



# PLAN COMMISSION STAFF REPORT

**To:** Members of the Plan Commission

**From:** Tom Vander Woude, Planning Director

**Meeting Date:** December 13, 2022

**Agenda Item:** PC Docket No. 22-022

**Application:** **Development Plan**

**Hearing:** **PUBLIC HEARING**

**Summary:** Discalced Carmelite Fathers of Indiana, Inc. requesting approval of a development plan for a building arcade addition at 1628 Ridge Road.

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**Applicant:** Expert Building Maintenance, Inc. on behalf of Discalced Carmelite Fathers of Indiana, Inc

**Property Address:** 1628 Ridge Road

**Current Zoning:** CZ – CIVIC ZONE

**Adjacent Zoning:** North: CD-3.R2  
South: CZ, CD-3.R1  
East: CD-4.A, CD-3.R1, CD-3.R2  
West: CZ, CD-3.R2

**Action Requested:** Approve development plan

**Additional Actions Required:** Findings of Fact

**Staff Recommendation:** **Approval**

**Attachments:**

1. Proposed Arcade Addition prepared by Torrenga Engineering, Inc. dated 08.04.2022
2. Proposed Arcade Addition prepared by Andrzej Leja, AIA dated 10.10.2022

**BACKGROUND**

Figure 1: Subject property in blue.

Expert Building Maintenance, Inc. on behalf of Discalced Carmelite Fathers of Indiana, Inc has applied for approval of a development plan for a 1,130 square foot arcade addition. The proposed location of the arcade is along the north side of the existing hall. The arcade will provide a roof over existing parking spaces.

**Discussion**

The arcade, though a minor addition, must meet the development standards of the Civic Zone district in which the property is located.

Staff finds that the proposed addition complies with the relevant standards listed below:

1005 Ridge Road • Munster, IN 46321 • (219) 836-8810 • Police/Fire Emergencies 911

Police Non-Emergency (219) 836-6600 • Fire Non-Emergency (219) 836-6960

[www.munster.org](http://www.munster.org)

**1. Building Materials and Construction**

The proposed style and materials will match the existing buildings at the monastery site. It will be constructed of brick with arched openings.

**2. Landscaping**

All parking must be screened from the adjacent public right-of-way. The new parking spaces are already screened by a low wall and hedge. No additional landscaping is required.

**3. Stormwater**

No additional impervious surface is proposed, so no additional detention is needed.

**4. Lighting**

No additional lighting is proposed.

**5. Parking**

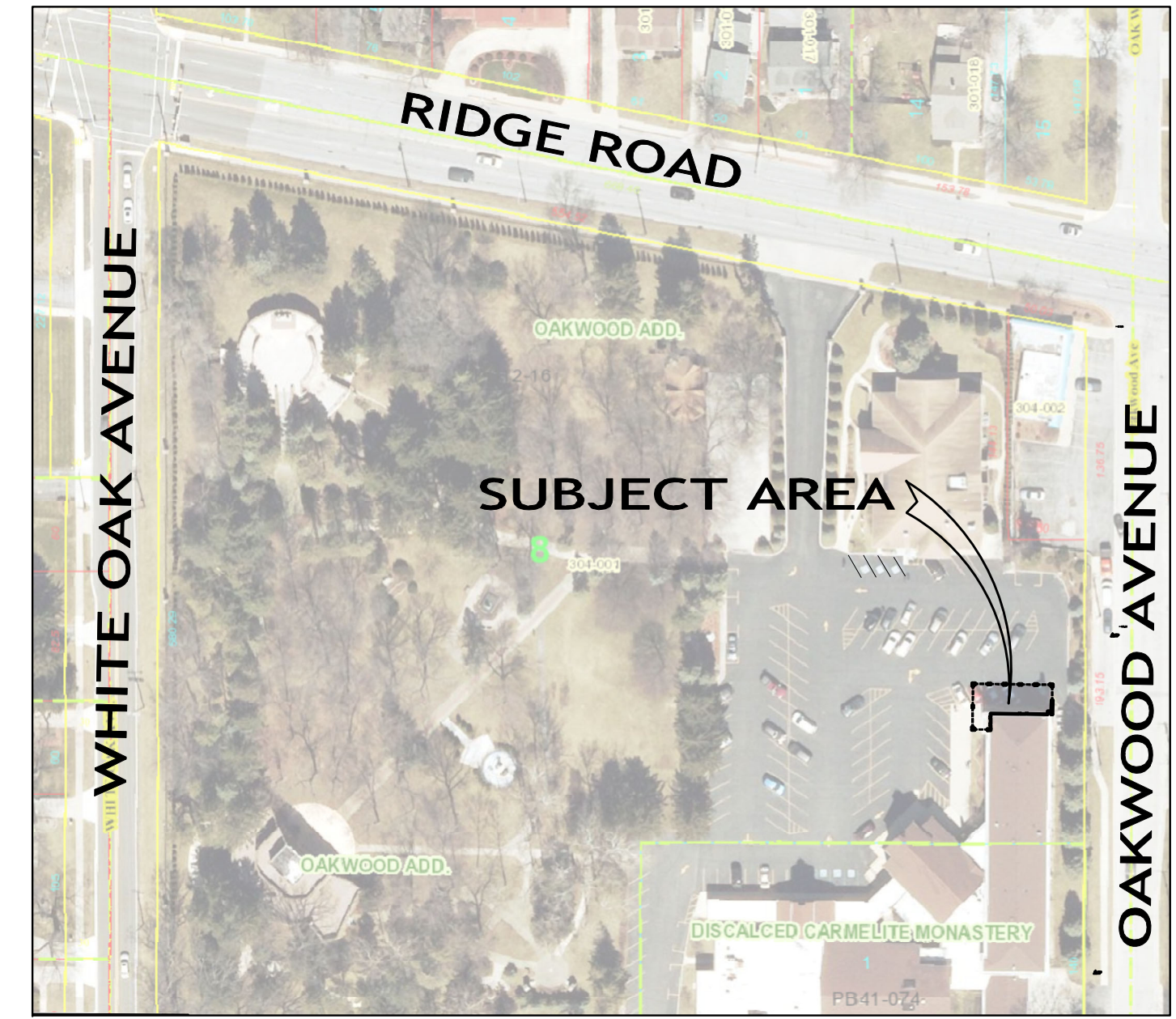
4 parking spaces will be removed to accommodate the drive lane for the new 90-degree parking spaces. The site currently includes 111 onsite parking spaces along with 4 garage spaces, 62 street parking spaces, and an overflow lot to the south on Wilson Street. The required parking for this site is 158 spaces.

**MOTION**

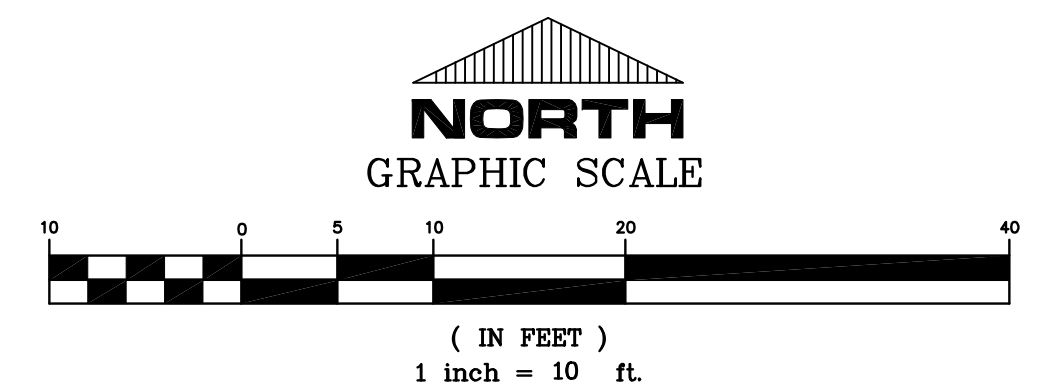
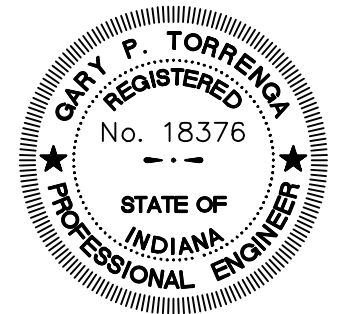
The Plan Commission may wish to consider the following motion:

*Motion to approve PC Docket No. 22-022 granting approval of a development plan for a building arcade addition at 1628 Ridge Road.*





# PROJECT SITES



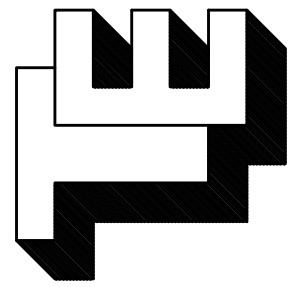
DISCALCED CARMELITE FATHERS  
1628 RIDGE ROAD, MUNSTER, IN 46321  
PROPOSED ARCADE ADDITION

CLIENT:  
Discalced Carmelite Fathers  
1628 Ridge Road  
Munster, Indiana 46321

JOB NO: 2022-5031

SCALE: 1" = 10'

**TORRENGA ENGINEERING, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
907 RIDGE ROAD, MUNSTER, INDIANA 46321  
Tel. No.: (219) 836-8918 website: [www.torrennga.com](http://www.torrennga.com)





# PROPOSED ARCADE ADDITION

1628 RIDGE ROAD  
MUNSTER, IN 46321

## CODE INFORMATION

**LEGAL DESCRIPTION**  
OAKWOOD ADD. BL.8 EX. PAR. IN NE & DISCALCED CARMELITE MONASTERY A RESUB. OF PT. OF BL.8  
OAKWOOD ADD LOT 1

**SITE ADDRESS**  
1628 RIDGE ROAD  
MUNSTER, IN 46321

**PROPERTY IDENTIFICATION NUMBER**  
45-07-20-304-001.000-027

**ZONING**  
THE FOLLOWING INFORMATION IS BASED ON TOWN OF MUNSTER ZONING INFORMATION.

**ZONING CLASS:** CZ CIVIC ZONE  
**CLASS:** 685 - EXEMPT RELIGIOUS

**LOT AREA:** NOT REGULATED

**LOT WIDTH:** NOT REGULATED

**SETBACKS**  
**FRONT SETBACK, PRINCIPAL FRONTAGE:** 0'-0" MINIMUM, 50% OF LOT DEPTH MAXIMUM

**FRONT SETBACK, SECONDARY FRONTAGE:** 0'-0" MINIMUM

**SIDE SETBACKS:** 0'-0" MINIMUM

**REAR SETBACK:** 0'-0" MINIMUM

**PARKING REQUIREMENTS**  
**PLACE OF WORSHIP:** 1 PER 3 AUDITORIUM SEATS + ADEQUATE BUS SPACE FOR ACTIVITIES  
OF INSTITUTION +PASSENGER LOADING SPACE

### CODE ANALYSIS:

GENERAL ADMINISTRATIVE RULES (675 IAC 12)  
INTERNATIONAL BUILDING CODE, 2012 W/ INDIANA AMENDMENTS (675 IAC 13)  
ACCESSIBLE & USABLE BUILDINGS & FACILITIES (ANSI A 117.1; ASCE-7-2005)  
INTERNATIONAL RESIDENTIAL CODE, 2003 W/ INDIANA AMENDMENTS (675 IAC 14)  
INTERNATIONAL PLUMBING CODE, 2012 W/ INDIANA AMENDMENTS (675 IAC 16)  
NATIONAL ELECTRICAL CODE, 2008 W/ INDIANA AMENDMENTS (675 IAC 17)  
INTERNATIONAL MECHANICAL CODE, 2012 W/ INDIANA AMENDMENTS (675 IAC 18)  
INDIANA ENERGY CONSERVATION CODE, 2010 (ASHRAE 90.1, 2007 EDITION, 675 IAC 19)  
INTERNATIONAL FIRE CODE, 2012 W/ INDIANA AMENDMENTS (675 IAC 22)  
SUPPLEMENTARY FIRE SAFETY RULES (675 IAC 24)  
INTERNATIONAL FUEL GAS CODE, 2012 W/ INDIANA AMENDMENTS (675 IAC 25)  
INDIANA VISITABILITY RULE (675 IAC 27)

