



PLAN COMMISSION STAFF REPORT

To: Members of the Plan Commission

From: Rachel Christenson, AICP, On-call Planner for the Town of Munster

Meeting Date: June 13, 2023

Agenda Item: PC Docket No. 23-012

Application: **Zoning Amendment – Planned Unit Development Amendment**

Hearing: **PRELIMINARY HEARING**

Summary: Dave Otte/Community Foundation of NWI, Inc. is requesting approval of an amendment to Ordinance 1206: The CFNI Business Planned Unit Development to accommodate an addition to the existing Diagnostic Center Building in Block 2.

Applicant: Dave Otte / Community Foundation of NWI, Inc.

Property Address: 10010-10020 Donald S. Powers Drive

Current Zoning: Planned Unit Development

Adjacent Zoning: North: CZ
South: General Urban – B District
East: General Urban – B District
West: PUD

Action Requested: Preliminary Hearing

Additional Actions Requested: **Public Hearing**
Findings of Fact
Town Council Approval

Staff Recommendation: Move petition to a Public Hearing on July 11, 2023

Attachments:

1. PUD Amendment Application
2. Munster MRI Building Addition prepared by Torrenga Engineering dated 06.02.2023
3. Floor Plan prepared by Shive Hattery dated 05.17.2023
4. Building Elevations prepared by Shive Hattery dated 05.24.2023
5. Ordinance 1206 and subsequent site approvals

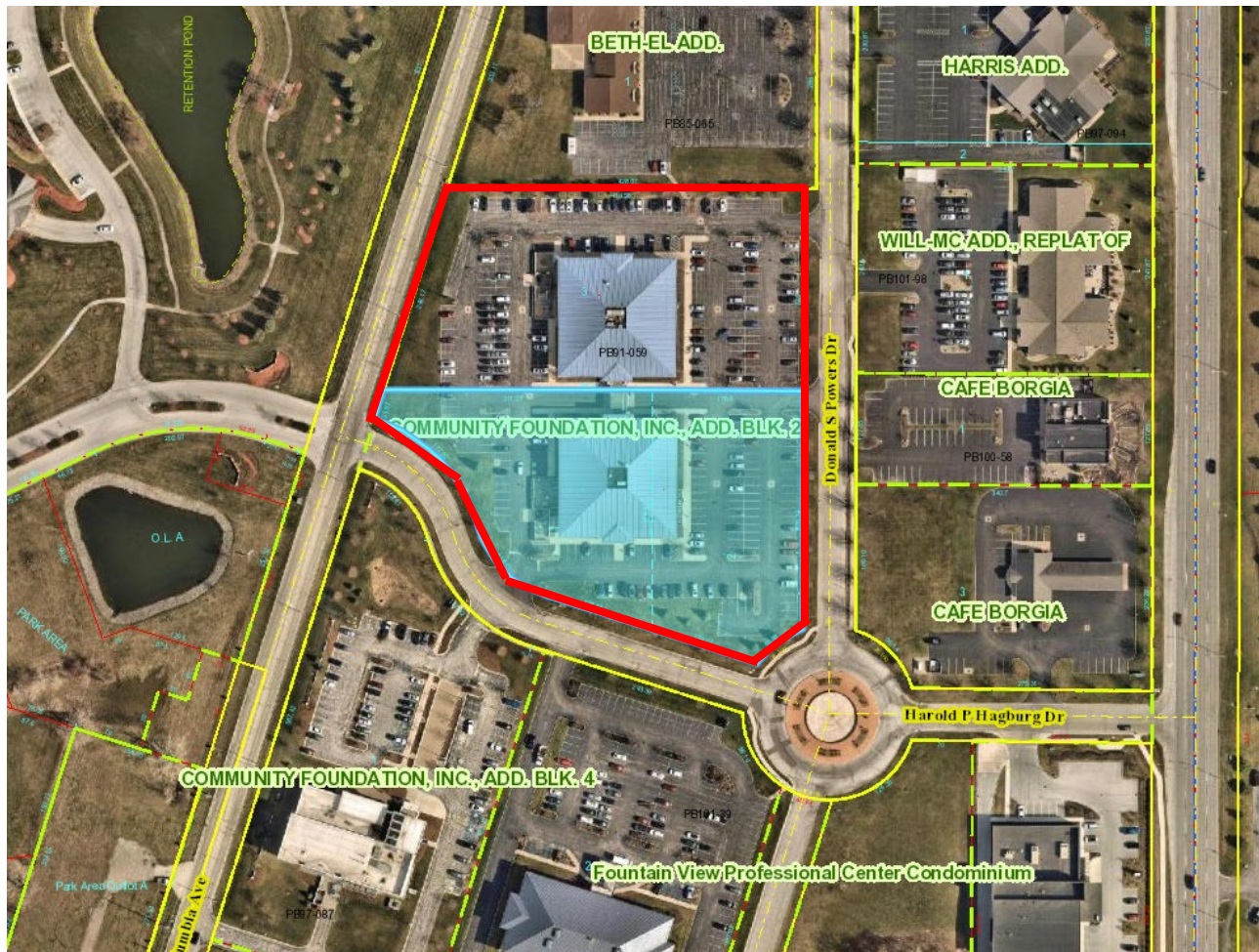
BACKGROUND

Figure 1: CFNI Business Planned Unit Development outlined in red. Block 2 is highlighted in blue.

Dave Otte/Community Foundation of NWI, Inc. has applied for an amendment to the CFNI Business Planned Unit Development to accommodate an addition to the existing diagnostic center in Block 2 of the development.

The PUD is currently governed by Ordinance 1206 which established the CFNI Business Planned Unit Development at 10010 – 10020 Donald S. Powers Drive, an approximately 4.9-acre parcel located at

1005 Ridge Road • Munster, IN 46321 • (219) 836-8810 • Police/Fire Emergencies 911

Police Non-Emergency (219) 836-6600 • Fire Non-Emergency (219) 836-6960

www.munster.org

the northwest quadrant of the intersection of Donald S. Powers Drive and Harold P Hagburg Drive. The ordinance was adopted in January 2003 by the Munster Town Council, on the recommendation of the Plan Commission.

In 2022, a permit was pulled for an interior remodel that required the landscaping to be updated to the Town's new landscape standards.

The petitioner is proposing an addition to the east side of the diagnostic center building to accommodate an expansion to the MRS Suite and CT Scan Suite, for a total addition of approximately 2,000 square feet. This addition would reduce the number of parking spaces in the adjacent parking lot (Lot 2) by 11 spaces.

SITE PLAN MODIFICATIONS

Here is a summary chart of the proposed changes by the petitioner:

Lot Number	Proposed
1	<ul style="list-style-type: none"> • No changes proposed.
2	<ul style="list-style-type: none"> • 2,000 SF expansion to east side of structure + fenced-in chiller area • Removal of 11 parking spaces

The proposed modifications to Lot 2 are occurring on a relatively small area of the site that has been previously developed. The proposed changes do not require modifications to the site's landscape plan, lighting plan, or drainage plan.

ANALYSIS

The proposed PUD amendment is seeking to supersede the previously adopted PUD Ordinance and Development Plan for the CFNI Business Plan Unit Development. Although it was challenging to find the approved Development Plan from 2003, Staff used the approved landscape plan from 2022 as a guide in this analysis as well as the Munster Character-Based Code.

The use of the site with the addition will remain medical, which was the approved use in 2003. The landscaping on Lots 1 and 2 were updated to meet the Town's Zoning Code in 2022 when a permit was requested for an interior remodel. In terms of lot coverage, the addition is proposed for the east side of the structure where there are existing asphalt parking spots and concrete sidewalks – meaning the lot coverage will stay the same.

There will be a reduction in parking by 11 spaces. One of the original drawings of the site show that 127 parking spaces were being planned for a 32,258 SF medical-use structure in 2002. It is unclear if this document had been approved by the Town Council or not. The approved Site/Landscape Plan from 2022 indicates the two lots had 148 parking spaces.

Document	# Parking Spaces	SF of Structure
2002 Site Plan	127	32,258 (estimated)
2022 Landscape Plan	148	32,258 (estimated)
2023 Proposed Site Plan	137	34,258 (estimated)

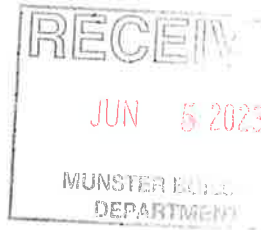
The Munster Character-Based Code requires 5.7 spaces per 1,000 SF of floor area for medical uses. Using this as a guide, the site would need to have 195 parking spaces.

Before the Public Hearing, staff would like more information submitted about the fence or screening material around the chiller.

MOTION

The Plan Commission may wish to consider the following motion:

Motion to send PC Docket No. 23-012 to a Public Hearing at the next Plan Commission meeting on July 11, 2023.



Petition PC 23-012
Date: 6/5/23
Application Fee: \$ 805.00
Sign Fee: \$ _____

Town of Munster Plan Commission Petition Application

OWNER INFORMATION:

Community Foundation of Northwest Indiana Inc.
Name of Owner

(219)689-7310
Phone Number

10020 Donald S. Powers Drive, Munster, IN 46321
Street address, City, ST, ZIP Code

dotte@comhs.org
Email address

APPLICANT OR PETITIONER INFORMATION (if different than above):

Dave Otte / Community Foundation of NWI, Inc.
Name of Applicant/Petitioner

(219)689-7310
Phone Number

905 Ridge Road, Munster, IN 46321
Street address, City, ST, ZIP Code

dotte@comhs.org
Email address

PROPERTY INFORMATION:

Community Foundation, Inc, Add. Blk 2 P.U.D. as described in Ordinance 1206
Business or Development Name (if applicable)

10010-10020 Donald S. Powers Dr. Munster IN 46321
Address of Property or Legal Description

P.U.D.
Current Zoning

APPLICATION INFORMATION:

Please select what this Application is for:

- ☐ **Subdivision** If yes, select one of the following: ☐ **Preliminary Plat** ☐ **Final Plat**
☐ **Development Plan Review**
☒ **Rezoning (including Planned Unit Development) – Proposed Zoning District**

Amendment to the PUD

Brief Description of Project:

To amend the current PUD for Community Foundation Inc., Add. Blk 2 to accomodate
the addition proposed to the east side of existing Diagnostic Center Building
for an addition to the MRS Suite and CT Scan Suite, for a total addition of 2,000±
square feet.

