AND SPACE PLANTS AS INDICATED ON DRAWINGS IN EVEN ROWS WITH TRIANGULAR SPACING.
2. SET SHRUBS PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES. FREE ROOT FLARE OF GIRDLED OR KINKED ROOTS BY CUTTING CLEANLY.
3. USE PLANTING SOIL PER THE REQUIREMENTS OF NOTES ON THIS SHEET.
4. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS.
5. BEDS SHALL BE TOP DRESSED W/ 3" OF COMPOST (MIN.) . THE TOP DRESSING SHALL BE WORKED INTO THE SOIL TO A MINIMUM DEPTH OF 9" BY THE USE OF A CULTIVATING MECHANISM.
6. WORK SOIL AROUND ROOTS TO ELIMINATE AIR POCKETS AND LEAVE A SLIGHT SAUCER INDENTATION AROUND PLANTS TO HOLD WATER.
7. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT CROWNS WITH WET SOIL.
8. PROTECT PLANTS FROM HOT SUN AND WIND; REMOVE PROTECTION IF PLANTS SHOW EVIDENCE OF RECOVERY FROM TRANSPLANTING SHOCK.
- K. PLANTING AREA UTILIZATION
1. MULCH TO BE UTILIZED AT ALL PLANTING AREAS EXCLUDING TURF.
2. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS INDICATED.
3. APPLY ORGANIC HARDWOOD MULCH OF 3-INCH AVERAGE THICKNESS AT TREES, WITH A DIAMETER EQUAL TO TWICE THE WIDTH OF THE ROOT BALL AROUND TRUNKS OF TREES. APPLY SAME MULCH BUT 2-INCH AVERAGE THICKNESS FOR SHRUB AND PERENNIAL PLANTING AREAS AS SHOWN ON THE DRAWINGS. DO NOT PLACE MULCH WITHIN 4 INCHES OF TREE TRUNKS, OR IN DIRECT CONTACT WITH SHRUB OR PERENNIAL STEMS.
- L. PLANTING AREA MAINTENANCE
1. MAINTAIN TREES, SHRUBS, AND GROUNDCOVER FOR A PERIOD OF 365 CALENDAR DAYS IMMEDIATELY FOLLOWING COMPLETE INSTALLATION. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, PRUNING TREES, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING, AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GROWTH AND HEALTH FOR LIVE PLANT MATERIAL.
2. MAINTAIN GRASS LAWNS FOR A PERIOD OF 90 CALENDAR DAYS IMMEDIATELY FOLLOWING COMPLETE INSTALLATION. INCLUDE WATERING, WEEDING, MOWING AND TRIMMING, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.
3. FOR FIRST TWO YEARS AFTER SUBSTANTIAL COMPLETION, TO ENCOURAGE ESTABLISHMENT OF PLANTED AREAS, ORNAMENTAL GRASSES AND SEDGES ARE TO BE SYSTEMATICALLY TRIMMED TO MATCH HEIGHT OF FORBS, THROUGHOUT THE GROWING SEASON. ADDITIONALLY, ALL WEEDS SHOULD BE PULLED. ALL PLANTS SHOULD BE TRIMMED TO MATCH THE SIZE OF EACH OTHER. AT THE END OF THE GROWING SEASON, GRASSES AND SEDGES WILL GROW STRONG AND AT OTHER TIMES FORBS WILL GROW MORE STRONGLY. THIS TRIMMING WILL ENCOURAGE THE SURVIVAL OF EACH SPECIES EQUALLY.
4. FROM APPROXIMATELY YEAR 3 AND BEYOND, AFTER GRASSES, SEDGES, AND FORBS ARE ESTABLISHED, IN FEBRUARY, AFTER PLANTS HAVE GONE DORMANT, STRING TRIM AND HAND CUT GRASSES AND FORB STEMS BACK TO 12 INCHES.
5. STAKES, GUYS, AND ERODED PLANT SAUCERS SHALL BE TIGHTENED OR REPLACED AS REQUIRED.
6. IN PLANT BEDS WEEDS SHALL NOT BE ALLOWED TO REACH A HEIGHT OF 3 INCHES BEFORE BEING COMPLETELY REMOVED, INCLUDING ROOT GROWTH.
7. DEAD PLANTS SHALL BE REMOVED AND REPLACED WITH SAME SPECIES IMMEDIATELY, AT CONTRACTOR'S EXPENSE.