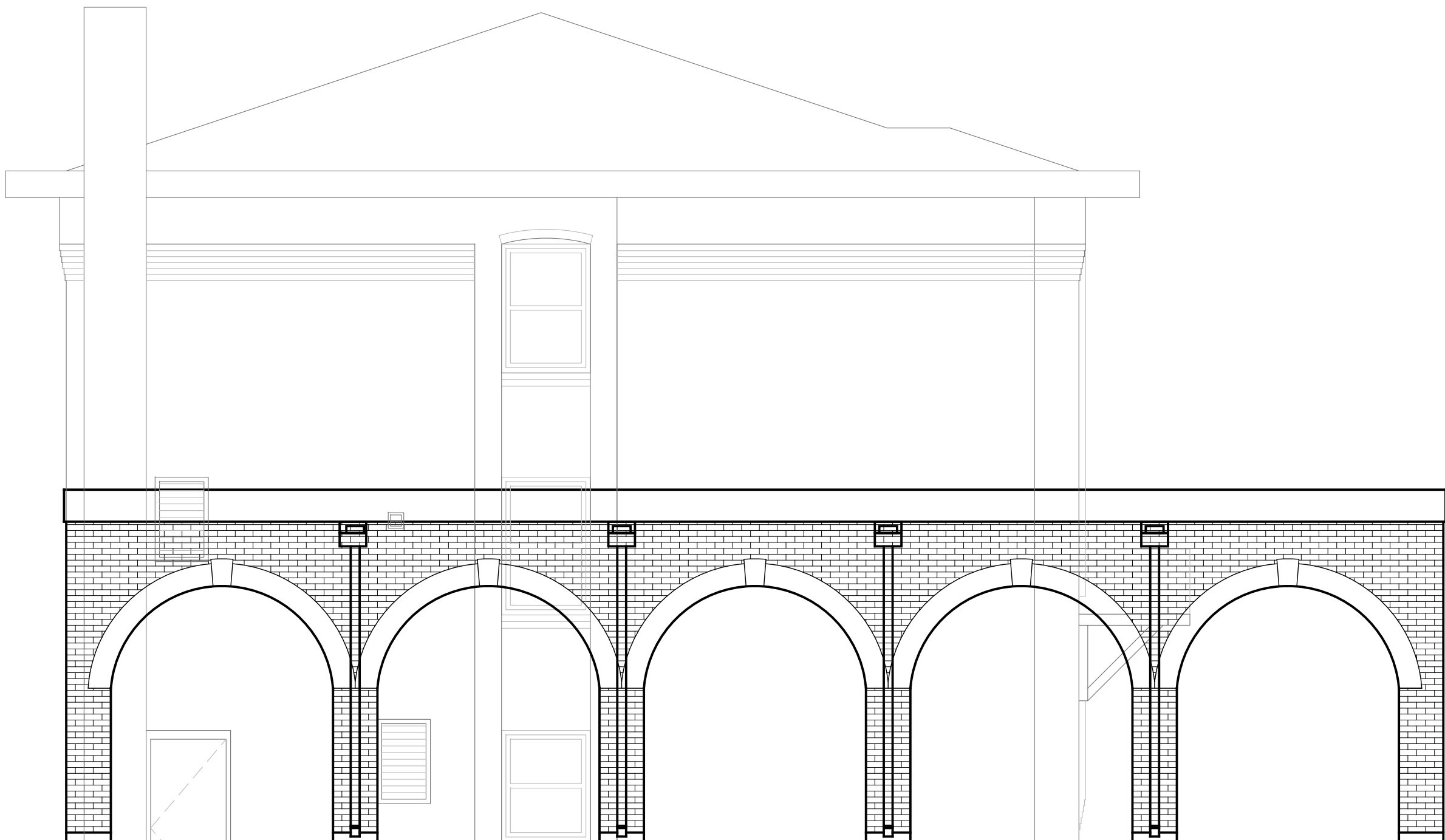
**CONSTRUCTION CLASSIFICATION:** TYPE 5B, UNPROTECTED CONSTRUCTION

### FIRE RESISTIVE REQUIREMENTS:

EXTERIOR NON-BEARING WALLS	½ HOURS
EXTERIOR BEARING WALLS	½ HOURS
INTERIOR COLUMNS SUPPORTING ROOF ONLY	0 HOURS
INTERIOR COLUMNS / BRACING	0 HOURS
BEAMS SUPPORTING ROOF ONLY	0 HOURS
BEAMS /GIRDERS	0 HOURS
FLOOR CONSTRUCTION	0 HOURS
ROOF CONSTRUCTION	0 HOURS
INTERIOR STAIRWAYS	0 HOURS
PIPE SHAFTS AND DUCTS	0 HOURS