Torrenge Engineering, Inc.
Name of Registered Engineer, Architect or Land Surveyor

(219)836-8918
Phone Number

907 Ridge Road, Munster, IN 46321
Street address, City, ST, ZIP Code

don.torrenge@torrenge.com
Email address



Petition PC 23 . 012

Town of Munster Plan Commission Application Signature Page

Don Torrenga

I hereby authorize Torrenga Engineering to act on my behalf as my agent in this petition and to furnish, upon request, supplemental information in support of this petition application.

David J Ott

Signature of Owner

June 5, 2023

Date

David J Ott

Signature of Applicant

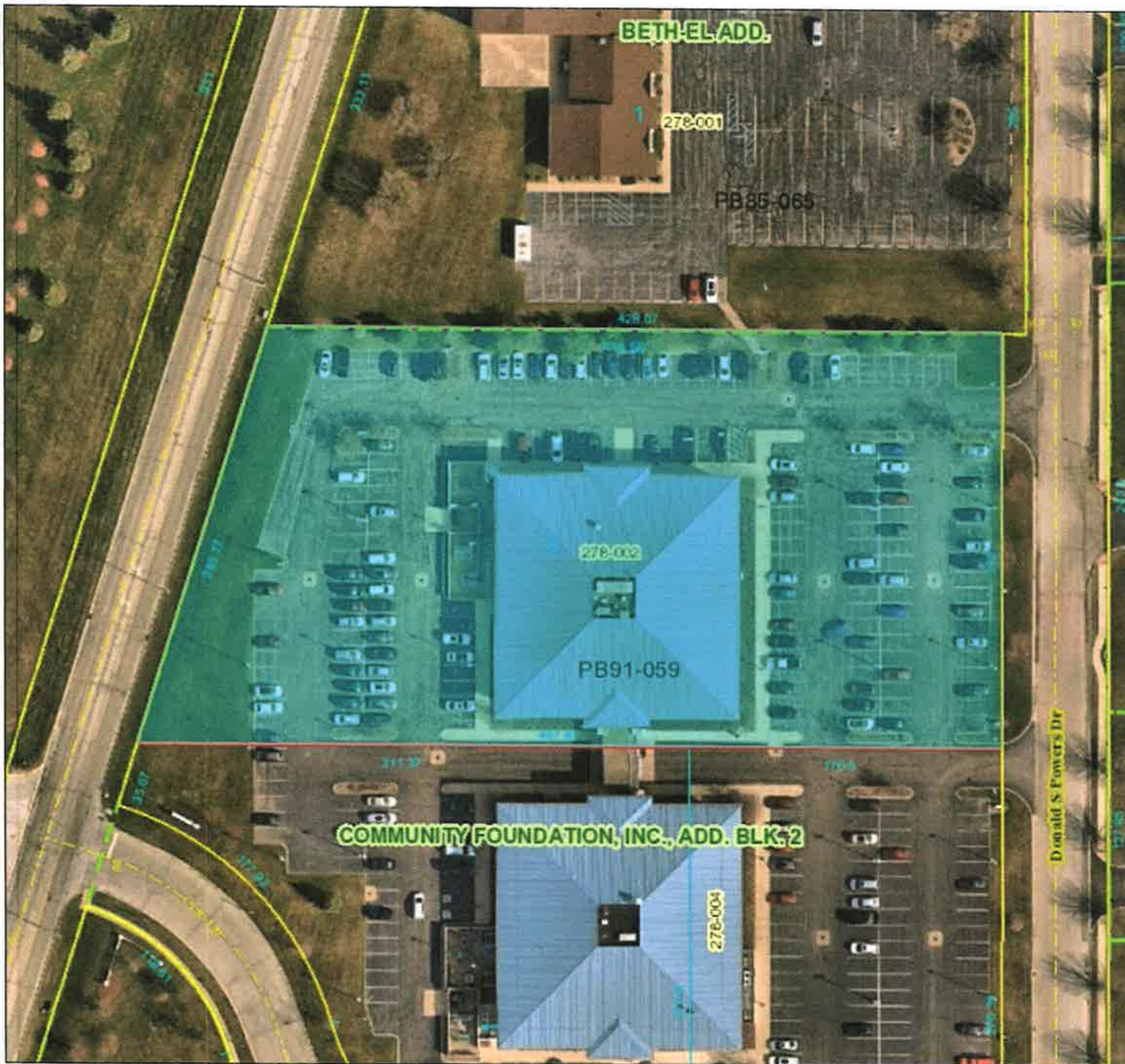
June 5, 2023

Date



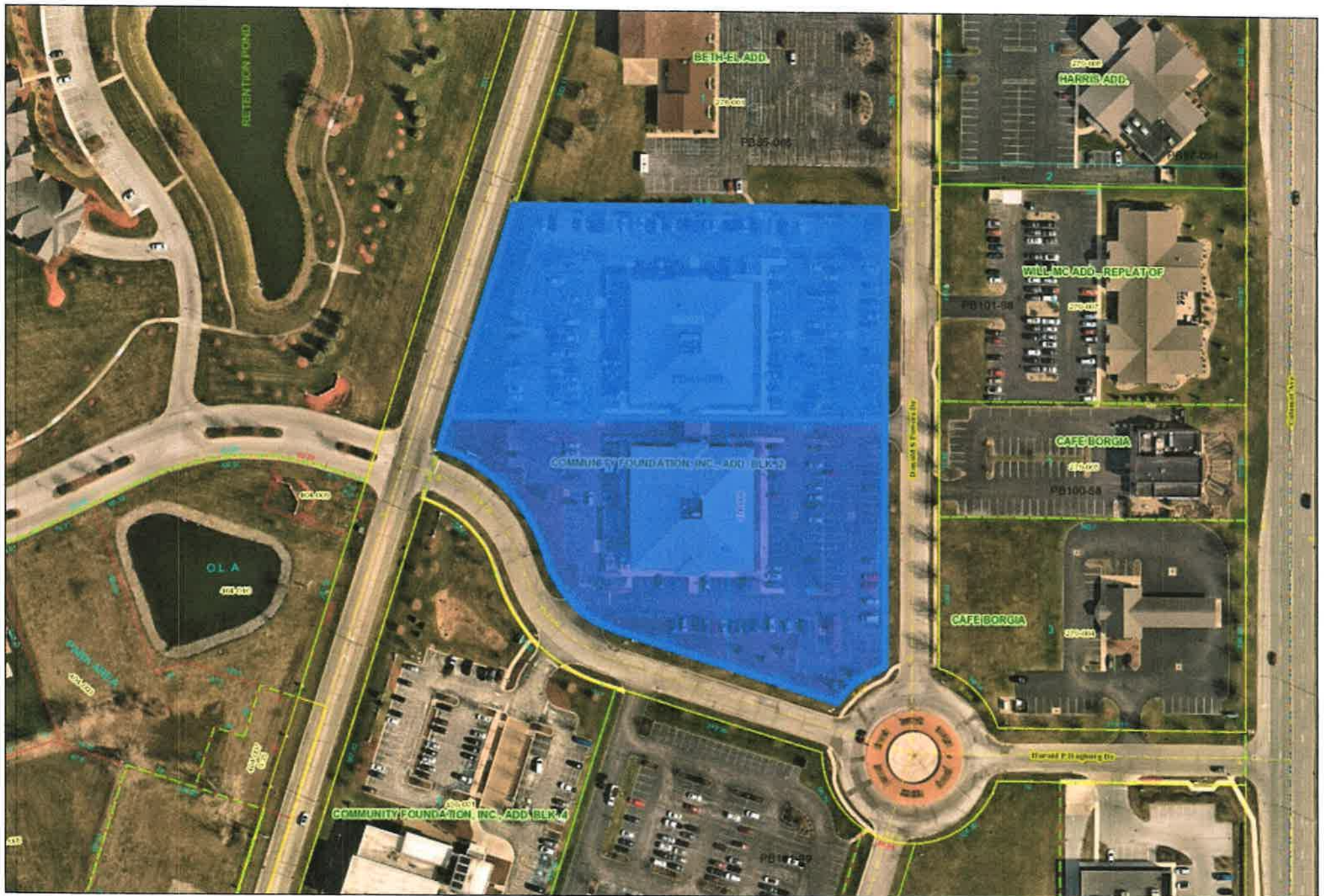
Parcel Number: 45-06-36-278-004.000-027
 Owner1: Community Foundation of Northwest Indiana Inc
 Mailing Address: 10010 Donald Powers Dr Ste 201 Munster IN 46321
 Site Address: 631 HAROLD P HAGBURG DR MUNSTER IN 46321
 Tax Code: 027
 Tax Description: Munster
 Legal Description: Community Foundation Inc. Addition Block Two Lots 1 & 2
 Net Acreage: 0
 Sec Twp Rng: 36 36 10
 Property Class: Medical clinic or offices
 Zoning Code: 0
 Use Code: 0
 TIF: 027 Ridge Road/Calumet Avenue
 Deductions: Charitable

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Parcel Number: 45-06-36-278-002.000-027
 Owner1: Northwest Indiana Clinics LLC
 Mailing Address: 10010 Donald S Powers DR
 Munster IN 46321
 Site Address: 10010 DONALD S POWERS DR
 MUNSTER IN 46321
 Tax Code: 027
 Tax Description: Munster
 Legal Description: Community Foundation Inc.
 Addition Block Two Lot 3
 Net Acreage: 0
 Sec Twp Rng: 36 36 10
 Property Class: Medical clinic or offices
 Zoning Code: 0
 Use Code: 0
 TIF: 027 Ridge Road/Calumet Avenue

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Enter Map Title...