LANDSCAPE: TURF SPECIFICATIONS

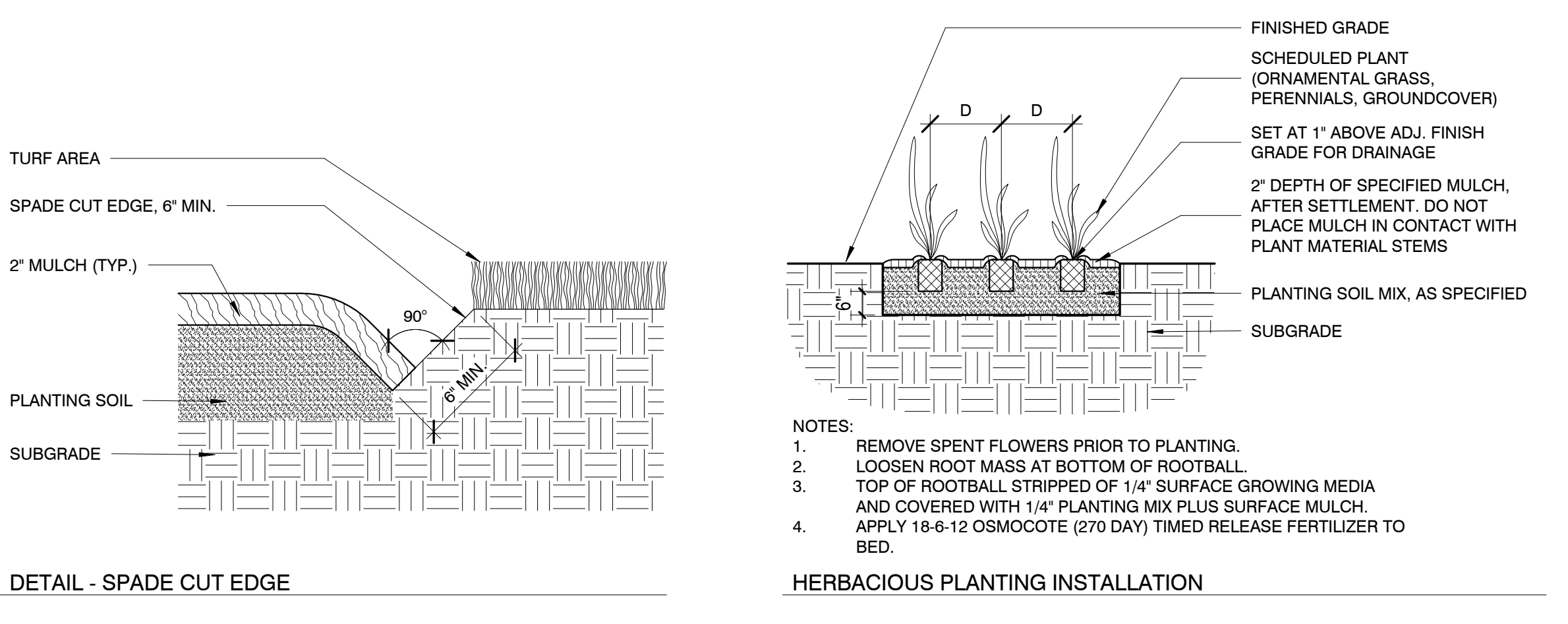
- A. TURFGRASS SOD
1. TURFGRASS SOD: PREMIUM QUALITY TURFGRASS SOD, FREE OF THATCH, WEEDS, DISEASES, NEMATODES, AND INSECTS, COMPLYING WITH "SPECIFICATIONS FOR TURFGRASS SOD MATERIALS" IN TP1'S "GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING." FURNISH VIABLE SOD OF UNIFORM DENSITY, COLOR, AND TEXTURE THAT IS STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.
2. TURFGRASS SPECIES: SOD OF GRASS SPECIES AS FOLLOWS:
- A. SHADE TOLERANT FESCUE BLEND, PROPORTIONED AS FOLLOWS:
- a. 90 PERCENT TALL FESCUE BLEND, MINIMUM 3 VARIETIES.
- b. 10 PERCENT KENTUCKY BLUEGRASS BLEND, MINIMUM 3 VARIETIES
3. LAY SOD WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOD IF DORMANT OR IF GROUND IS FROZEN OR MUDDY.
4. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD; DO NOT STRETCH OR OVERLAP. STAGGER SOD STRIPS OR PADS TO OFFSET JOINTS IN ADJACENT COURSES. AVOID DAMAGE TO SOIL OR SOD DURING INSTALLATION. TAMP AND ROLL LIGHTLY TO ENSURE CONTACT WITH SOIL. ELIMINATE AIR POCKETS, AND FORM A SMOOTH SURFACE. WORK SIFTED SOIL OR FINE SAND INTO MINOR CRACKS BETWEEN PICES OF SOD; REMOVE EXCESS TO AVOID SMOTHERING SOD AND ADJACENT GRASS.
- A. LAY SOD ACROSS SLOPES EXCEEDING 1:6.
- B. ANCHOR SOD ON SLOPES EXCEEDING 1:3 WITH WOOD PEGS OR STEEL STAPLES SPACED AS RECOMMENDED BY SOD MANUFACTURER BUT NOT LESS THAN TWO ANCHORS PER SOD STRIP TO PREVENT SLIPPAGE.
5. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF 1-1/2 INCHES (38 MM) BELOW SOD.
- B. TURFGRASS SEED:
1. TURFGRASS SEED TO BE SAME BLEND AS TURFGRASS SOD.
2. SEED MIX SHALL BE APPLIED MECHANICALLY SO THAT SEED IS INCORPORATED INTO THE TOP 1/2" OF THE SEED BED. THE SEED SHALL THEN BE COVERED WITH GRASS SEED GERMINATION BLANKET (EZ-STRAW OR SIMILAR) OR HYDRO-MULCH.
- C. TURF MAINTENANCE
1. MAINTAIN AND ESTABLISH TURF BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION.
2. MOW TURF AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN HEIGHT APPROPRIATE FOR SPECIES WITHOUT CUTTING MORE THAN 1/3 OF GRASS HEIGHT. REMOVE NO MORE THAN 1/3 OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS.