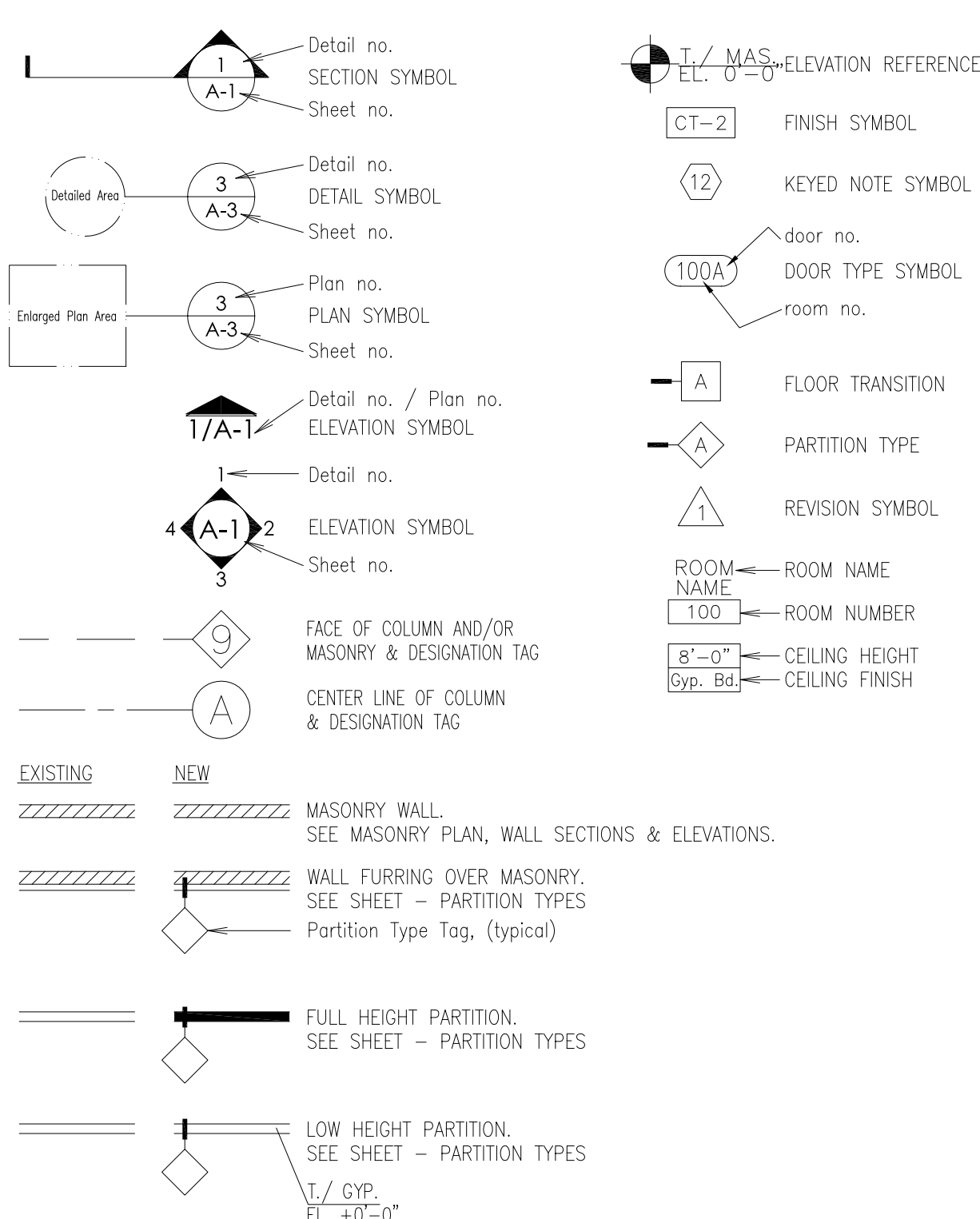
## SCOPE OF WORK

1. THE SCOPE OF WORK ON THE FIRST FLOOR IS TO INCLUDED THE FOLLOWING:  
1.1. ADDITION OF NEW COVERED ARCADE.



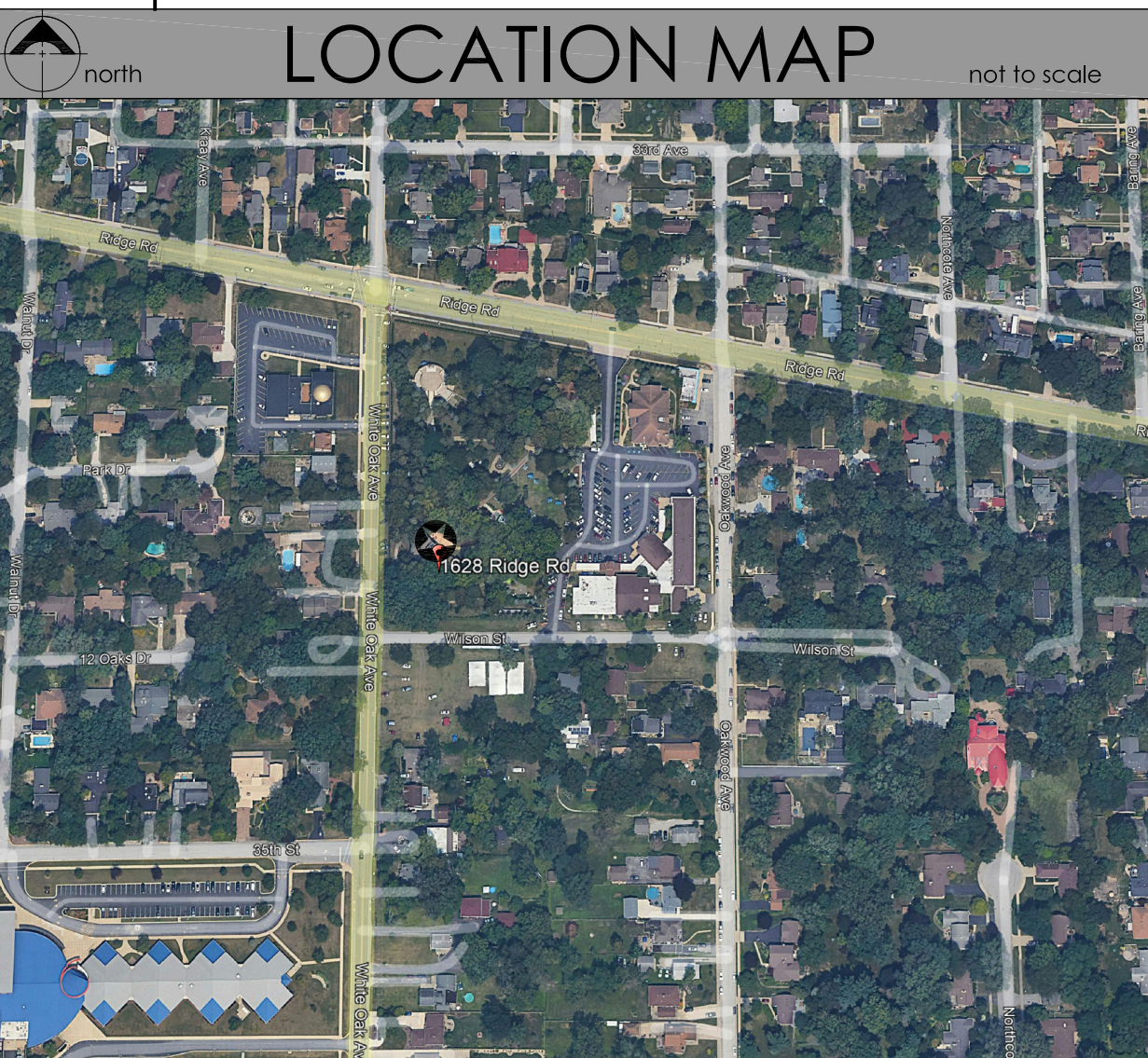
## ABBREVIATIONS

A.C. ACT.	A AIR CONDITIONING ACOUSTICAL CEILING TILE	FDN. F.D. F.E. F.E.C.	F FOUNDATION FLOOR DRAIN FIRE EXTINGUISHER CABINET	O.C. OPNG. OPP. O.D. O.H.	O ON CENTER OPENING OPPOSITE OUTSIDE DIAMETER OVERHEAD
ADJ. A.F.F ALUM. ARCH.	ADJACENT ABOVE FINISH FLOOR ALUMINUM ARCHITECT	FIXT. FT. FTG.	FIXTURE FEET, FOOT FOOTING	PTD. P. PR. PSF	PAINTED PLASTIC LAMINATE PAIR POUNDS PER SQUARE FT. PLATE Q. QUARRY TILE
BD. BRG. B.M. BIT. BLK. BLKG. BOT. BLDG. BRK.	BOARD BEARING BENCH MARK BITUMINOUS BLOCK BLOCKING BOTTOM BUILDING BRICK C.	GA. GALV. G.C. CL. GYP.	G. GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GYPSUM	PL. Q.T. R. RADIUS	PLATE QUARRY TILE ROOF DRAIN REFLECTED REQUIRED ROUGH OPENING S.
CLG. C.L. C.C. C.J. C.O. COL. CONC. CONT. CMU.	CEILING CENTER LINE CENTER TO CENTER CONTROL JOINT CLEAN OUT COLUMN CONCRETE CONTINUOUS CONCRETE MASONRY UNIT	HVAC HT. H.M. H.P. H.W. HORIZ. H.B. I. INSUL.	H. HEATING/VENTILATION HEIGHT HOLLOW METAL H.P. HOT WATER HORIZONTAL HOSE BIB I INSIDE DIAMETER INSULATE	R.A. REFL. REQD. R.O. S. SCHED. SECT. S.S. SIM. SPEC. STL. STRUCT. SUSP.	ROOF DRAIN REFLECTED REQUIRED ROUGH OPENING SCHEDULE SECTION STAINLESS STEEL SIMILAR SPECIFICATIONS STEEL STRUCTURAL SUSPENDED T
CONST. C.W.	CONSTRUCTION COLD WATER	MFR. M.O. MATL. MECH. MEZZ. E ELEC. EL. EMG. EQ. EXIST. E.J. EQ. EQUIP. E.W.H.	M. MANUFACTURER MASONRY OPENING MATERIAL MECHANICAL MEZZANINE METAL MIN. MISC. & @ # NA N.I.C. NOM. N.T.S.	T TEL. TEMP. T.S. TYP. UL. U.N.O. V. VTR. VCT. W W/ W/O W.C. W.H. W.W.F. WD.	TELEPHONE TEMPERARY TUBE STEEL TYPICAL U UNDERWRITERS LABS UNLESS NOTED OTHERWISE VENT THRU ROOF VINYL COMPOSITE TILE W WITH WITHOUT WATER CLOSET WATER HEATER WELDED WIRE FABRIC WOOD



## DRAWING INDEX

NO.	DRAWING TITLE
G1.0	TITLE SHEET / CODE INFORMATION / SITE PLAN
G1.1	GENERAL NOTES
AD1.1	ARCHITECTURAL DEMOLITION PLAN
A0.1	ARCHITECTURAL SITE PLAN
A1.0	FOUNDATION PLAN
A1.1	FLOOR PLAN
A1.2	ROOF PLAN
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING SECTIONS
A3.3	BUILDING SECTION



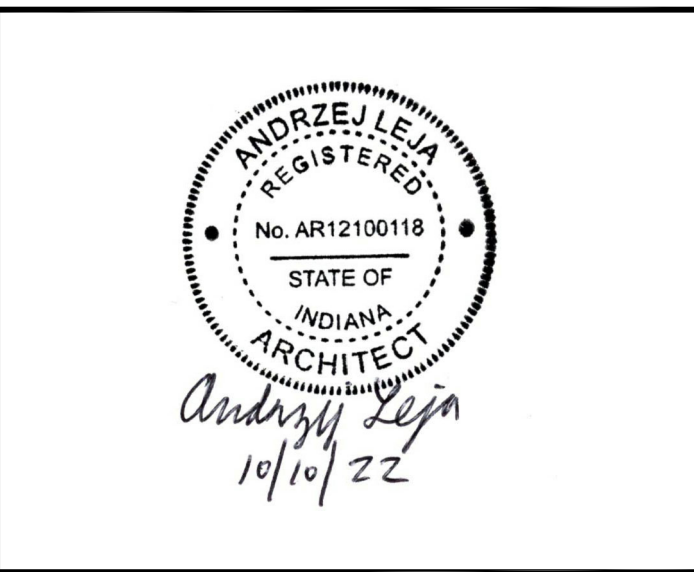
I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE CODES AND ORDINANCES OF THE TOWN OF MUNSTER CERTIFIED DRAWINGS: SEE SHEET INDEX		
ARCHITECT:	STATE OF INDIANA REGISTRATION NUMBER:	EXPIRATION DATE:
ANDRZEJ LEJA	AR12100118	12/31/2023

PROJECT TITLE:  
**PROPOSED  
ARCADE ADDITION**

PROJECT LOCATION:  
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S):  
**DISCALCED  
CARMELITE FATHERS**  
1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:  
**Andrzej Leja, AIA**  
14426 PINEWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



DRAWN BY:	CHECKED BY:
AL	AL
DATE:	PROJECT NUMBER:
02.28.2022	210428

SUBMISSION AND REVISIONS:		
NO.	DESCRIPTION	DATE
	ISSUED FOR PERMIT	10/10/2022

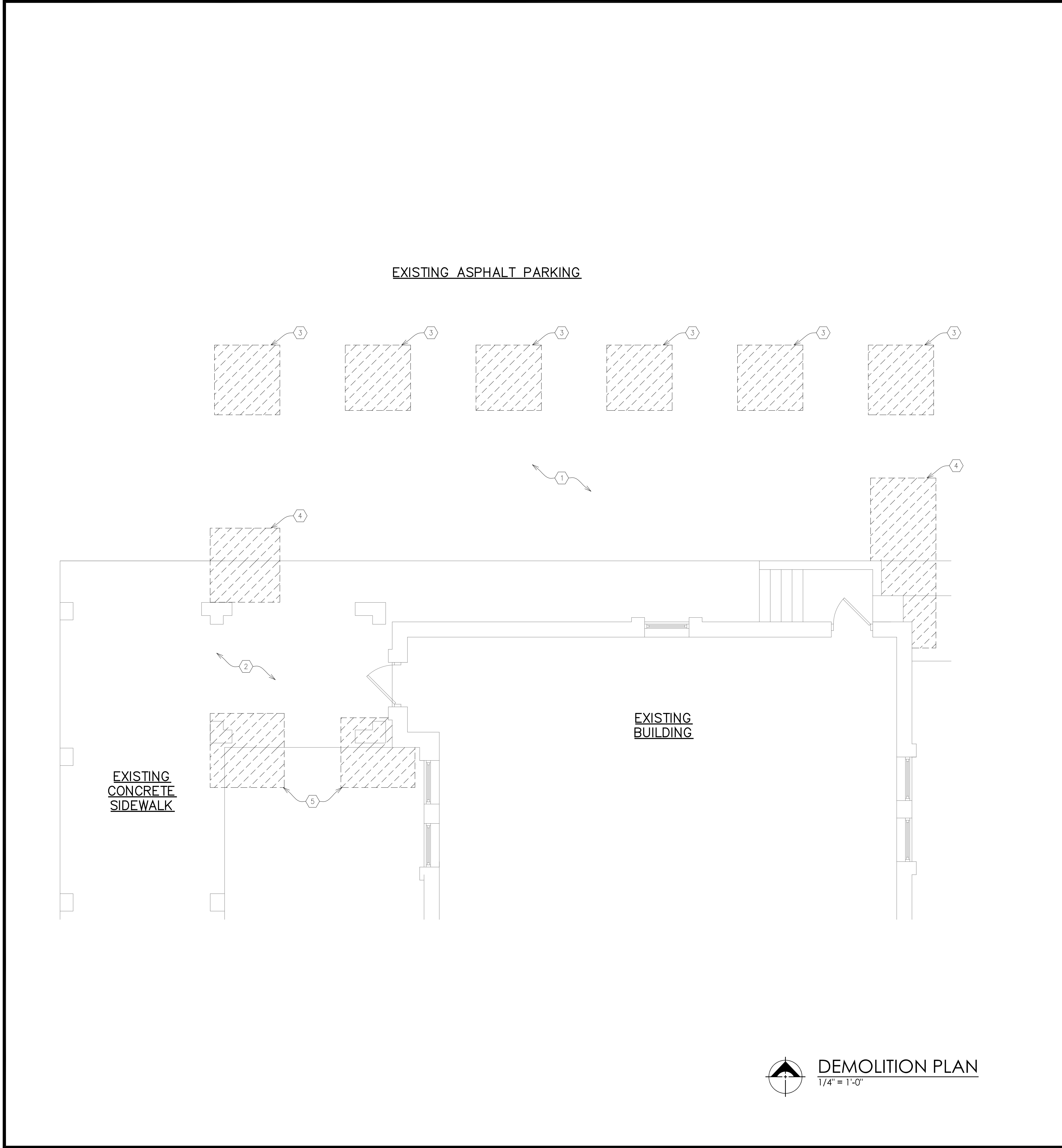
SHEET TITLE  
**TITLE SHEET  
CODE INFORMATION  
SITE PLAN**