Web Print: 06/02/2023

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



©2023 Sidwell. All rights reserved.

ORDINANCE NO. 1206

AN ORDINANCE RECLASSIFYING CERTAIN REAL ESTATE IN THE TOWN OF MUNSTER, INDIANA, AS PLANNED UNIT DEVELOPMENT FOR ZONING PURPOSES, AND AMENDING THE TOWN OF MUNSTER ZONING ORDINANCE (CFNI BUSINESS PLANNED UNIT DEVELOPMENT)

WHEREAS, the Town Council of the Town of Munster, Indiana (hereinafter the "Council"), did previously adopt an ordinance known as the Munster Municipal Code Chapter 29, and also known as the Town of Munster, Indiana Zoning Ordinance, in 1961 (hereinafter the "Zoning Ordinance");

WHEREAS, Community Foundation of Northwest Indiana, Inc. (hereinafter "Community"), filed a petition with the Plan Commission of the Town of Munster, Indiana (hereinafter the "Plan Commission") to re-zone certain real estate within the Town of Munster, Indiana, as a Planned Unit Development, which real estate is legally described on Exhibit A attached hereto and made a part hereof (hereinafter the "Real Estate");

WHEREAS, said petition was assigned Plan Commission Docket No. 2002-018, and considered initially at the regular meeting of November 12, 2002;

WHEREAS, following notice by publication and notice to interested parties as required by Indiana Code Section 36-7-4-604(b) and Indiana Code Section 5-3-1-2(b), and the rules and regulations of the Plan Commission, a public hearing was held by the Plan Commission on December 10, 2002;

WHEREAS, the Plan Commission, after public hearing, has recommended that the Zoning Ordinance be amended pursuant to Section 26-751 and has certified said recommendation to the Council pursuant to Indiana Code Section 36-7-4-605, as required by Indiana Code Section 36-7-4-608(b) so as to provide that the Real Estate be classified as a Planned Unit Development, and has made the following findings as required by Section 26-754 of the Zoning Ordinance; and:

- 1) The uses proposed will not be detrimental to present and potential surrounding uses but will have a beneficial affect which could not be achieved under any other district.
- 2) An amendment to the terms of this Chapter 26 of the Zoning Ordinance is warranted by the design and amenities incorporated in the development plan.
- 3) Land surrounding the proposed development either can be planned in coordination with the proposed development or will be compatible in use.
- 4) The proposed change to a Planned Unit Development district is in conformance with the general intent of the comprehensive master plan.

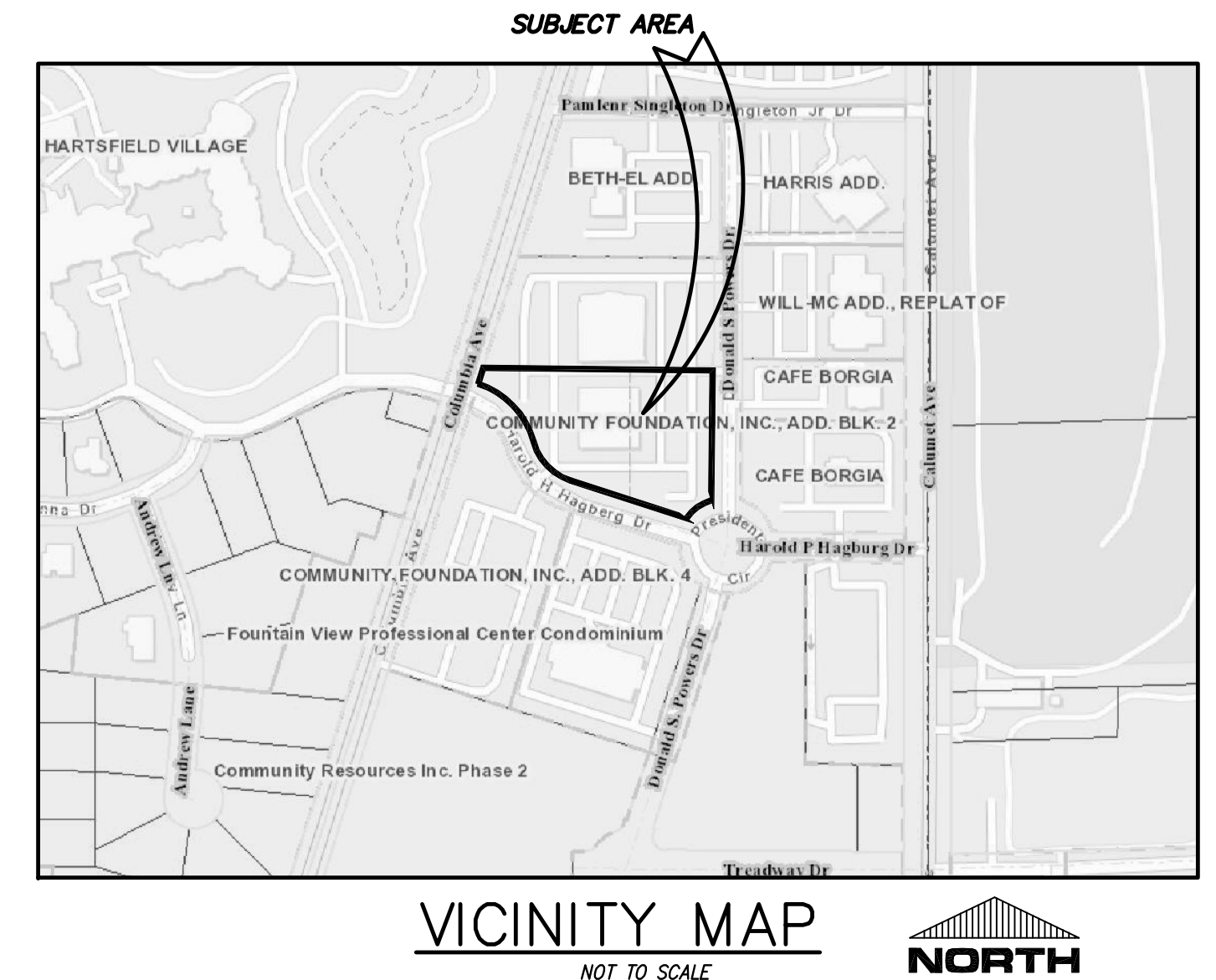
MUNSTER MRI BUILDING ADDITION

LOTS 1 & 2 IN COMMUNITY FOUNDATION INC. ADDITION, BLOCK 2

INDEX	
PAGE	DESCRIPTION
COVER	TITLE PAGE
C-1.0	EXISTING CONDITION
C-1.1	DEMOLITION PLAN
C-2.0	SITE PLAN
C-3.0	UTILITY & GRADING PLAN

LEGAL DESCRIPTION:

LOTS 1 & 2 IN COMMUNITY FOUNDATION INC. ADDITION, BLOCK 2, TO THE TOWN OF MUNSTER, INDIANA, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 91, PAGE 59, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.



Know what's below.
Call before you dig.

"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
811 or 1-800-382-5544
CALL TOLL FREE

PER INDIANA STATE LAW IC8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

County: Lake

SE Qtr., Sec. 36, T. 36 N. R. 10 W.

Township: MUNSTER

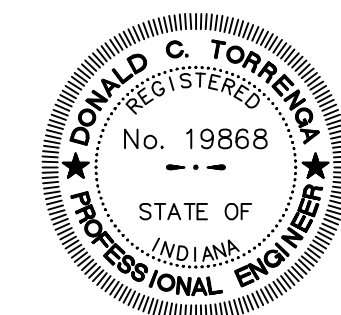
DATE AND REVISIONS:

1	06-02-2023	PRIMARY SUBMITTAL	DT/EM
NO.	DATE	DESCRIPTION	BY

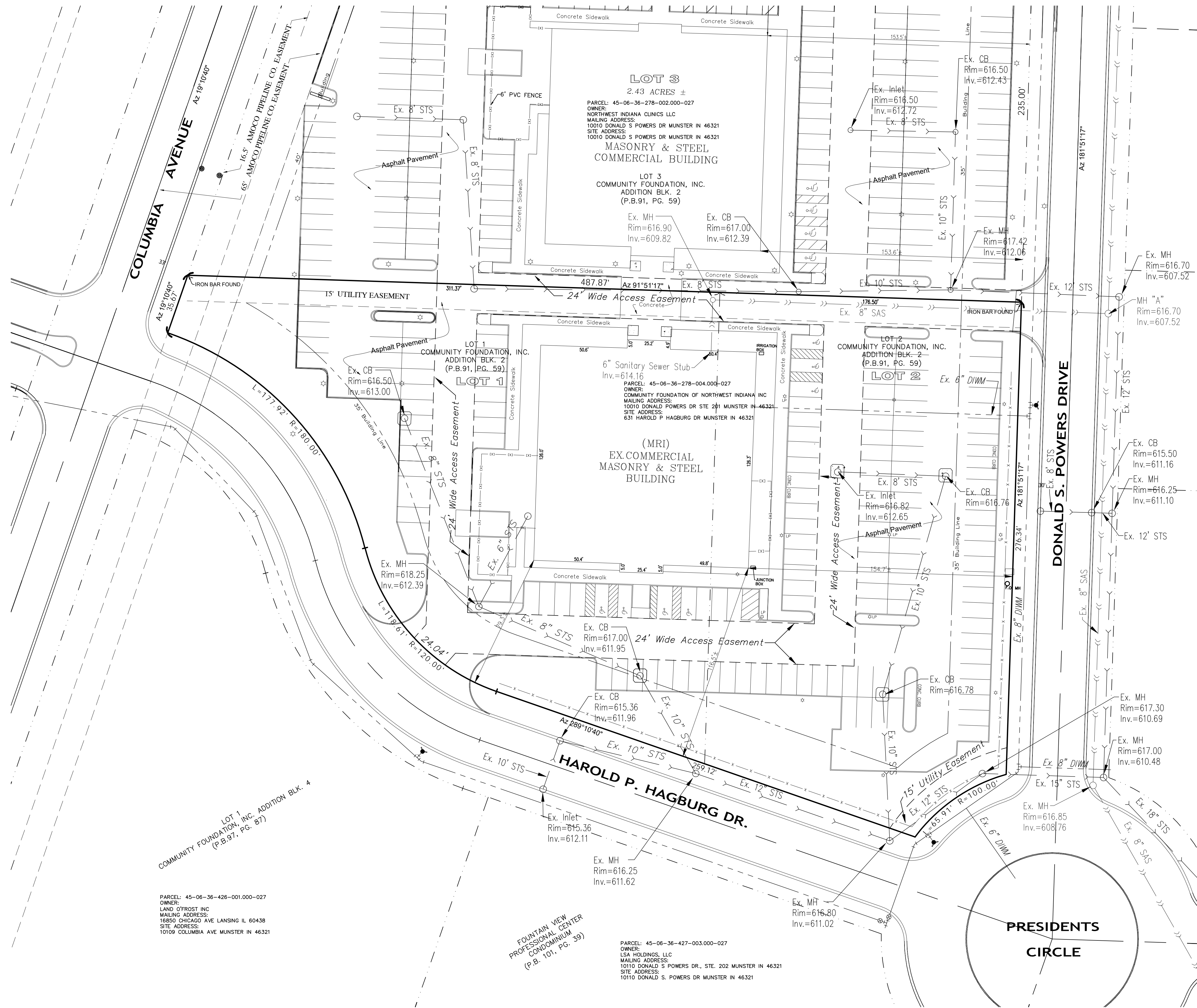
CLIENT/OWNER:
Shive-Hattery
57 Franklin Street
Valparaiso, IN 46383

PREPARED BY:
Torrenga Engineering, Inc.
907 Ridge Road
Munster, Indiana 46321
(219)836-8918

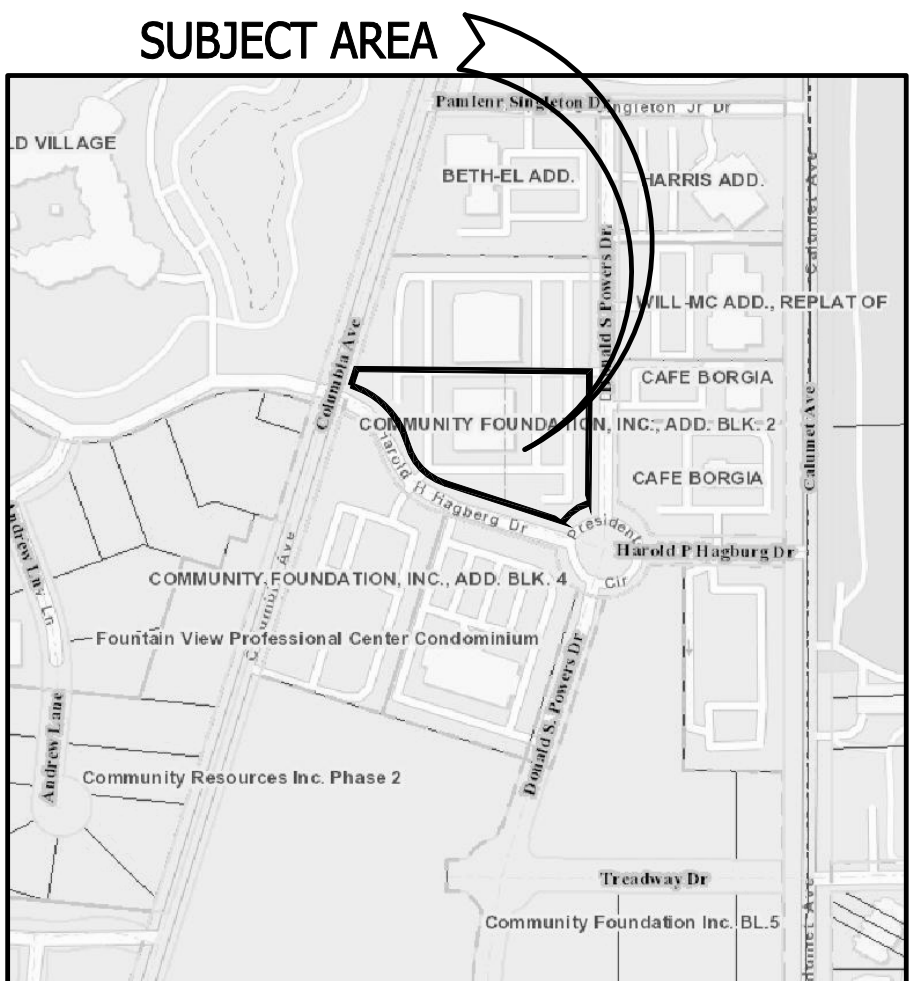
CERTIFIED BY: DONALD C. TORRENGA
P.E. # 19868



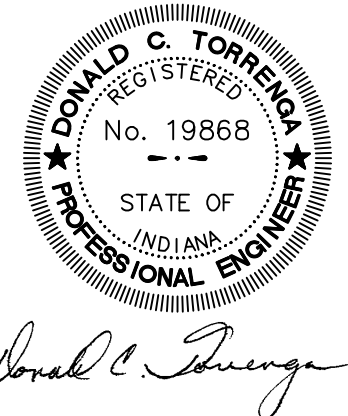
Donald C. Torrenga



LEGAL DESCRIPTION:
LOTS 1 & 2 IN COMMUNITY FOUNDATION INC. ADDITION, BLOCK 2, TO THE TOWN OF MUNSTER, INDIANA, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 91, PAGE 59, IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.



VICINITY MAP
NOT TO SCALE



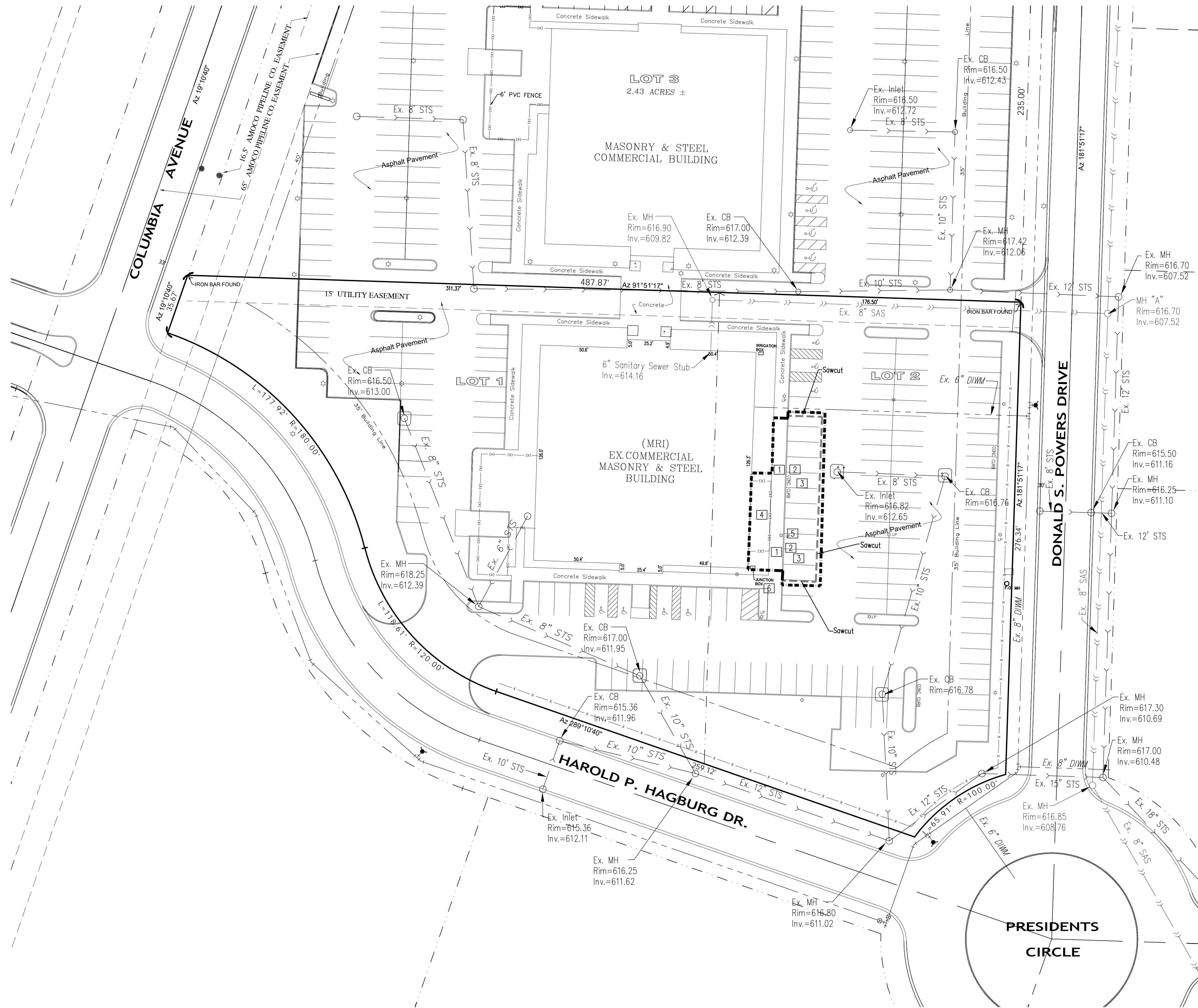
TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918
website: www.torrenge.com

MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
EXISTING CONDITION

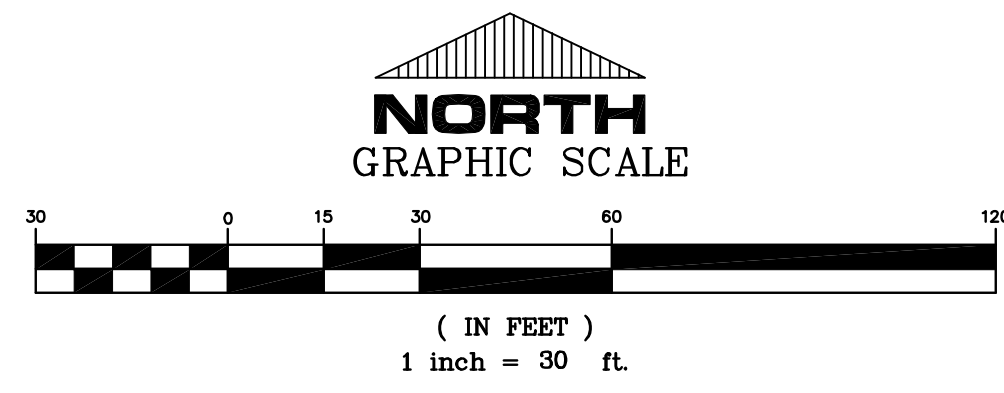
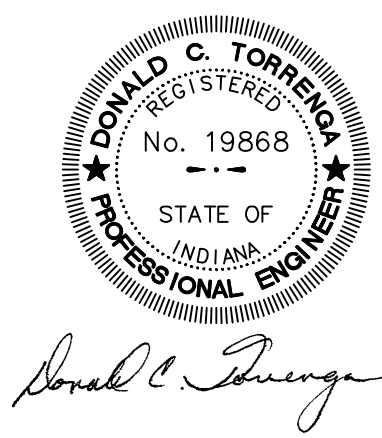
CLIENT:
Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383

JOB NO: 2023-5019
SCALE: 1" = 30'

SHEET
C-1.0



- DEMOLITION NOTES**
- 1 REMOVE CONCRETE WALK
 - 2 REMOVE CURB
 - 3 REMOVE PAVEMENT
 - 4 REMOVE FENCE
 - 5 REMOVE AND RELOCATE LIGHT POLE
 - 6 RELOCATE JUNCTION BOX



TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918 website: www.torrengea.com

**MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
DEMOLITION PLAN**

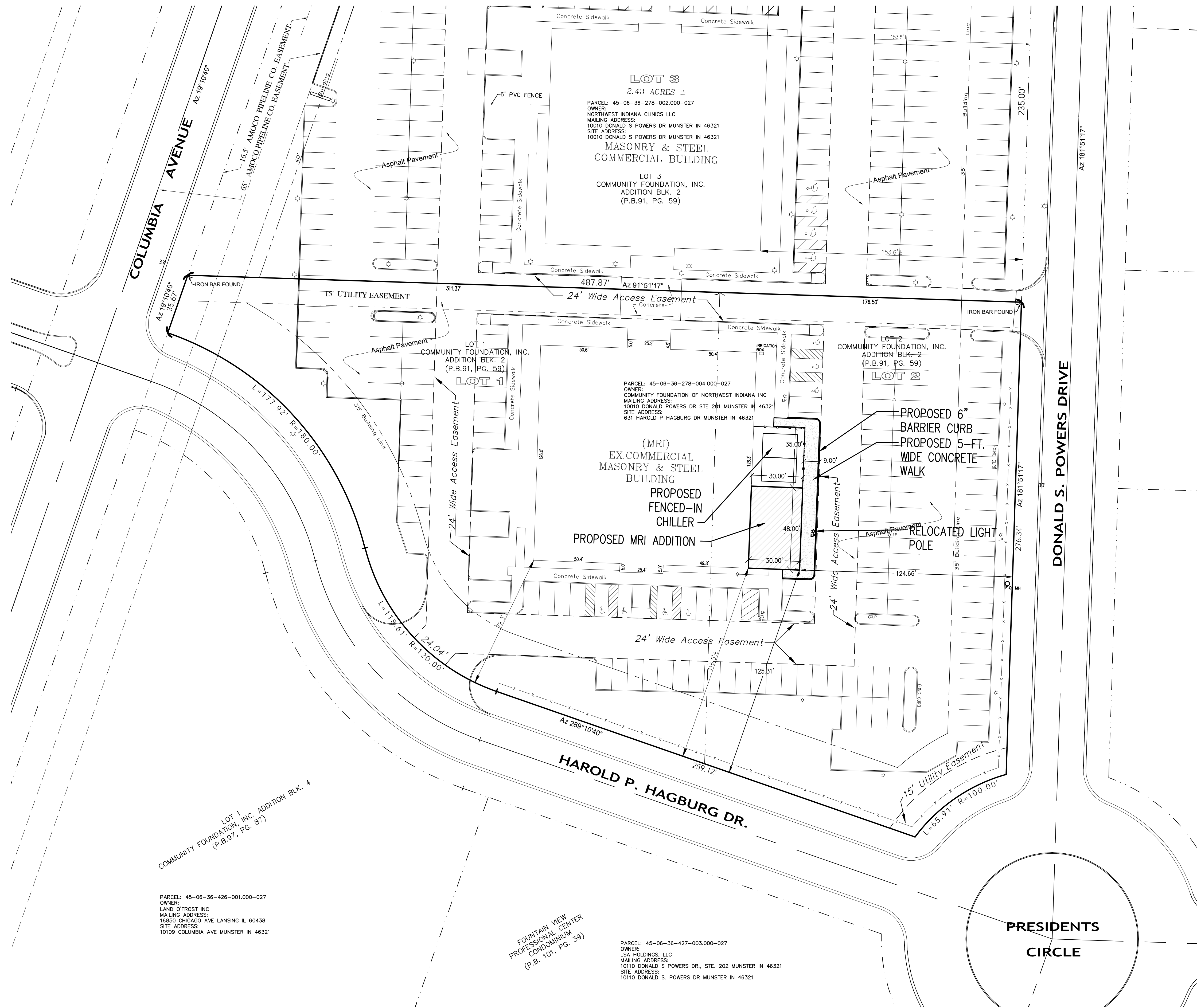
CLIENT:
Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383

JOB NO: 2023-5019
SCALE: 1" = 30'

REVISIONS:
DATE: 06-02-2023

SHEET
C-1.1

FILE NO: 2023-5019 MRI Munster.dwg 2023-5019 MRI Munster.dwg 5/25/2023 11:37:57 AM CDT



LOT 1
COMMUNITY FOUNDATION, INC. ADDITION BLK. 4
(P.B.97, PG. 87)

PARCEL: 45-06-36-426-001.000-027
OWNER:
LAND O'TROST INC
MAILING ADDRESS:
16850 CHICAGO AVE LANSING IL 60438
SITE ADDRESS:
10109 COLUMBIA AVE MUNSTER IN 46321

FOUNTAIN VIEW
PROFESSIONAL CENTER
(P.B. 101, PG. 39)

PARCEL: 45-06-36-427-003.000-027
OWNER:
LSA HOLDINGS, LLC
MAILING ADDRESS:
10110 DONALD S POWERS DR., STE. 202 MUNSTER IN 46321
SITE ADDRESS:
10110 DONALD S. POWERS DR MUNSTER IN 46321

NORTH
GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

Donal C. Torrence

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918 website: www.torrenga.com