SHRUB INSTALLATION PLANTING



DECIDUOUS TREE PLANTING



General Contractor:	HELIOS CONSTRUCTION ATTN: ZACH BENCUR 2324 W. FULTON ST. CHICAGO, IL 60612 1-219-384-9303
Civil Engineer:	V3 COMPANIES ATTN: RYAN SMYKOWSKI 444 N. WELLS ST., SUITE 602 CHICAGO, IL 60654 1-630-651-9868
Structural Engineer:	ROCKEY STRUCTURES, LLC ATTN: DAVID PARDO 751 S. CLARK ST., SUITE 200 CHICAGO, IL 60605 1-314-681-0372
Electrical Engineer:	DESIGN-BUILD

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INDIANA # AR12100250

3 FLOYDS TAPROOM
RENOVATION & EXPANSION
9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date

Sheet Title:

LANDSCAPE NOTES & DETAILS

Project Number:	Sheet Number:
23002	
Drawn By:	
TM	
Issue Date:	

L100



LANDSCAPE CHARACTER REFERENCE PHOTOS

LANDSCAPING ORDINANCE ANALYSIS

LANDSCAPING COVERAGE

TOTAL 1ST LOT LAYER: 92,694 SF
TOTAL 1ST LOT LAYER - PARKING: 27,587 SF
TOTAL 1ST LOT LAYER - LANDSCAPED: 32,526 SF

1ST LOT LAYER IS GREATER THAN 10' (91'-6" - 113'-2").
TOTAL 1ST LOT LAYER IS 35% LANDSCAPED (32,526/92,694=0.35)

SCOPE OF WORK 1ST LOT LAYER: 34,199 SF
SCOPE OF WORK 1ST LOT LAYER - PARKING: 7,099 SF
SCOPE OF WORK 1ST LOT LAYER - LANDSCAPE: 25,944 SF

SCOPE OF WORK 1ST LOT LAYER IS GREATER THAN 10' (113'-2").
25,944/34,199=0.7586
TOTAL SCOPE OF WORK 1ST LOT LAYER IS 75.8% LANDSCAPED

PROPERTY FRONTAGE TREES

INDIANA PARKWAY LOT FRONTAGE LENGTH: 927'
INDIANA PARKWAY BUILDING FRONTAGE: 424'
INDIANA PARKWAY NON-BUILDING FRONTAGE: 503'

1ST LOT LAYER IS GREATER THAN 15' (91'-6" - 113'-2").
TREE REQUIREMENT: 1 TREE PER 30' OF NON-BUILDING FRONTAGE
503/30 = 16.7
17 TREES REQUIRED

EXISTING TREES: 25 TREES
PROPOSED NEW 1ST LOT LAYER TREES: 14 TREES
TOTAL 1ST LOT LAYER TREES: 39 TREES

PARKING AREA LANDSCAPE REQUIREMENTS

EXISTING PARKING LOTS ARE TAKEN AS COMPLIANT DUE TO:

- EXISTING 3' HIGH STONE SCREEN WALL
- FORTY-ONE (41) EXISTING DECIDUOUS TREES IN PARKING ISLANDS AND AROUND PERIMETER OF LOTS
- FORTY-SIX (46) EXISTING EVERGREEN TREES
- ONE HUNDRED THIRTY SEVEN (137) EXISTING DECIDUOUS SHRUBS
- FULLY PLANTED PARKING ISLANDS TERMINATING ALL INTERIOR PARKING ROWS.