SHEET NUMBER  
**G1.0**

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	<div>GENERAL CONSTRUCTION NOTES</div> <div><div>GENERAL CONSTRUCTION NOTES:</div><div><div>1.</div><div>ALL CONTRACTORS ARE REQUIRED TO VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR PROPOSAL. EACH INDIVIDUAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR FIELD CONDITIONS AND ACCURACY PRIOR TO SUBMITTING BIDS AND/OR PROCEEDING WITH ANY WORK. SHOULD ANY CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE DOCUMENTS, OR BE IN DOUBT AS TO THEIR MEANING, NOTIFY THE ARCHITECT AT ONCE, IN WRITING PRIOR TO SUBMITTING A BID. LACK OF SUCH NOTIFICATION SHALL BE CONSTRUED TO INDICATE THAT NO DISCREPANCIES OR CONFLICTS EXIST. ADDITIONAL COMPENSATION WILL NOT BE GRANTED AFTER THE AWARD OF CONTRACT FOR ANY WORK REQUESTED TO COMPLY WITH THESE REQUIREMENTS</div></div><div><div>2.</div><div>ALL CONTRACTORS TO PROVIDE ALL NECESSARY INSURANCE AND HOLD HARMLESS THE OWNER, ARCHITECT AND AGENTS THEREOF FROM ANY DAMAGES RESULTING FROM CONTRACTOR'S EXECUTION OF WORK.</div></div><div><div>3.</div><div>THE INTENT OF THESE DRAWINGS IS TO INDICATE TO CONTRACTORS, SUBCONTRACTORS AND OWNER THE DESIGN OF THE NEW ROOM ADDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTORS TO DETERMINE IN ACCORDANCE WITH ALL CODES AND OWNER CRITERIA, ALL METHODS FOR CONSTRUCTION CONNECTIONS OF MATERIALS AND ALL RELATED PROCEDURES. THE CONTRACTORS ARE RESPONSIBLE FOR ALL MATTERS OF LIFE SAFETY RESULTING FROM ALL CONSTRUCTION AND INSTALLATION OF MATERIALS.</div></div><div><div>4.</div><div>GENERAL CONTRACTOR SHALL ESTABLISH SAFE WORKING PROCEDURES FOR THE PROTECTION OF THE WORKMEN IN ALL PHASES OF WORK, COMPLYING WITH ALL APPLICABLE PROVISIONS OF CITY, STATE, AND FEDERAL SAFETY LAWS.</div></div><div><div>5.</div><div>DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN. DIMENSIONS ARE FROM FINISHED FACE, UNLESS NOTED OTHERWISE, THE CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. THE OWNER AND/OR ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES, WITH ALL DUE EXPEDIENCY, FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.</div></div><div><div>6.</div><div>ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SYMBOLS &amp; ABBREVIATIONS, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.</div></div><div><div>7.</div><div>THE GENERAL CONTRACTOR SHALL, BEFORE COMMENCING WORK, REVIEW ALL PLANS, SPECIFICATIONS TO MEET THE BASE BUILDING REQUIREMENTS ALONG WITH LOCAL CODES, UTILITY HOOKUPS, ETC.). ANY VARIATIONS OF DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO THE OWNER AND/OR ARCHITECT. THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE ORIGINAL CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM OWNER AND TENANT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.</div></div><div><div>8.</div><div>NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT AND/OR OWNER. ALL ITEMS INDICATED FOR REMOVAL SHALL BE THE PROPERTY OF THE OWNER.</div></div><div><div>9.</div><div>ALL WORK NOTED "BY OTHERS" OR "N.I.C." IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE "OTHER" CONTRACTORS AS REQUIRED.</div></div><div><div>10.</div><div>THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE PROJECT IN THE GIVEN TIME FRAME AGREED BY OWNER.</div></div><div><div>11.</div><div>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF DEBRIS, OFF SITE, RESULTING FROM DEMOLITION AND/OR NEW WORK DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE.</div></div></div>	<div>FRAMING NOTES</div> <div><div>GENERAL FRAMING NOTES:</div><div><div>1.</div><div>CONTRACTOR SHALL COORDINATE AND REFER TO THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND VERIFY THE LOCATION OF BEAMS, SIZE OF OPENINGS, ANCHOR BOLTS, PLATES, AND OTHER MISCELLANEOUS ITEMS BEFORE PLACEMENT OF CONCRETE OR ERECTION OF STEEL BEAMS.</div></div><div><div>2.</div><div>SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT SHOWN.</div></div><div><div>3.</div><div>UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.</div></div><div><div>4.</div><div>PROVIDE DOUBLE JOISTS FOR LONGER SPANS &amp; UNDER BEARING PARTITIONS.</div></div><div><div>5.</div><div>LAP JOISTS 3" MIN. OR SPLICE.</div></div><div><div>6.</div><div>PROVIDE BRIDGING BETWEEN JOISTS.</div></div><div><div>7.</div><div>PROVIDE TIES ON EACH PAIR OF RAFTERS. SIZE SAME AS RAFTERS</div></div><div><div>8.</div><div>ALL CONCENTRATED LOADS FROM BEAMS TO TRANSFER TO FOUNDATION VIA POSTS, BEAM AND/OR SOLID BLOCKING.</div></div><div><div>9.</div><div>RAFTER TIES SHALL BE PROVIDED WHERE RAFTERS DO NOT RUN PARALLEL WITH THE CEILING JOIST.</div></div><div><div>10.</div><div>THE RAFTERS SHALL BEAR FULLY ON THE RIDGE AND HIP RAFTERS. PROVIDE THE REQUIRED ADDITIONAL RIDGE AND HIP RAFTER SUPPORT WHERE NEEDED.</div></div><div><div>11.</div><div>ALL EXTERIOR SHEATHING SHALL BE 5/8" PLYWOOD SHEATHING.</div></div><div><div>12.</div><div>NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4 INCHES OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO THE MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2 INCHES TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES TO THE NOTCH.</div></div><div><div>13.</div><div>GENERAL CONTRACTOR TO FIELD VERIFY EXISTING FRAMING UNDER THE MASTER BATH TO CONFIRM THAT EXISTING FLOOR JOISTS ARE DOUBLE JOISTS. IF NECESSARY PROVIDE REINFORCEMENT.</div></div><div><div>14.</div><div>STEEL HANGERS AND STEEL CONNECTORS FOR WOOD FRAMING SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. OR OTHER MANUFACTURER ACCEPTABLE TO STRUCTURAL ENGINEER. STEEL HANGERS AND STEEL CONNECTORS SHALL PROVIDE MINIMUM CAPACITIES INDICATED ON DRAWINGS.</div></div></div>	<div>ENERGY CODE</div> <div>INDIANA ENERGY CONSERVATION CODE 2010</div> <div>CLIMATE ZONE: 5</div> <div>THE ACCESSORY STRUCTURE IS INTENDED FOR EXTERIOR USE.</div> <div><div>BUILDING DESIGN CRITERIA</div><div><div>GROUND SNOW LOAD</div><div>30</div></div><div><div>WIND SPEED (MPG)</div><div>90 / 3 SECOND WIND GUST</div></div><div><div>SEISMIC DESIGN CATEGORY</div><div>B</div></div><div><div>WEATHERING</div><div>SEVERE</div></div><div><div>FROST LINE</div><div>42"</div></div><div><div>TERMITE</div><div>MODERATE</div></div><div><div>WINTER DESIGN TEMPERATURE</div><div>-10°F</div></div><div><div>ICE BARRIER REQUIRED</div><div>YES</div></div><div><div>FLOOD HAZARDS</div><div>REFER TO LOCAL ORDINANCES</div></div><div><div>AIR FREEZING INDEX</div><div>1635</div></div><div><div>MEAN ANNUAL TEMPERATURE</div><div>48.7°F</div></div></div> <div><div>DESIGN LOADS</div><div><div>MINIMUM DESIGN LOADS:</div><div><div>LIVE LOADS</div><div></div></div><div><div>EXTERIOR BALCONIES</div><div>100 PSF</div></div><div><div>DECKS</div><div>100 PSF</div></div><div><div>DWELLING UNITS OR SLEEPING ROOMS</div><div>40 PSF</div></div><div><div>CORRIDORS (SLEEPING DWELLING ROOMS)</div><div>40 PSF</div></div><div><div>STAIRS</div><div>100 PSF</div></div><div><div>GUARDRAILS AND HANDRAILS</div><div>200 PSF</div></div><div><div>GUARDRAIL IN-FILL COMPONENTS</div><div>50 PSF</div></div></div></div>	<div><div>PROJECT TITLE:</div><div>PROPOSED ARCADE ADDITION</div></div> <div><div>PROJECT LOCATION:</div><div>1628 RIDGE ROAD MUNSTER, IN 46321</div></div> <div><div>OWNERS:</div><div>DISCALCED CARMELITE FATHERS 1628 RIDGE ROAD MUNSTER, IN 46321</div></div> <div><div>ARCHITECT OF RECORD:</div><div><div>Andrzej Leja, AIA</div><div>14426 PINWOOD DRIVE ORLAND PARK, IL 60467 708.261.7323</div></div></div> <div><div><div><div><div>DRAWN BY:</div><div>AL</div></div><div><div>CHECKED BY:</div><div>AL</div></div></div><div><div><div>DATE:</div><div>02.28.2022</div></div><div><div>PROJECT NUMBER:</div><div>210428</div></div></div><div><div>SUBMISSION AND REVISIONS:</div><table><thead><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr></thead><tbody><tr><td></td><td>ISSUED FOR PERMIT</td><td>10/10/2022</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></tbody></table></div></div><div><div><div>SHEET TITLE</div><div>GENERAL NOTES</div></div><div><div>SHEET NUMBER</div><div>G1.1</div></div></div><div><div>COPYRIGHT © 2022 BY AL</div></div></div>	NO.	DESCRIPTION	DATE		ISSUED FOR PERMIT	10/10/2022																								
NO.	DESCRIPTION	DATE																																
	ISSUED FOR PERMIT	10/10/2022																																
	<div>SITE NOTES</div> <div><div>GENERAL SITE NOTES:</div><div><div>1.</div><div>EXCAVATE, BACKFILL, COMPACT, AND GRADE THE SITE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND AS NEEDED TO MEET THE REQUIREMENTS OF THE CONSTRUCTION SHOWN IN THE CONTRACT DOCUMENTS.</div></div><div><div>2.</div><div>USE TOPSOIL SCRAPED FROM THE AREA OF NEW BUILDING CONSTRUCTION AND FROM SOURCES OUTSIDE THE PROJECT LIMITS AS REQUIRED.</div></div><div><div>3.</div><div>EXCAVATE AND BACKFILL IN A MANNER AND SEQUENCE THAT WILL PROVIDE PROPER DRAINAGE AT ALL TIMES. FOR EACH CLASSIFICATION LISTED BELOW, PLACE ACCEPTABLE SOIL MATERIALS IN LAYERS TO REQUIRED SUBGRADE ELEVATIONS:<div><div>3.A.</div><div>IN EXCAVATIONS: USE SATISFACTORY EXCAVATED OR BORROW MATERIAL.</div></div><div><div>3.B.</div><div>UNDER ASPHALT PAVEMENTS: USE SUBBASE MATERIALS.</div></div><div><div>3.C.</div><div>UNDER BUILDING SLABS: USE GRANULAR FILL.</div></div></div></div></div>	<div>MASONRY NOTES</div> <div><div>MASONRY NOTES:</div><div><div>A.</div><div>HOLLOW LOAD BEARING AND NON-LOAD BEARING UNITS SHALL BE GRADE N HAVING A MINIMUM COMPRESSIVE PRISM STRENGTH OF f'm= 1800 PSI.</div></div><div><div>B.</div><div>MORTAR SHALL BE TYPE S.</div></div><div><div>C.</div><div>GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.</div></div><div><div>D.</div><div>REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60.</div></div><div><div>E.</div><div>SPLICE VERTICAL REINFORCEMENT A MINIMUM OF 52 BAR DIAMETER.</div></div><div><div>F.</div><div>PROVIDE 2-#5 FULL HEIGHT REINFORCEMENT AT ALL EDGE OF DOOR OPENINGS AND CONTROL JOINTS. GROUT CELLS AT BARS.</div></div></div>																																
	<div>CONCRETE NOTES</div> <div><div>GENERAL CONCRETE NOTES:</div><div><div>1.</div><div>ALL CONCRETE WORK SHALL BE IN STRICT CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.</div></div><div><div>2.</div><div>ALL FOOTINGS TO REST ON UNDISTURBED SOIL OR COMPACTED FILL AT 95% ASTM COMPACTION.</div></div><div><div>3.</div><div>ALL FOOTINGS TO BE DESIGNED FOR 3000 PSF SOIL BEARING CAPACITY.</div></div><div><div>4.</div><div>ALL REINFORCING BARS ARE TO BE ASTM GRADE 40.</div></div><div><div>5.</div><div>ALL WELDED WIRE MESH TO CONFORM TO ASTM 815-61T.</div></div><div><div>6.</div><div>ALL CONCRETE TO MIXED AND PLACED IN ACCORDANCE WITH ACI STANDARDS.</div></div><div><div>7.</div><div>PROTECT ALL CONCRETE FROM ADVERSE WEATHER.</div></div><div><div>8.</div><div>BREAK OFF ALL WALL TIES AND FILL WITH MASTIC BEFORE PROOFING.</div></div><div><div>9.</div><div>ALL EXPOSED CONCRETE TO HAVE 5% TO 7% AIR ENTRAINMENT.</div></div><div><div>10.</div><div>CONCRETE TO BE READY-MIXED, 3000 PSI (MIN.), 20 DAY STRENGTH (5 BAG MIX) TO BE POURED CONTINUOUSLY WHENEVER POSSIBLE.</div></div><div><div>11.</div><div>NO CONCRETE IS TO BE POURED INTO STANDING WATER OR WHEN TEMPERATURE IS BELOW 32 F.</div></div><div><div>12.</div><div>TOPS OF ALL CONCRETE WALLS AND SLABS SHALL NOT VARY MORE THEN 1/8 PLUS OR MINUS FROM THE GRADES AND LEVELS SHOWN ON THE DRAWINGS.</div></div><div><div>13.</div><div>AT ALL EXTERIOR SLABS THAT ARE EXPOSED TO EXTERIOR AND SALT SHALL HAVE 3500 PSI (MIN), 20 DAY STRENGTH AND ARE TO BE POURED CONTINUOUSLY WHENEVER POSSIBLE. ALL SLABS SHALL BE MIN. 4" THICK.</div></div></div>	<div>ELECTRICAL NOTES</div> <div><div>GENERAL ELECTRICAL NOTES:</div><div><div>A.</div><div>CONTRACTOR SHALL FURNISH &amp; INSTALL A COMPLETE, SAFE &amp; RELIABLE ELECTRICAL OPERATING SYSTEM INCLUDING BUT NOT LIMITED TO MATERIALS, LABOR &amp; EQUIPMENT. INSTALLED AS PER ALL GOVERNING CODES &amp; LOCAL ORDINANCES.</div></div><div><div>B.</div><div>CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL TRADES &amp; SERVICES INCLUDING BUT NOT LIMITED TO INCOMING GAS, ELECTRIC, WATER &amp; CABLE TV SERVICES. COORDINATE ALL SERVICE CONNECTIONS WHERE APPLICABLE.</div></div><div><div>C.</div><div>ALL LIGHT SWITCHES AS INDICATED ON PLAN AS BEING DIRECTLY ADJACENT SHALL BE GANGED TOGETHER UNDER A COMMON SWITCH COVER PLATE.</div></div><div><div>D.</div><div>ALL ELECTRICAL CONDUIT WITHIN FINISHED AREAS SHALL BE CONCEALED IN PARTITIONS &amp; CEILING SPACES, U.N.O.</div></div><div><div>E.</div><div>ALL ELECTRICAL WORK SHALL BE IN STRICT CONFORMANCE WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES.</div></div><div><div>F.</div><div>WALL SWITCHES TO BE INSTALLED AT 46 INCHES ABOVE THE FLOOR.</div></div><div><div>G.</div><div>ALL POWERED CIRCUITS SHALL BE LEGIBLY LABELED AT THE CIRCUIT BREAKER PANEL.</div></div><div><div>H.</div><div>ALL OUTLETS AND OR SWITCH BOXES SHALL BE LOCATED SO AS TO ELIMINATE THE OCCURRENCE OF BACK-TO-BACK BOXES.</div></div></div>																																