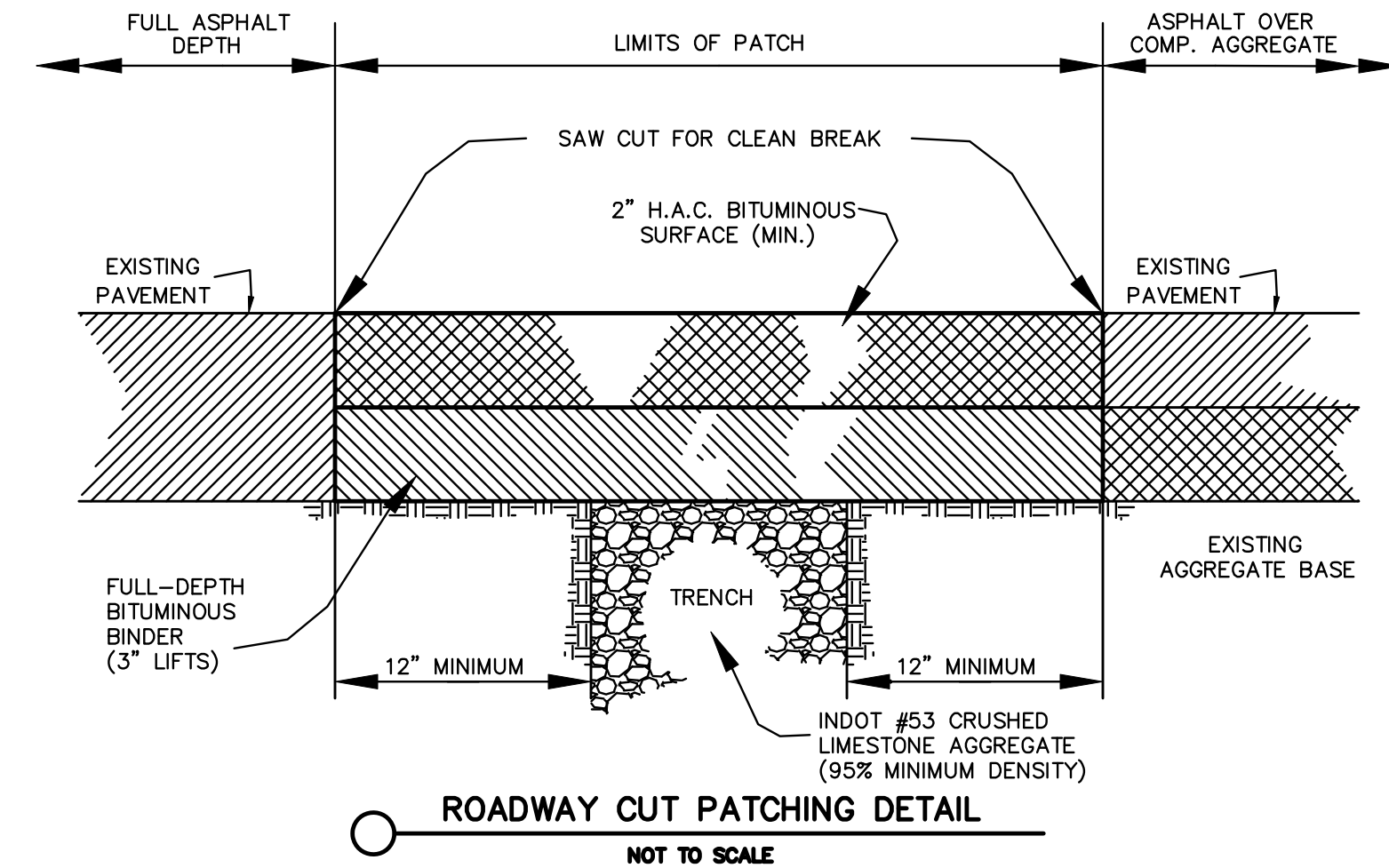
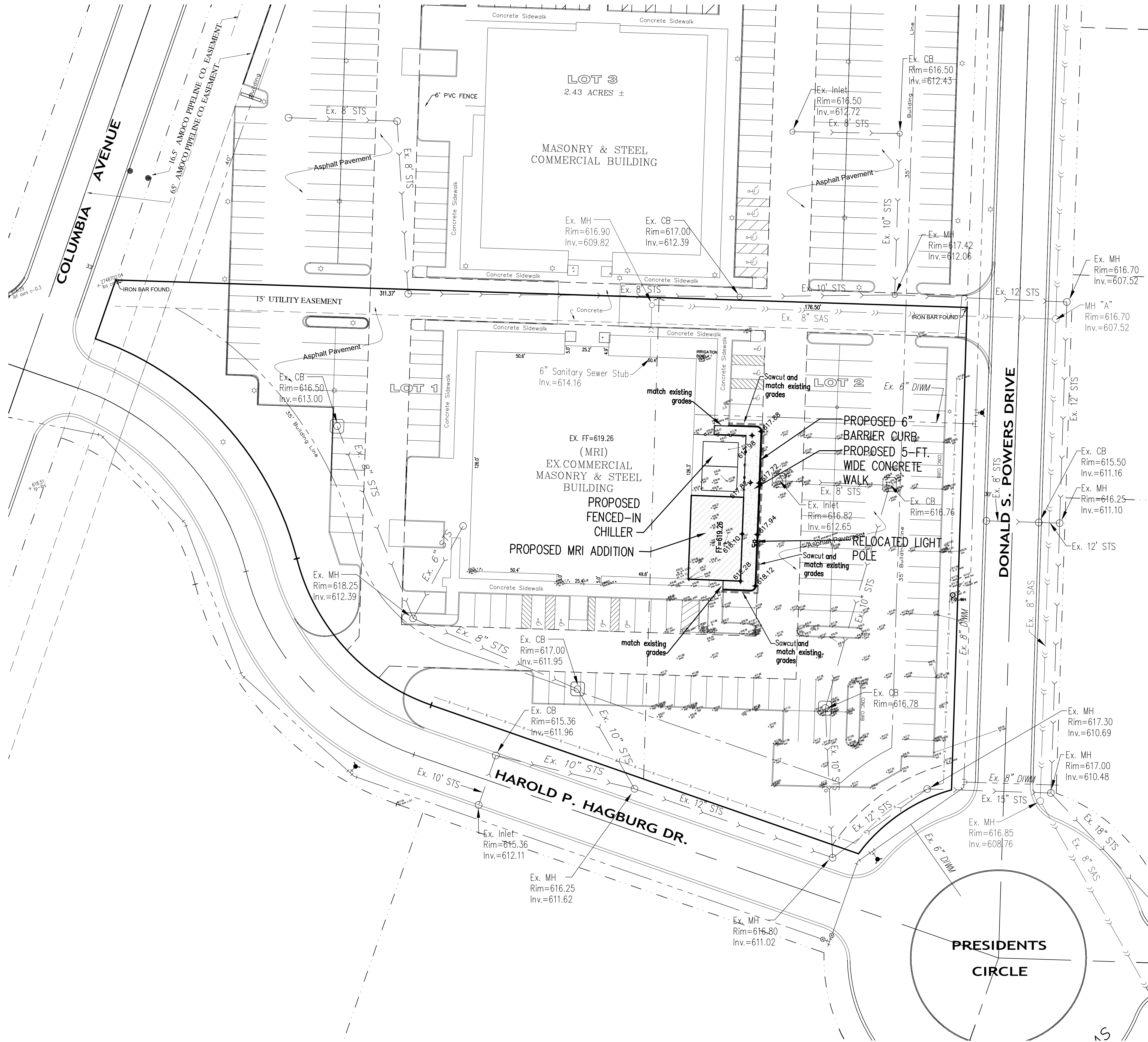
MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
SITE PLAN

CLIENT:
Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383

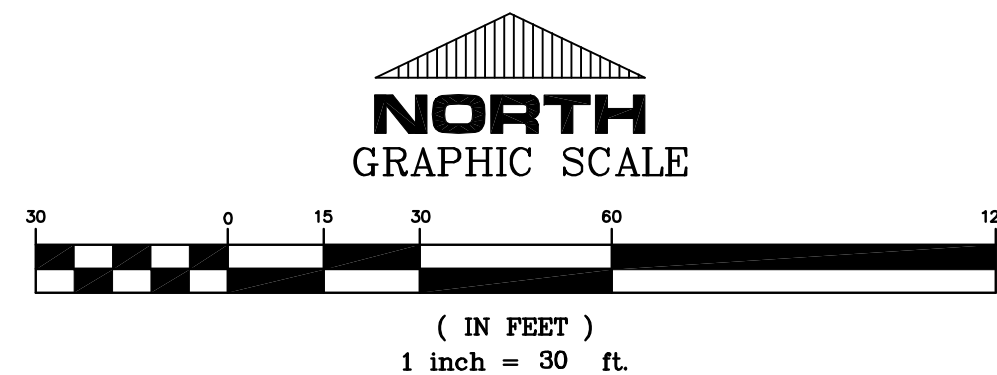
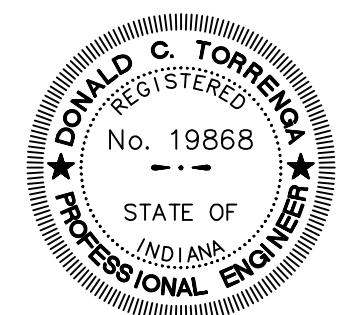
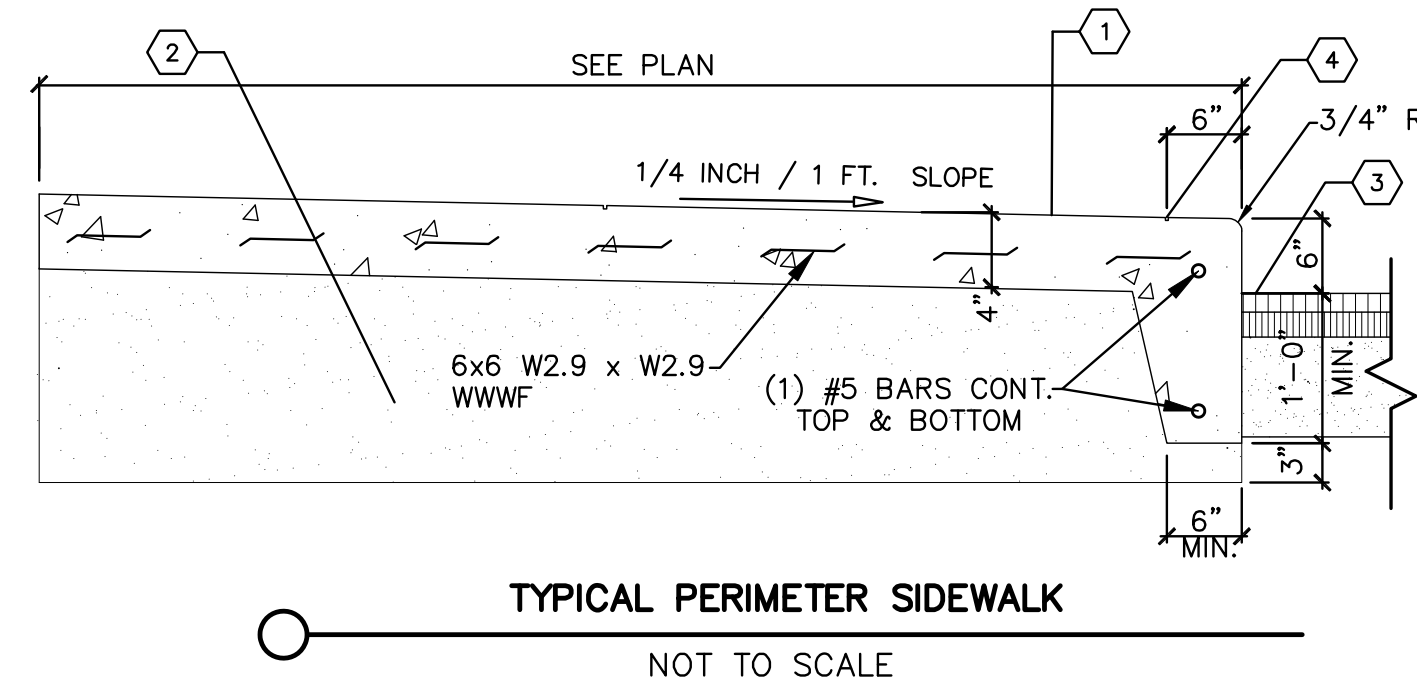
JOB NO: 2023-5019
SCALE: 1" = 30'