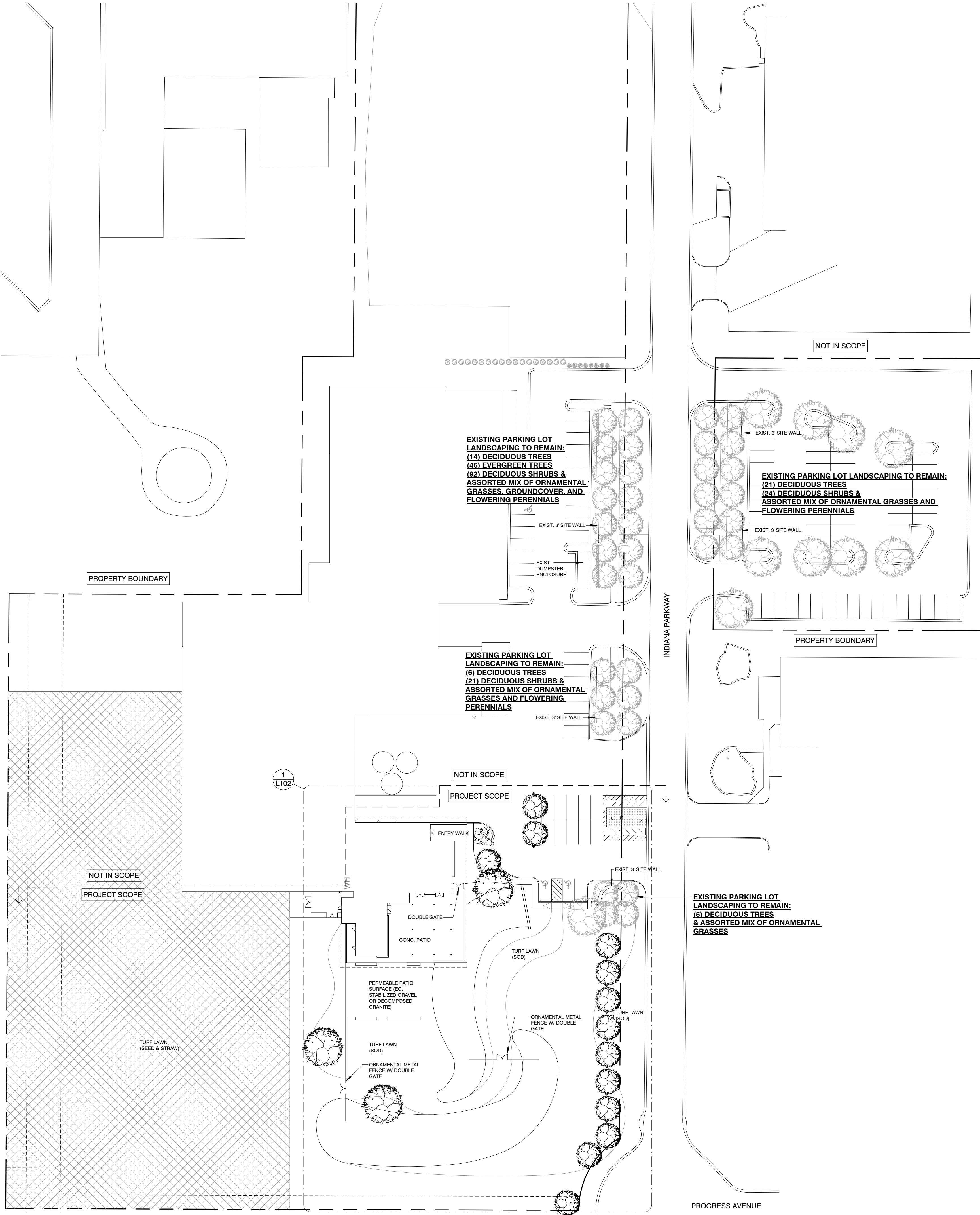
SCOPE OF WORK PARKING LOT:

- EXISTING 3' HIGH STONE SCREEN WALL BETWEEN 1ST LOT LAYER PARKING & RIGHT OF WAY.
- 1ST LOT LAYER HAS PLANTED LANDSCAPE BUFFER BETWEEN 1ST LOT LAYER & RIGHT OF WAY. VARIES FROM 12'-0" TO 25'-0" WIDE.
- THIRTEEN (13) TOTAL PARKING SPACES
 - ELEVEN (11) STANDARD PARKING SPACES
 - TWO (2) ADA ACCESSIBLE PARKING SPACES
- ONE (1) 10' WIDE PARKING ISLAND, TWO ROWS DEEP, CONTAINING TWO (2) DECIDUOUS SHADE TREES.
 - BEYOND SHADE TREES, PARKING ISLAND IS FULLY PLANTED WITH PERENNIAL GROUNDCOVER, FLOWERING PERENNIALS, & ORNAMENTAL GRASSES.
- ABOVE MENTIONED PARKING ISLAND TERMINATES AN INTERIOR PARKING ROW.

NOTES:
1. ALL EXISTING TREES ARE TO BE PROTECTED AND TO REMAIN AFTER CONSTRUCTION IS COMPLETED.