DEMOLITION PLAN  
1/4" = 1'-0"

NOTES

1. REFER TO SHEET G1.1 FOR ALL GENERAL NOTES.

KEY NOTES

- 1 EXISTING ASPHALT PAVEMENT TO REMAIN.
- 2 REMOVE EXISTING CONCRETE PAVEMENT TO REMAIN.
- 3 SAW CUT AND REMOVE PORTION OF EXISTING ASPHALT PAVING AS NEEDED TO ACCOMMODATE INSTALLATION OF NEW PIER FOOTINGS AND FOUNDATIONS. INSTALL NEW ASPHALT AFTER FOUNDATIONS ARE INSTALLED. MATCH EXISTING GRADES AND SLOPES.
- 4 SAW CUT AND REMOVE PORTION OF EXISTING ASPHALT AND CONCRETE PAVING AS NEEDED TO ACCOMMODATE INSTALLATION OF NEW PIER FOOTINGS AND FOUNDATIONS. INSTALL NEW ASPHALT AFTER FOUNDATIONS ARE INSTALLED. MATCH EXISTING GRADES AND SLOPES.
- 5 SAW CUT AND REMOVE PORTION OF EXISTING CONCRETE PAVING AND FOUNDATIONS AS NEEDED TO ACCOMMODATE INSTALLATION OF NEW PIER FOOTINGS AND FOUNDATIONS. INSTALL NEW CONCRETE AFTER FOUNDATIONS ARE INSTALLED. MATCH EXISTING GRADES AND SLOPES.

PROJECT TITLE:

PROPOSED  
ARCADE ADDITION

PROJECT LOCATION:

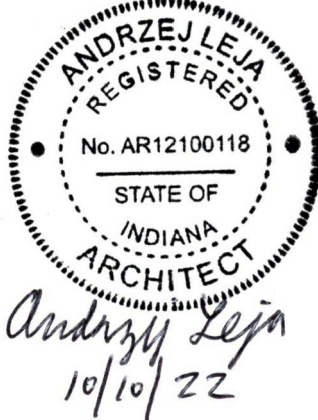
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S):

DISCALCED  
CARMELITE FATHERS  
1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:

Andrzej Leja, AIA  
14426 PINWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



DRAWN BY:

AL

CHECKED BY:

AL

DATE:

02.28.2022

PROJECT NUMBER:

210428

SUBMISSION AND REVISIONS:

NO.	DESCRIPTION	DATE
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SHEET TITLE

ARCHITECTURAL  
DEMOLITION PLAN

SHEET NUMBER

AD1.1

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1. REFER TO SHEET G1.1 FOR ALL GENERAL NOTES.

PROJECT TITLE:

## PROJECT LOCATION:

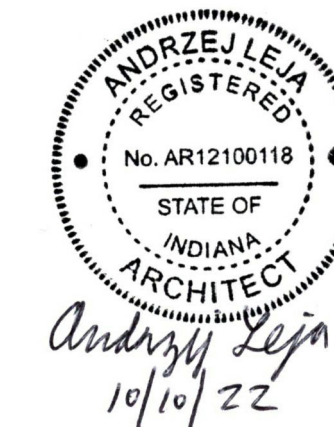
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S)

1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:

14426 PINWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



DRAWN BY:

AL

DATE \_\_\_\_\_

02.28.2022

	CHECKED BY
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AL

PROJECT NUMBER:

210428

## SUBMISSION AND REVISIONS

[illegible]

SHEET TITLE

SHEET NUMBER

# A0.1

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**SITE PLAN**  
1" = 30'-0"

$$1'' = 30' - 0$$

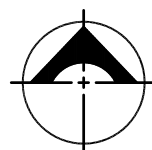
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UNEXCAVATED

EXISTING  
BUILDING



FOUNDATION PLAN  
1/4" = 1'-0"

1. REFER TO SHEET G1.1 FOR ALL GENERAL NOTES.

1	CONCRETE PIER WITH 4 - #5 REBAR VERTICAL & #3 REBAR TIES @ 18" O.C. HORIZONTAL.
2	3'-0"x3'-0"x1'-0" CONCRETE FOOTING WITH 3 - #5 REBAR EACH WAY, TYPICAL.
3	3'-4"x3'-0"x1'-0" CONCRETE FOOTING WITH 3 - #5 REBAR EACH WAY, TYPICAL.
4	3'-0"x1'-0" CONTINUOUS CONCRETE FOOTING. PROVIDE 3 - #5 REBAR @ TOP AND BOTTOM.
5	3 1/2" DIA. STEEL CONCRETE FILLED PIPE COLUMN, TYPICAL, WITH 8"x8" BASE PLATES BOLTED TO THE CONCRETE PIER.
6	DOWEL NEW FOOTING INTO EXISTING FOOTING. MATCH NEW FOOTING DEPTH WITH THE DEPTH OF THE EXISTING FOOTING.
7	1'-4" CONCRETE FOUNDATION WALL WITH #5 REBAR @ 16" O.C. VERTICAL & #3 REBAR TIES @ 18" O.C. HORIZONTAL. PROVIDE 2 - #5 REBAR @ TOP AND BOTTOM.

PROJECT TITLE:

## PROPOSED ARCADE ADDITION

PROJECT LOCATION:

1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S)

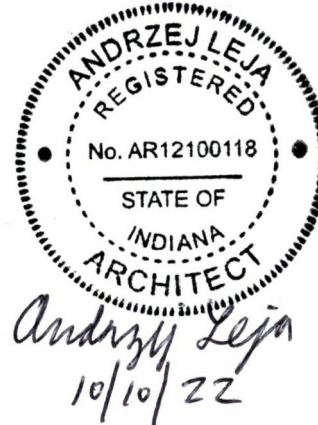
DISCALCED  
CARMELITE FATHERS

1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:

*Andrzej Leja, AIA*

14426 PINWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



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DATE:  
02.28.2022

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PROJECT NUMBER:  
210428

## SUBMISSION AND REVISIONS

NO.	DESCRIPTION	DATE
	ISSUED FOR PERMIT	10/10/2022

SHEET TITLE

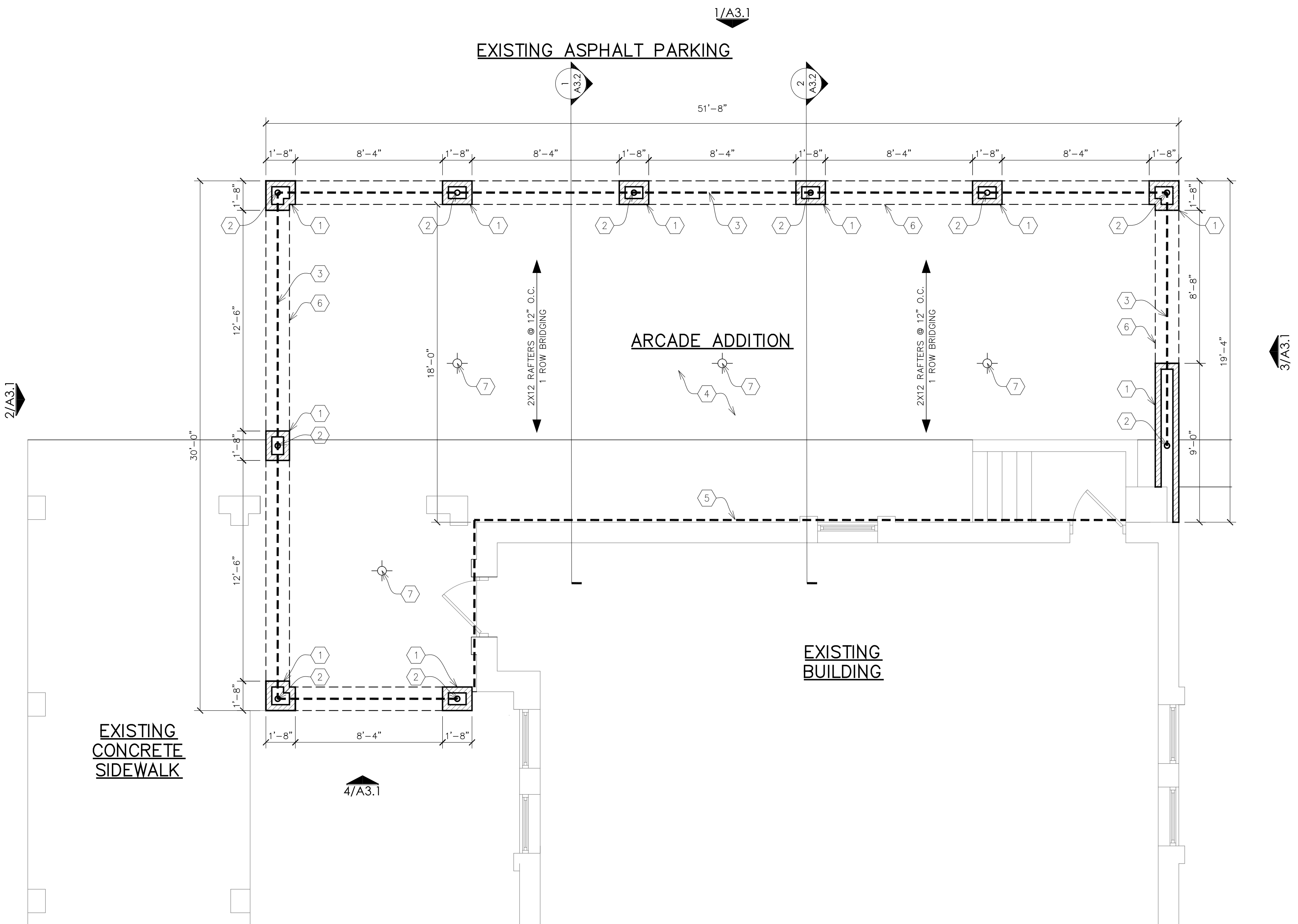
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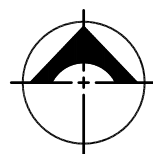
SHEET NUMBER

# A1.0

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 **FLOOR PLAN**  
1/4" = 1'-0"

## NOTES

1. REFER TO SHEET G1.1 FOR ALL GENERAL NOTES.

## KEY NOTES

- BRICK PIER WITH MODULAR FACE BRICK
- 3 1/2" DIA. STEEL CONCRETE FILLED PIPE COLUMN, TYP.
- (2) 2x12 WOOD BEAMS
- 2x12 WOOD RAFTERS AT 12" O.C. TYPICAL, ATTACHED TO LEDGER BOARDS AND BEAMS WITH JOIST HANGERS.
- 2x12 LEDGER BOARDS BOLTED THROUGH EXISTING MASONRY WITH 1/2" DIA. CARRIAGE BOLTS. TWO BOLTS @ 16" O.C.
- OVERHEAD MASONRY ARCH
- PROVIDE NIGHT LIGHTS UNDER THE ARCADE. CONNECT LIGHTING TO SPARE CIRCUIT WITHIN THE BUILDING.