REVISIONS:
DATE: 06-02-2023

SHEET
C-2.0



- KEYED NOTES
- ① 4" THICK CONC. BROOM FINISH WITH 6X6 W2.9XW2.9 WWVF
 - ② 6" COMPACTED GRANULAR FILL
 - ③ EXISTING/PROPOSED PAVEMENT
 - ④ 1/4" TOOLED JOINT (SEE TYPICAL SIDEWALK DETAIL)

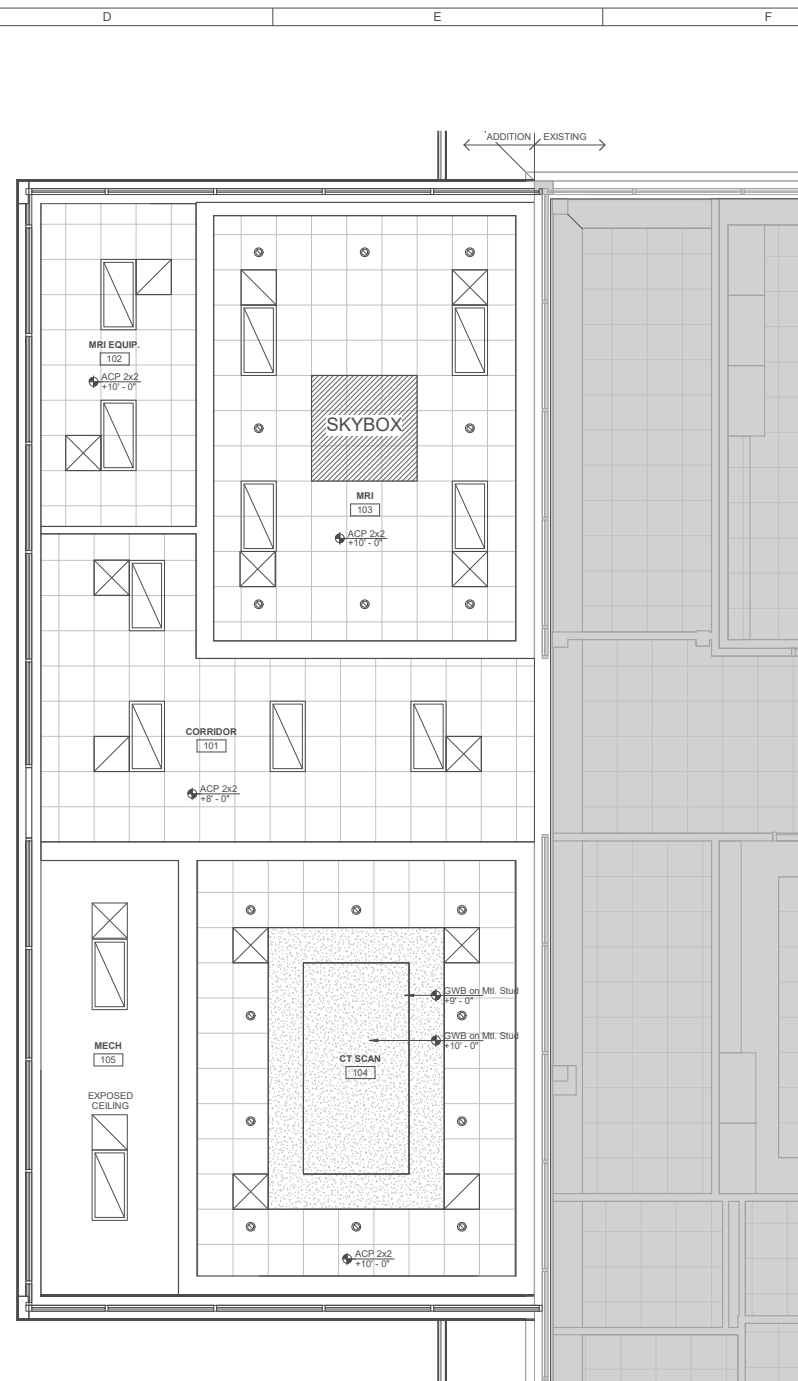
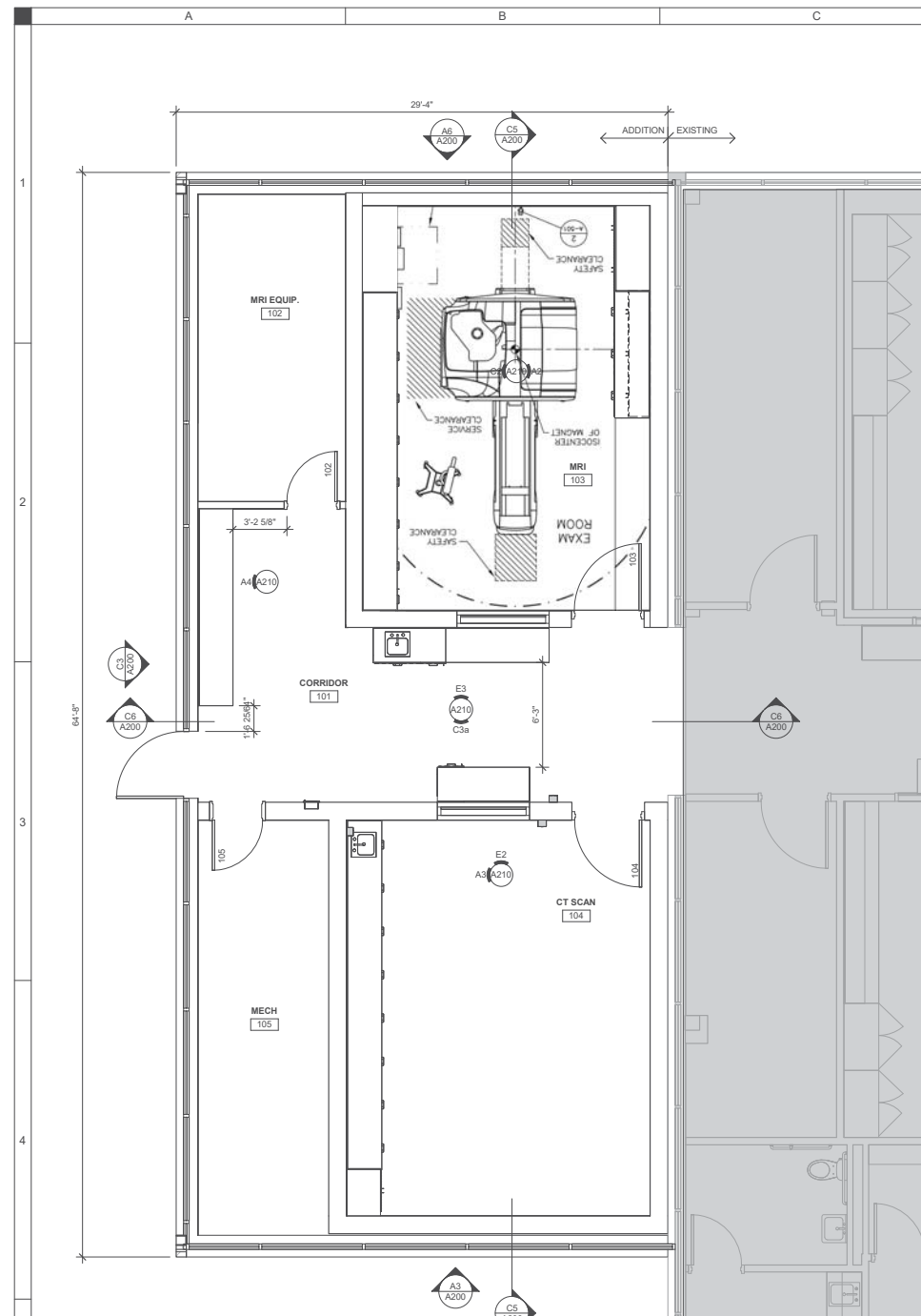


MUNSTER MRI BUILDING ADDITION
LOTS 1 & 2, COMMUNITY FOUNDATION
INC. ADDITION, BLOCK 2
UTILITY & GRADING PLAN

TORRENGA ENGINEERING, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
907 RIDGE ROAD, MUNSTER, INDIANA 46321
Tel. No.: (219) 836-8918 website: www.torrenge.com