GENERAL NOTES: LANDSCAPE

- CONTRACTOR TO INSTALL ALL LANDSCAPE MATERIALS IN ACCORDANCE WITH THE LANDSCAPING STANDARDS OF THE TOWN OF MUNSTER'S CHARACTER-BASED CODE.
- OWNER SHALL MAINTAIN AND REPLACE, AS REQUIRED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF MUNSTER'S CHARACTER-BASED CODE.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. CALL INDIANA811 AT 811 OR 1-800-382-5544.
- PLANT MATERIAL SHALL BE NURSERY GROWN AND EITHER BE BALLED & BURLAPPED OR CONTAINER GROWN. SIZES AND SPREADS ON PLANT LIST REPRESENT MINIMUM REQUIREMENTS.
- LANDSCAPE CONTRACTOR TO VERIFY LOCATIONS OF UNDERGROUND UTILITIES BEFORE BEGINNING WORK.
- QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES BASED ON SPECIFIED PLANT SPACING AND AVAILABLE PLANTABLE AREA. REALITY TAKES PRECEDENCE OVER THE QUANTITIES LISTED.
- ALL PLANTS SPECIFIED ARE SUBJECT TO AVAILABILITY. IF MATERIAL SHORTAGES REQUIRE SUBSTITUTIONS, THOSE SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT.
- MULCH TO BE APPLIED AT ALL NON-TURF PLANTED AREAS AND TO BE TRIPLE GROUND HARDWOOD MULCH 2" MIN. DEPTH.
- FORMAL LINES AND GROUPINGS OF A SPECIES OF TREE, SHRUB, GRASS, SEDGE, FORB, OR GROUNDCOVER SHALL BE MATCHED FOR SIZE, FORM, AND COLOR.
- ALL BACKFILL IN PLANTING BEDS AND TREE PITS SHALL BE BACKFILLED WITH PLANTING SOIL.
- ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLAN.
- AT PLANTING, TREE TRUNKS MUST BE STRAIGHT WITH MINIMAL DOGLEGS.
- U.N.O. A SPADE CUT EDGE SHALL BE CREATED AT ALL LOCATIONS WHERE PLANTING BEDS ARE ADJACENT TO TURF AREAS.
- A 12 GAUGE STEEL EDGE (COLOR: POWDERCOATED BLACK), 6" MIN. HEIGHT, SHALL BE USED WHERE DECORATIVE GRAVEL IS ADJACENT TO SOD AREAS AND PLANT BEDS; BASIS OF DESIGN TO BE COLMET 1012-6 BLACK.
- SEE CIVIL PLANS FOR TYPE AND LOCATION OF EROSION CONTROL MATERIALS.
- DO NOT DISTURB EXISTING UTILITIES WITHIN WORK AREA. SILT FENCING AND PLANTINGS SHALL AVOID ANY EXISTING UTILITIES.
- ALL TREES ARE TO BE STAKED AND GUYED, AS REQUIRED, PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAT FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE ARCHITECT. OBTAIN WRITTEN APPROVAL FROM ARCHITECT PRIOR TO REMOVAL.
- ALL PLANTED AREAS WITHIN SITE BOUNDARY ARE TO BE FULLY IRRIGATED. CONTRACTOR TO PROVIDE IRRIGATION PLANS FOR OWNER REVIEW. CONTRACTOR TO COORDINATE WITH PLUMBING CONTRACTOR TO LOCATE BACKFLOW PREVENTER AND MAIN CONNECTION BIB.
- IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS, AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH INDIVIDUAL ZONES FOR TURF AND NON-TURF AREAS, AND MUST INCLUDE A MOISTURE DETECTION DEVICE TO PREVENT OPERATION DURING RAINY PERIODS. TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. SHRUB AND PERENNIAL BEDS SHALL HAVE DRIP IRRIGATION.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSUREING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY INDICATED OTHERWISE ON THE CIVIL GRADING PLANS.
- SHRUB, GROUNDCOVER, AND PERENNIAL BEDS ARE TO BE CONTAINED BY A SPADE CUT EDGE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS, OR SOLID FENCES WITHIN 3' OF PRE-MULCH FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPE UNLESS SPECIFIED ON THE PLANS.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT, AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD.
- WHEN COMPLETE, ALL GRADING SHALL BE WITHIN +/- 1/8" OF FINISHED GRADE SHOWN ON THE PLANS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION FROM ARCHITECT OR OWNER WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.