PROJECT TITLE:

## PROPOSED ARCADE ADDITION

PROJECT LOCATION:

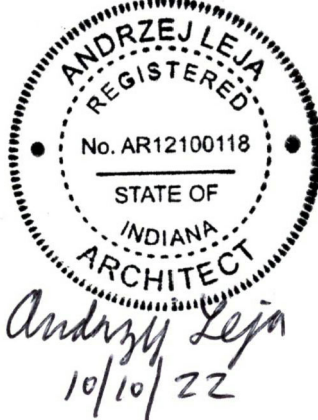
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S):

DISCALCED  
CARMELITE FATHERS  
1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:

**Andrzej Leja, AIA**  
14426 PINWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



DRAWN BY:

AL

CHECKED BY:

AL

DATE:

02.28.2022

PROJECT NUMBER:

210428

SUBMISSION AND REVISIONS:

NO.	DESCRIPTION	DATE
	ISSUED FOR PERMIT	10/10/2022

SHEET TITLE

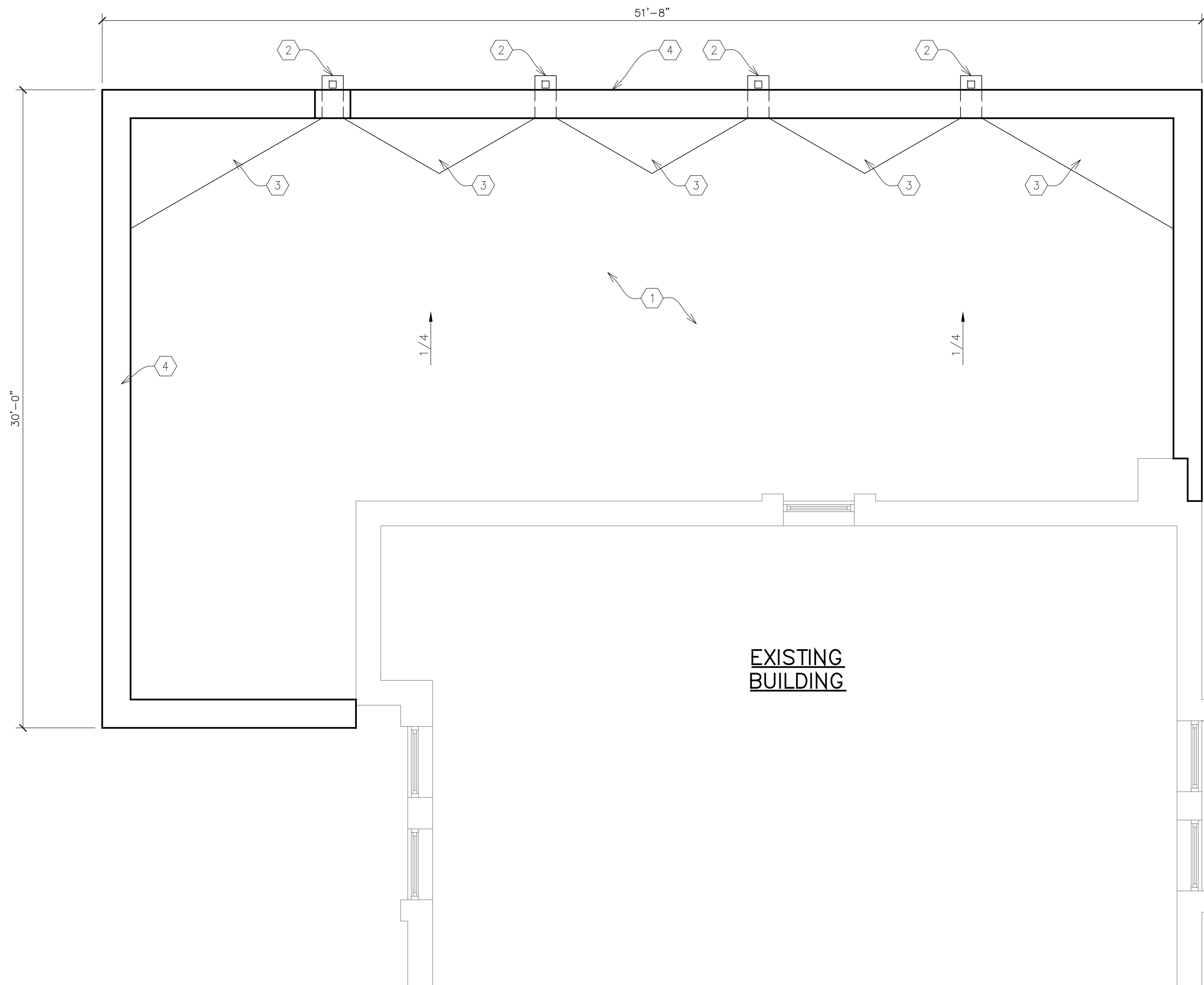
## FLOOR PLAN

SHEET NUMBER

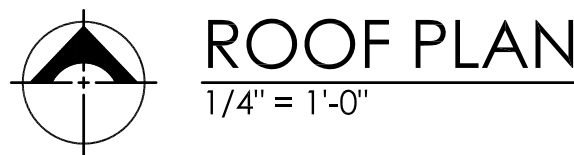
# A1.1

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EXISTING  
BUILDING



## NOTES

- NOTE:
- REFERENCE SHEET G1.1 FOR ALL GENERAL NOTES.
  - PROVIDE CRICKETS AT ALL SLOPED ROOF PENETRATIONS.
  - PROVIDE RIDGE & VALLEY FLASHING, TYPICAL.
  - PROVIDE 3'-0" MIN. OF ICE AND WATER SHIELD @ ALL OVERHANGS AND VALLEYS.
  - INSTALL ROOFING SYSTEM PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND DETAILS.

## KEY NOTES

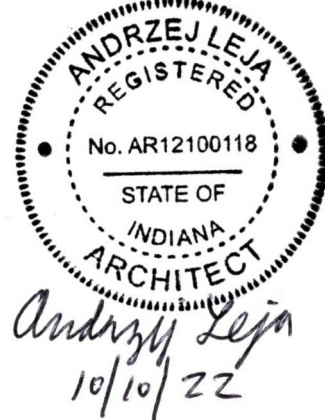
- ROOF CONSTRUCTION:**  
3/4" TONGUE AND GROOVE PLYWOOD ROOF SHEATHING  
45 MIL FULLY ADHERED TPO ROOF SYSTEM  
\*WHERE INDICATED AND REQUIRED TO SLOPE TO DRAIN, USE TAPERED POLYISOCYANURATE INSULATION MECHANICALLY FASTENED TO ROOF DECK, WITH TAPERED UNITS TO FORM CRICKETS TO SLOP TO DRAINS.
- PREFINISHED THRU-WALL WELDED METAL SCUPPER WITH DROPPED COLLECTOR BOX AND DOWN SPOUT. COLOR TO MATCH EXISTING METAL COPING FINISH.
- ROOF CRICKETS  
\*WHERE INDICATED AND REQUIRED TO SLOPE TO DRAIN, USE TAPERED POLYISOCYANURATE INSULATION MECHANICALLY FASTENED TO ROOF DECK, WITH TAPERED UNITS TO FORM CRICKETS TO SLOP TO DRAINS.
- PRE-FINISHED ALUMINUM COPING SYSTEM. COLOR TO MATCH EXISTING METAL COPING FINISH.

## PROPOSED ARCADE ADDITION

PROJECT LOCATION:  
  
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S):  
  
DISCALCED  
CARMELITE FATHERS  
1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:  
  
**Andrzej Leja, AIA**  
14426 PINEWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



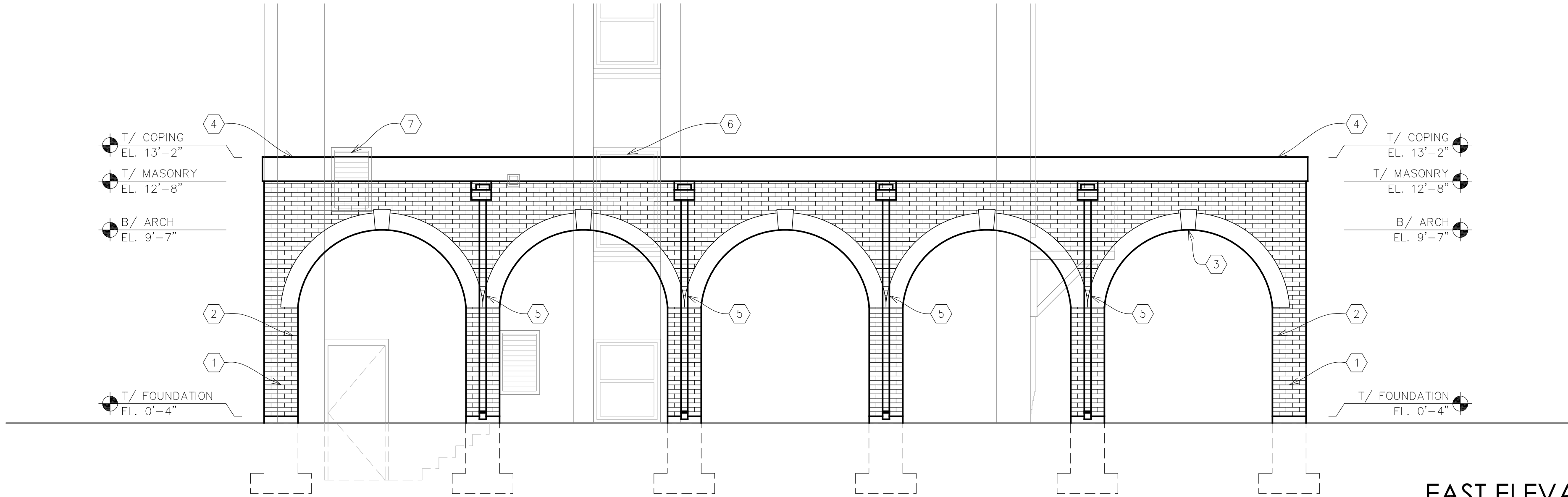
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DATE: 02.28.2022	PROJECT NUMBER: 210428

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NO.	DESCRIPTION	DATE
	ISSUED FOR PERMIT	10/10/2022