CLIENT:
Shive-Hattery
57 Franklin Street, Suite 201
Valparaiso, IN 46383
JOB NO: 2023-5019
SCALE: 1" = 30'

SHEET
C-3.0



- ## ARCHITECTURAL DEMOLITION NOTES
1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION WORK. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN WORK SHOWN IN THE DRAWINGS AND EXISTING CONDITIONS.
 2. TO PROTECT OWNER AND CONTRACTOR, PHOTOGRAPHICALLY DOCUMENT EXISTING CONDITIONS TO REMAIN, PRIOR TO START OF DEMOLITION AND CONSTRUCTION ACTIVITIES. COPY ARCHITECT AND OWNER ON PHOTOGRAPHIC DOCUMENTATION.
 3. OPEN FLAME EQUIPMENT IS NOT PERMITTED FOR REMOVAL OF EXISTING WORK WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE OWNER.
 4. COORDINATE WITH OWNER ANY ITEMS TO BE SALVAGED.
 5. OWNER WILL REMOVE ALL NON-FIXED FURNISHINGS AND EQUIPMENT FROM THE CONSTRUCTION AREA PRIOR TO START OF CONSTRUCTION UNLESS NOTED OTHERWISE.
 6. MAINTAIN BUILDING IN A WEATHER-TIGHT CONDITION. DO NOT PERFORM WORK ON A WEATHER-TIGHT CONDITION THAT CANNOT BE COMPLETED OR MADE WEATHER-TIGHT WHEN INCLEMENT WEATHER IS POSSIBLE.
 7. REMOVE FLOOR MATERIALS TO THE EXISTENT SHOW OR DESIGN LINE IN THE EXISTING FLOOR. REMOVE ALL EXISTING ADHESIVE, GROUTING BEDS, ANCHORING DEVICES, ASSOCIATED WALL BASE, ETC. CLEAN AND PREPARE SURFACES FOR INSTALLATION OF NEW FLOOR MATERIALS.
 8. SEE STRUCTURAL DRAWINGS FOR LITELS AT NEW PENETRATIONS THROUGH EXISTING FLOOR. COORDINATE PENETRATION LOCATIONS WITH ASSOCIATED TRADES.
 9. COORDINATE WITH OTHER TRADES CUTTING AND PATCHING REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION.
 10. ANY DEMOLITION OR REMOVAL INDICATED IS SHOWN IN GENERAL TO PROVIDE THE EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED A GUARANTEE OF EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR IN FIELD VERIFICATION AND COORDINATION WITH THE ARCHITECT PRIOR TO COMMENCING WITH STATED WORK.
 11. ALL CONSTRUCTION TO REMAIN WHICH IS AFFECTED BY DEMOLITION SHALL BE PATCHED, BE PROPERLY ALIGNED AND FINISHED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR. REPAIR OR REPLACE ANY EXISTING CONSTRUCTION OR EQUIPMENT DAMAGED DURING DEMOLITION TO LIKE NEW CONDITION.
 12. THE CONTRACTOR IS TO RETURN SALVAGEABLE MATERIALS, INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, HARDWARE, ETC. TO THE EQUIPMENT AND LIGHTING FIXTURES TO THE OWNER AND STOCKPILE THEM IN AN APPROVED CONSTRUCTION AREA. DISPOSE OF THESE MATERIALS AFTER OWNER'S REVIEW AND APPROVAL.
 13. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL FINISHES TO REMAIN IN THE PROJECT AREA. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO DEMOLITION.
 14. CONTRACTOR SHALL ENSURE THAT DUST AND DEBRIS ARE PREVENTED FROM ENTERING THE EXISTING HVAC SYSTEM THROUGH OPENING SPACES. TEMPORARY BARRIERS AS REQUIRED PER THE BUILDING.
 15. INDICATION OF NEW MATERIALS SHALL INFER ALL REMOVAL OF DEMOLITION AND PATCHING REQUIRED OF EXISTING MATERIALS AND SUBSTRATES FOR PROPER ALIGNMENT.
 16. ALL NEW AND EXISTING PENETRATIONS IN EXISTING WALLS, FLOORS AND CEILING DECKS SHALL BE THE RESPONSIBILITY OF THE PRIME CONTRACTOR AND SHALL RECEIVE UL FLOOR AND CEILING PENETRATION RATING. THE PRIME CONTRACTOR SHALL MEET THE RATCH RATING REQUIREMENT OF AREA BEING PENETRATED.

- ## FLOOR PLAN NOTES
1. COORDINATE THE LOCATION OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL. PROVIDE BLOCKING FOR TOILET PARTITIONS, CLOSET ACCESSORIES, GRAB BARS, HANDRAILS, COAT HOOKS, SHELVING, FITTING ROOM PARTITIONS, WALL-MOUNTED TOILET SURFACES, MIRROR, AND OTHER ACCESSORIES IN MILKROOM, ETC., AS REQUIRED FOR ANCHORING IN DRYWALL PARTITIONS. COORDINATE WITH OWNER FOR LOCATIONS OF ALL SERVICE VEHICLES TO BE INSTALLED BY CONTRACTOR THAT REQUIRE BLOCKING. WOOD BLOCKING TO BE FIRE RETARDANT WHERE REQUIRED BY CODE.
 2. WATER-RESISTANT GYPSEUM BOARD SHALL BE USED FOR STUD PARTITIONS IN TOILET ROOMS, JANITOR'S CLOSETS, FIRE ESCAPE ENCLOSURES, MECHANICAL ROOMS, AND OTHER ADDITIONAL LOCATIONS DESIGNATED IN CONTRACT DOCUMENTS.
 3. WHERE STRUCTURAL ELEMENTS INTERFERE WITH FIRE-RATED PARTITIONS, FRAME TOP OF WALL AROUND STRUCTURAL ELEMENTS.
 4. REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL INFORMATION REGARDING ITEMS PENETRATING FLOORS, WALLS, AND CEILINGS.
 5. ALL NEW PARTITIONS ARE DIMENSIONED TO FACE OF STUD, MASONRY, OR CONCRETE COMPONENT UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING ELEMENTS ARE TO EXPOSED FACE.
 6. ALL DOORS IN STUD WALL CONSTRUCTION ARE TO BE LOCATED WITH EDGE OF FRAME 4" FROM FACE OF ADJACENT PARTITION UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING DOORS ARE TO EXISTING FACE. ALL WALLS ARE GIVEN TO OUTSIDE EDGE OF FRAME.

- ### FLOOR PLAN SYMBOLS LEGEND
- | | |
|---|---------------------|
|  | DOOR MARK |
|  | GLAZED OPENING MARK |
|  | NOT IN SCOPE |

KEYNOTES	
KEY	NOTE

- ## CEILING PLAN NOTES
1. NOTIFY ARCHITECT OF INADEQUATE CLEARANCES FOR CEILING LAYOUT PRIOR TO COMMENCING WORK.
 2. LOCATIONS OF LIGHT FIXTURES, DIFFUSERS, ETC. SHALL BE AS SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS AND SHALL NOT BE MODIFIED FOR ANY CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION. REFER TO DRAWINGS AND SPECIFICATIONS OF ALL ACCESSORIES FOR SYSTEM DESIGN AND ADDITIONAL INFORMATION.
 3. COORDINATE WITH ALL TRADES TO CONFIRM THEIR WORK CAN BE INSTALLED TO ACHIEVE CEILING HEIGHTS AS SHOWN. ANY OBSTACLE SHALL BE IDENTIFIED AND ALWAYS INDICATED OTHERWISE BY THE ARCHITECT.
 - ELECTRICAL LIGHTING FIXTURES
 - MECHANICAL GRILLES / DIFFUSERS
 - MECHANICAL DUCTWORK
 - ELECTRICAL CONDUIT
 - PIPING SYSTEMS
 4. COORDINATE WITH ALL TRADES TO CONFIRM THE LOCATION OF ACCESS PANELS WITH ASSOCIATED INSTALLED EQUIPMENT. THE ARCHITECT SHALL BE NOTIFIED OF ANY SUGGESTIONS PRIOR TO INSTALLATION AND CONSTRUCTION OF NEW WORK.
 5. ALL CEILING LIGHT FIXTURES TO BE CENTERED ON CEILING PANELS UNLESS SHOWN OTHERWISE. GRID OR PANEL IS TO BE CENTERED IN ROOM UNLESS SHOWN AND DIMENSIONED OTHERWISE.
 6. ALL CEILING PANELS TO BE [CP-1] UNLESS NOTED OTHERWISE
 7. SOFFITS TO RECEIVE [DESIGNATE FINISH] ON VERTICAL AND HORIZONTAL SURFACES [UNLESS NOTED OTHERWISE]

- | CEILING PLAN SYMBOLS LEGEND | |
|-----------------------------|---|
| | CEILING MATERIAL DESIGNATION |
| | CEILING HEIGHT |
| | ACCENT FINISH DESIGNATION |
| | GYPSUM BOARD CEILING/ SOFFIT.
SEE MATERIAL FINISH LEGEND |
| | ACOUSTICAL CEILING PANEL
SEE MATERIAL FINISH LEGEND |
| | SURFACE LIGHT |
| | RECESSED LIGHT |
| | SURFACE LIGHT |
| | SUSPENDED OR PENDANT LIGHT |
| | RECESSED LIGHT |
| | STRIP LIGHT |
| | COVE LIGHT |
| | EXIT LIGHT |
| | ACCESS PANEL |
| | RETURN AIR GRILLE |
| | SUPPLY AIR GRILLE |
| | EXHAUST AIR GRILLE |
| | SPEAKER |
| | SMOKE DETECTOR |
| | NOT IN SCOPE |