1 LANDSCAPE PLAN - OVERALL
1" = 40'-0"

General Contractor: HELIOS CONSTRUCTION
ATTN: ZACH BENCUR
2324 W. FULTON ST.
CHICAGO, IL 60612
1-219-384-9303
Civil Engineer: V3 COMPANIES
ATTN: RYAN SMYKOWSKI
444 N. WELLS ST., SUITE 602
CHICAGO, IL 60654
1-630-651-9868
Structural Engineer: ROCKEY STRUCTURES, LLC
ATTN: DAVID PARDO
751 S. CLARK ST., SUITE 200
CHICAGO, IL 60605
1-314-681-0372
Electrical Engineer: DESIGN-BUILD

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INDIANA # AR12100250

3 FLOYDS TAPROOM
RENOVATION & EXPANSION
9750 INDIANA PARKWAY,
MUNSTER, IN 46321

No.	Description	Date

Sheet Title:

LANDSCAPE PLAN - OVERALL

Project Number: 23002 Sheet Number:

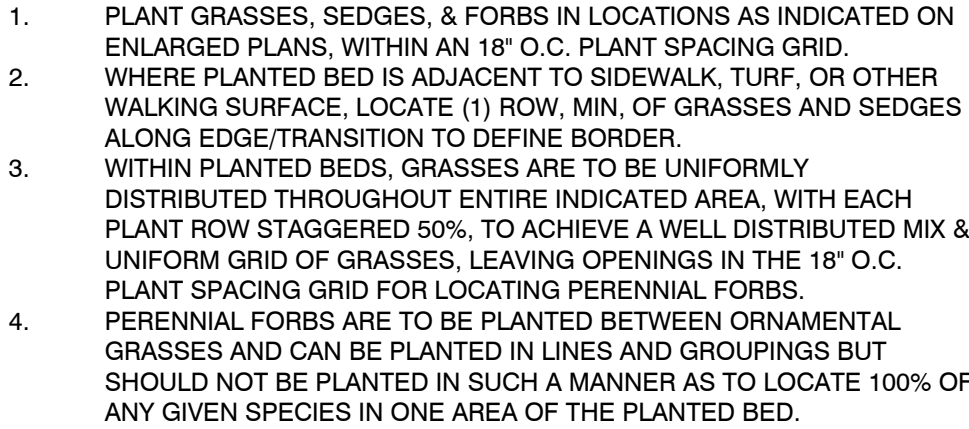
Drawn By:

TM

Issue Date:

L101

PLANTING STRATEGY



SPACING 'D'	ROW 'A'	NUMBER OF PLANTS PER SQ.FT.
30"	26"	0.16
24"	20.8"	0.25
18"	15.6"	0.45
15"	13"	0.64
12"	10.4"	1.00
10"	8.66"	1.44
8"	6.93"	2.25

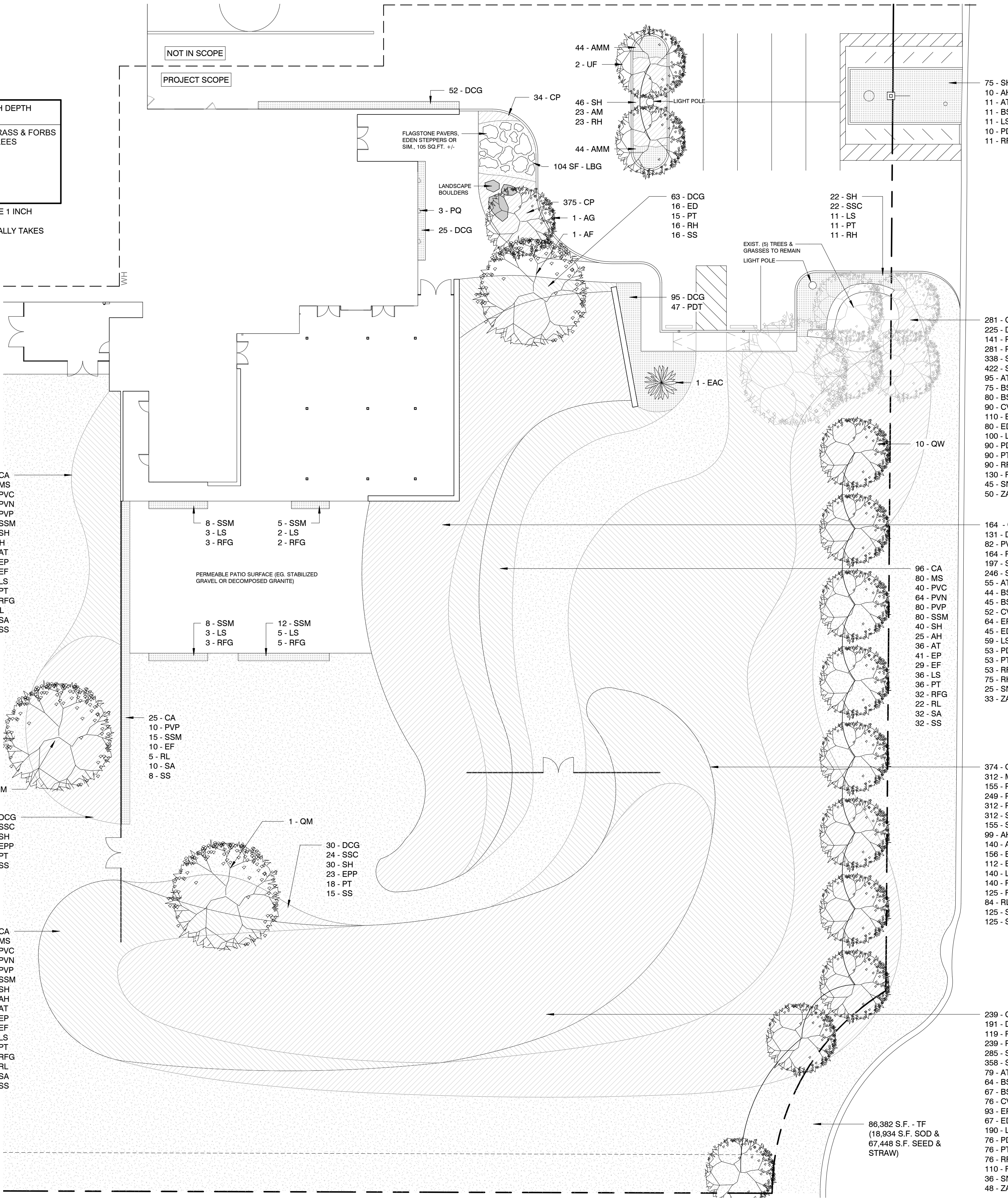
TABLE 1: WATER AND MULCH REQUIREMENTS EXCLUDING TREES

WATER AVAILABILITY	REQUIRED PLANTING PERIOD	WATER REQUIREMENT FIRST 3 WEEKS	WATER REQUIREMENT AFTER 3 WEEKS*	MAX. MULCH DEPTH
AUTOMATIC IRRIGATION (SET TO WATER MORE FREQUENTLY THAN NORMAL DURING FIRST TWO MONTHS AFTER PLANTING)	LATE FEB.-EARLY OCT.	1" (60 MIN) EVERY 4 DAYS IN SPRING AND FALL 1" (60 MIN) EVERY 3 DAYS IN SUMMER	1" (60 MIN) EVERY 7 DAYS UNTIL PLANTS ESTABLISHED ***	2.5" FOR GRASS & FORBS 3.5" FOR TREES

*THIS WATER AMOUNT INCLUDES NATURAL RAINFALL. IF YOU GET 1/2" OF NATURAL RAIN, THEN YOU WILL ADD A 1/2 INCH OF WATER TO MEET THE 1 INCH REQUIREMENT.

***PLANTS ARE ESTABLISHED WHEN ROOTS HAVE GROWN OUT OF THE CONTAINER SOIL AND INTO THE NATIVE SOIL BY 3-5 INCHES. THIS NORMALLY TAKES 3-4 MONTHS FOR MOST PERENNIALS AND GRASSES AND UP TO 6-7 MONTHS FOR TREES AND SHRUBS.

CODE	BOTANICAL NAME	COMMON NAME	QTY	SIZE/TYPE	SPACING	REMARKS
TREES						
AF	ACER X FREEMANII 'CELZAM'	CELEBRATION FREEMAN MAPLE	1	3" CAL B&B	PER PLAN	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	1	10" H B&B	PER PLAN	MULTI-STEM, 4-5 STEMS MINIMUM, SPECIMEN QUALITY
QM	QUERCUS MACROCARPA	BUR OAK	2	4" B&B	PER PLAN	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
QW	QUERCUS X WAREI 'LONG'	REGAL PRINCE ENGLISH OAK	10	2.5" CAL B&B	PER PLAN	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
UF	ULMUS 'FRONTIER'	FRONTIER ELM	2	3" CAL B&B	PER PLAN	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
ORNAMENTAL GRASSES & SEDGES						
CA	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1,304	#1 CONT.	18" O.C.	
CP	CAREX PRAEGRACILIS	TOLLWAY SEDGE	409	12 FLAT	10" O.C.	
DCG	DESCHAMPSIA CESPIOSA 'GOLDTAL'	TUFTED HAIR GRASS	908	#1 CONT.	18" O.C.	
MS	MISCANTHUS SINENSIS 'STRICTA'	PORCUPINE GRASS	497	#1 CONT.	18" O.C.	
PVC	PANICUM VIRGATUM 'CLOUD 9'	CLOUD 9 SWITCHGRASS	246	#1 CONT.	18" O.C.	
PVN	PANICUM VIRGATUM 'NORTH WIND'	NORTH WIND SWITCHGRASS	739	#1 CONT.	18" O.C.	
PVP	PANICUM VIRGATUM 'PRAIRIE FIRE'	PRAIRIE FIRE SWITCHGRASS	507	#1 CONT.	18" O.C.	
PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH RED SWITCHGRASS	648	#1 CONT.	18" O.C.	
SSC	SCHIZACHYRIUM SCOPARIUM 'CAROUSEL'	CAROUSEL LITTLE BLUESTEM	770	#1 CONT.	18" O.C.	
SSM	SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA'	BLUE HEAVEN LITTLE BLUESTEM	545	#1 CONT.	18" O.C.	
SH	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1,337	#1 CONT.	18" O.C.	
PERENNIAL FORBS & GROUNDCOVERS						
AH	AMSONIA HUBRICHTII	ARKANSAS BLUE STAR	167	#1 CONT.	18" O.C.	
AM	ALLIUM 'MILLENIUM'	ORNAMENTAL ONION	23	#1 CONT.	18" O.C.	
AMM	ACHILLEA MILLEFOLIUM 'MOONSHINE'	MOONSHINE YARROW	88	#1 CONT.	12" O.C.	
AT	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	463	#1 CONT.	18" O.C.	
BS	BAPTISIA SPHAEROCARPA	YELLOW WILD INDIGO	183	#1 CONT.	18" O.C.	
BSS	BAPTISIA 'STARLIGHT'	STARLIGHT PRAIRIE BLUES FALSE INDIGO	203	#1 CONT.	18" O.C.	
CV	COREOPSIS VERTICILLATA 'ZAGREB'	THREADLEAF COREOPSIS	218	#1 CONT.	18" O.C.	
ED	EUPATORIUM DUBLUM 'LITTLE JOE'	DWARF JOE PYE WEED	208	#1 CONT.	18" O.C.	
EF	EUPATORIUM FISTULOSUM	JOE PYE WEED	189	#1 CONT.	18" O.C.	
EP	ECHINACEA PALLIDA	PALE PURPLE CONEFLOWER	250	#1 CONT.	18" O.C.	
EPP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	364	#1 CONT.	18" O.C.	
LS	LIATRIS SPICATA 'KOBOLD'	GAYFEATHER	607	#1 CONT.	18" O.C.	
PDT	PENSTEMON 'DARK TOWERS'	DARK TOWERS BEARDSTONGUE	276	#1 CONT.	18" O.C.	
PT	PYCANTHEMUM TENUIFOLIUM	SLENDER MOUNTAIN MINT	543	#1 CONT.	18" O.C.	
RFG	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN	442	#1 CONT.	18" O.C.	
RH	RUELLIA HUMILIS	WILD PETUNIA	365	#1 CONT.	18" O.C.	
RL	RUDBECKIA LACINIATA 'HERBSTSONNE'	AUTUMN SUN CONEFLOWER	139	#1 CONT.	18" O.C.	
SA	SALVIA AZUREA	BLUE SAGE	209	#1 CONT.	18" O.C.	
SN	SYMPHYOTRICHUM NOVA-ANGILAE 'PURPLE DOME'	NEW ENGLAND ASTER 'PURPLE DOME'	106	#1 CONT.	18" O.C.	
SS	SOLIDAGO SPECIOSA	SHOWY GOLDENROD	286	#1 CONT.	18" O.C.	
ZA	ZIZIA AUREA	GOLDEN ALEXANDER	131	#1 CONT.	18" O.C.	
VINES						
PQ	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	3	QT.	PER PLAN	
DECIDUOUS SHRUBS						
EAC	EUONYMUS ALATUS 'COMPACTUS'	DWARF-WINGED BURNING BUSH	1	#5 CONT.	PER PLAN	
TURF						
LBG	BUCHLOE DACTYLOIDES 'LEGACY'	LEGACY BUFFALO GRASS	104 SF	SOD		
TF	DROUGHT TOLERANT FESCUE BLEND	PER SPECS ON L100	18,934 67,448	SOD SEED & STRAW		WHERE INDICATED W/ CROSSHATCH ON L101



1	ENLARGED LANDSCAPE PLAN - SCOPE OF WORK
L102	1/16" = 1'-0"

General Contractor:	HELIOS CONSTRUCTION ATTN: ZACH BENCUR 2324 W. FULTON ST. CHICAGO, IL 60612 1-219-384-9303
Civil Engineer:	V3 COMPANIES ATTN: RYAN SMYKOWSKI 444 N. WELLS ST., SUITE 602 CHICAGO, IL 60654 1-630-651-9868
Structural Engineer:	ROCKEY STRUCTURES, LLC ATTN: DAVID PARDO 751 S. CLARK ST., SUITE 200 CHICAGO, IL 60605 1-314-681-0372
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not for construction

INDIANA # AR12100250

3 FLOYDS TAPROOM

RENOVATION & EXPANSION
9750 INDIANA PARKWAY,
MUNSTER, IN 46321

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Sheet Title

LANDSCAPE PLAN -
ENLARGED

Project Number:
Sheet Number:

23002

Drawn By:

Author

Issue Date

L102