## ROOF PLAN

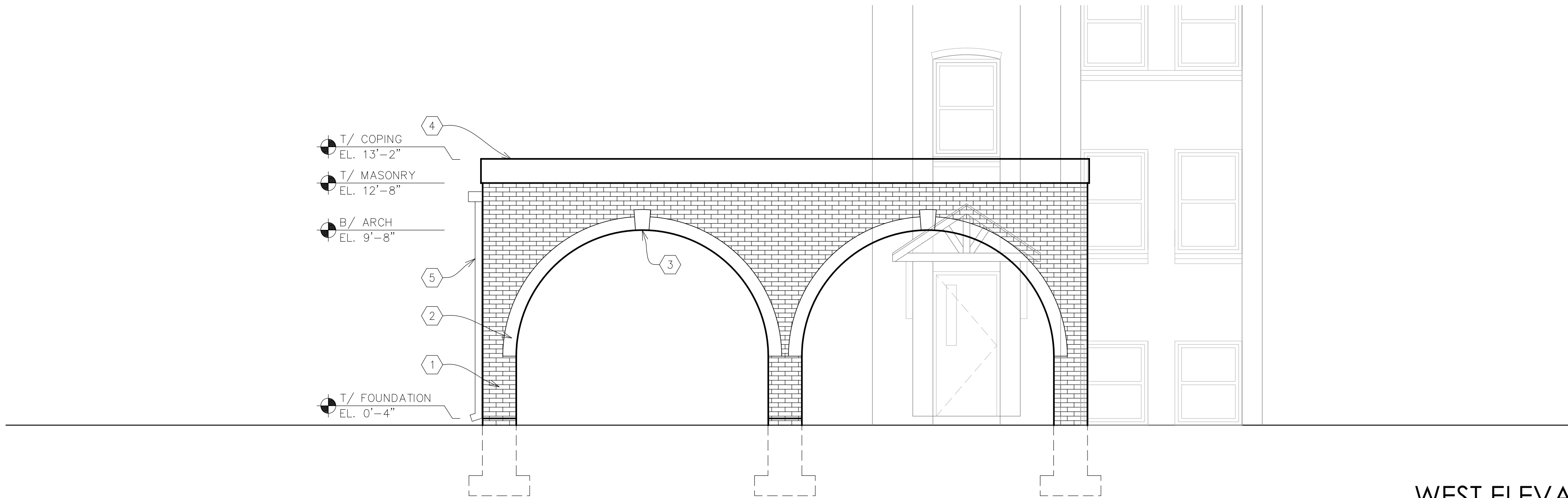
SHEET NUMBER  
  
**A1.2**





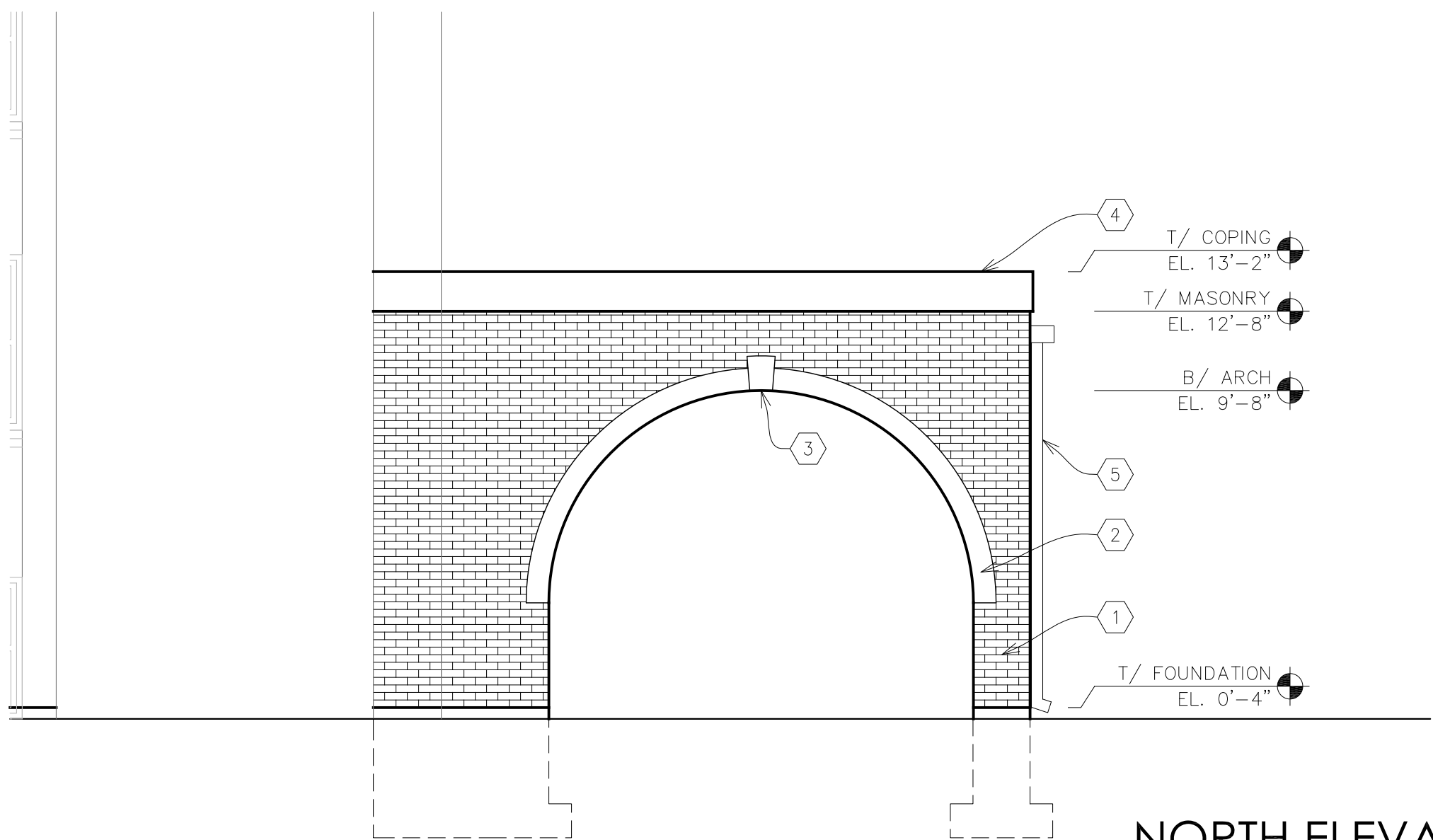
EAST ELEVATION 1

1/4" = 1'-0" A3.1



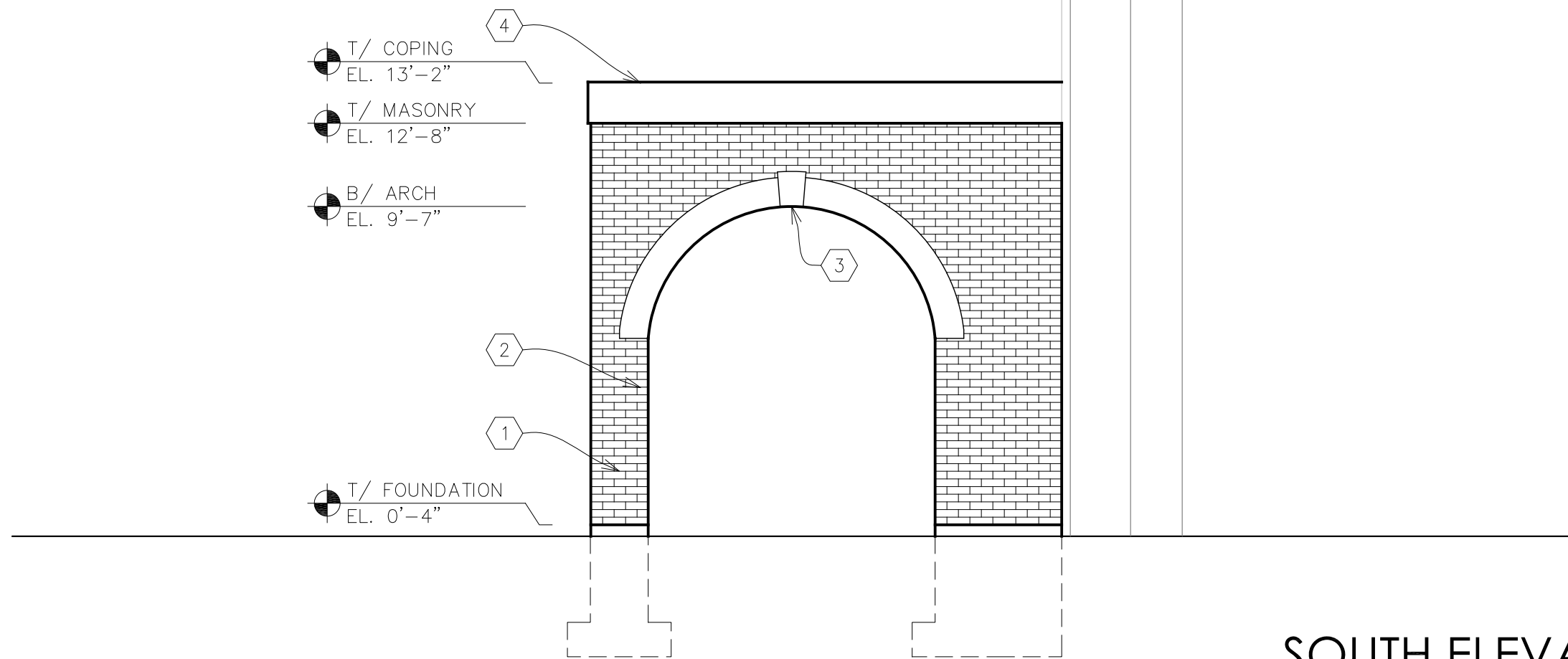
WEST ELEVATION 2

1/4" = 1'-0" A3.1



NORTH ELEVATION 3

1/4" = 1'-0" A3.1



SOUTH ELEVATION 4

1/4" = 1'-0" A3.1

## KEY NOTES

- 1 MODULAR FACE BRICK
- 2 MASONRY ARCH
- 3 LIMESTONE KEYSTONE
- 4 PREFINISHED ALUMINUM FASCIA
- 5 PREFINISHED THRU-WALL WELDED METAL SCUPPER WITH DROPPED COLLECTOR BOX AND DOWN SPOUT.
- 6 REMOVE EXISTING WINDOW AND INFILL WITH MASONRY TO MATCH EXISTING CONSTRUCTION.
- 7 REMOVE AND RELOCATE EXISTING LOUVER. INFILL EXISTING OPENING WITH MASONRY TO MATCH EXISTING CONSTRUCTION.

PROJECT TITLE:

## PROPOSED ARCADE ADDITION

PROJECT LOCATION:

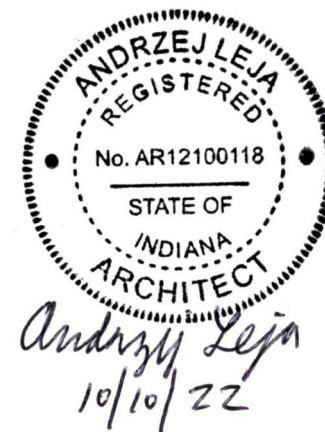
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S):

DISCALCED  
CARMELITE FATHERS  
1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:

*Andrzej Leja, AIA*  
14426 PINWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



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DATE:

02.28.2022

PROJECT NUMBER:

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SUBMISSION AND REVISIONS:

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SHEET TITLE

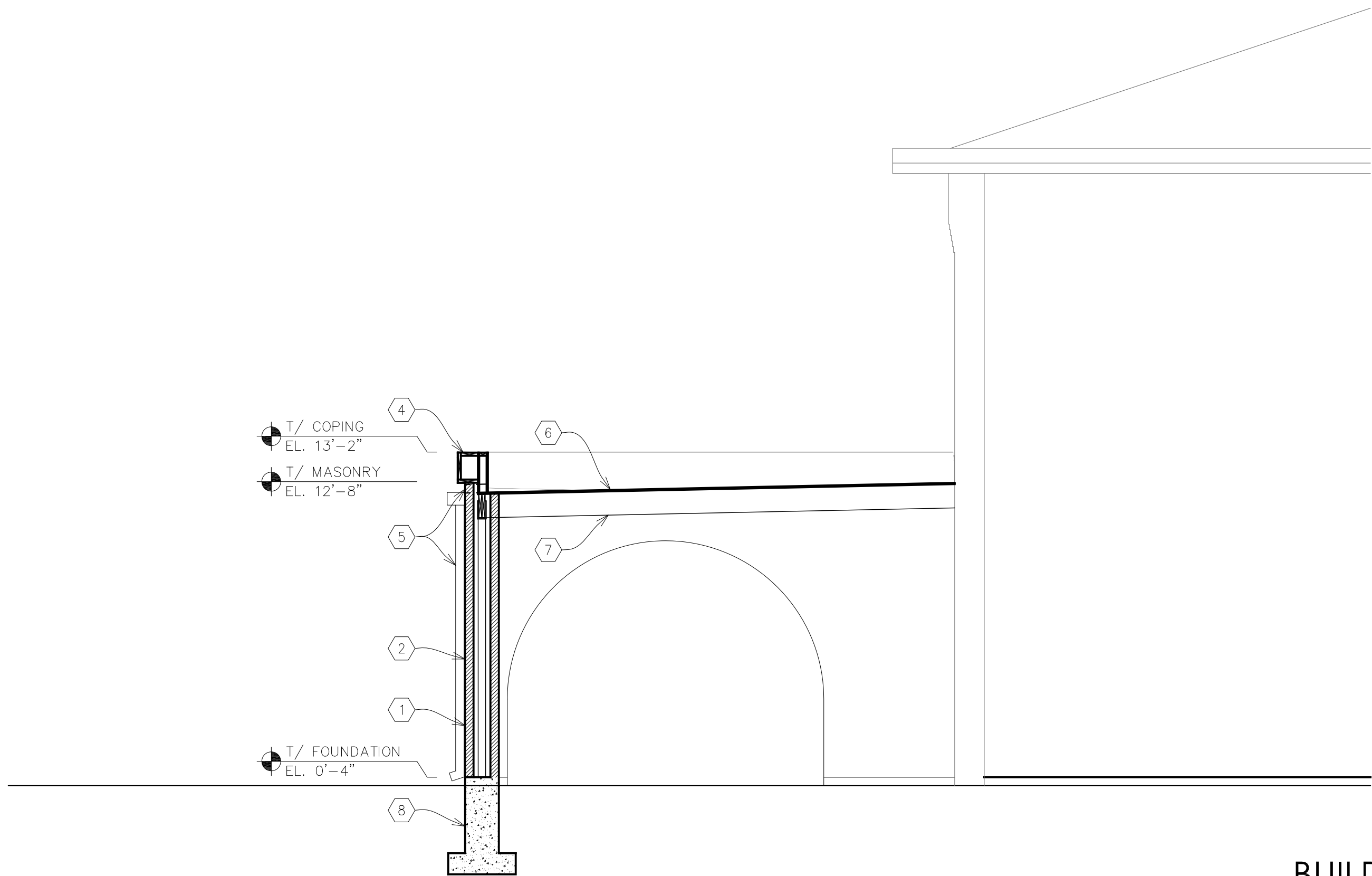
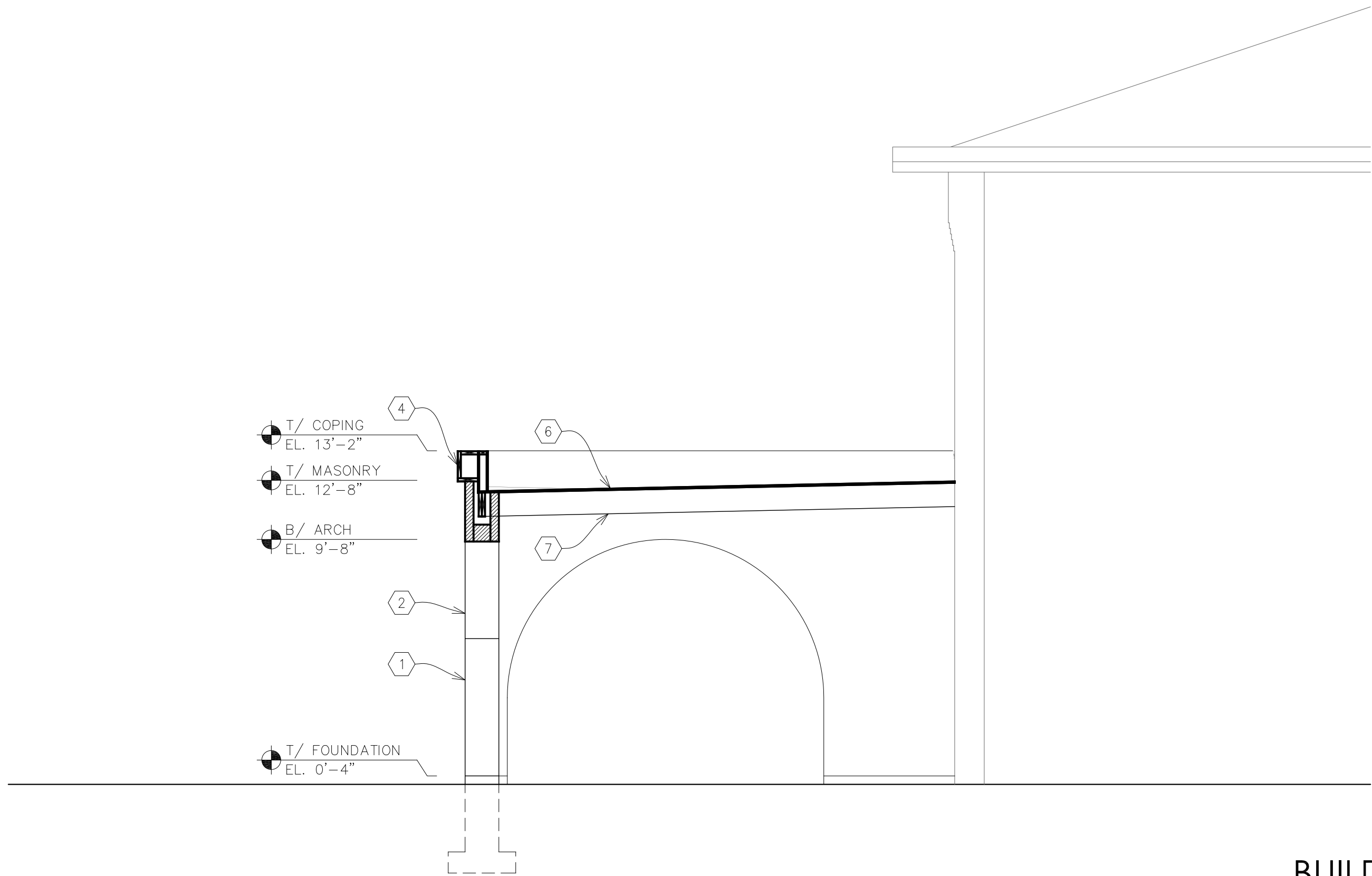
## BUILDING ELEVATIONS

SHEET NUMBER

# A3.1

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KEY NOTES

- 1 MODULAR FACE BRICK
- 2 MASONRY ARCH
- 3 LIMESTONE KEYSTONE
- 4 PREFINISHED ALUMINUM FASCIA
- 5 PREFINISHED THRU-WALL WELDED METAL SCUPPER WITH DROPPED COLLECTOR BOX AND DOWN SPOUT.
- 6 FULLY ADHERED TPO ROOF MEMBRANE OVER 3/4" PLYWOOD DECK.
- 7 2x12 WOOD ROOF JOISTS
- 8 CONCRETE FOUNDATION

PROJECT TITLE:

**PROPOSED  
ARCADE ADDITION**

PROJECT LOCATION:

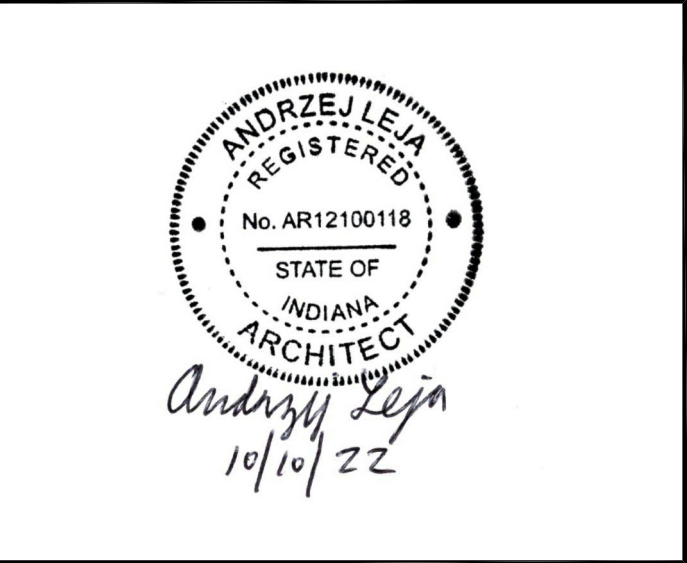
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S):

**DISCALCED  
CARMELITE FATHERS**  
1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:

**Andrzej Leja, AIA**  
14426 PINWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



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AL	AL
DATE:	PROJECT NUMBER:
02.28.2022	210428

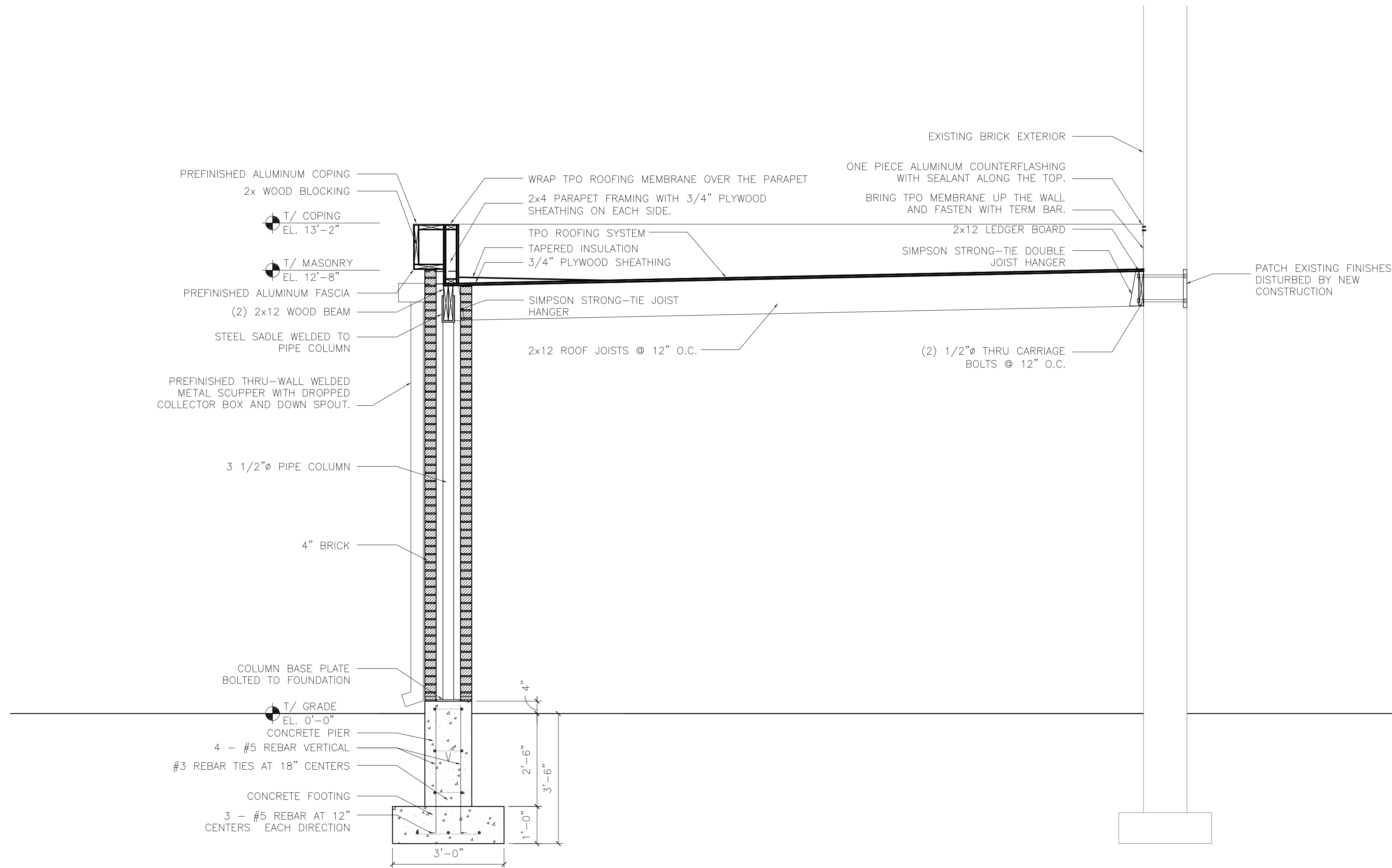
SUBMISSION AND REVISIONS:		
NO.	DESCRIPTION	DATE
	ISSUED FOR PERMIT	10/10/2022

SHEET TITLE

**BUILDING  
SECTIONS**

SHEET NUMBER

**A3.2**



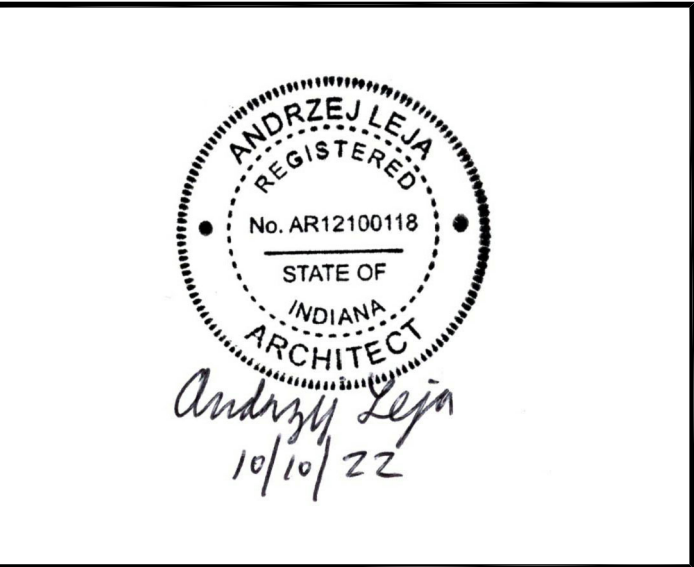
BUILDING SECTION 1  
1/2" = 1'-0" A3.3

PROJECT TITLE:  
**PROPOSED  
ARCADE ADDITION**

PROJECT LOCATION:  
1628 RIDGE ROAD  
MUNSTER, IN 46321

OWNER(S):  
**DISCALCED  
CARMELITE FATHERS**  
1628 RIDGE ROAD  
MUNSTER, IN 46321

ARCHITECT OF RECORD:  
**Andrzej Leja, AIA**  
14426 PINWOOD DRIVE  
ORLAND PARK, IL 60467  
708.261.7323



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DATE: 02.28.2022	PROJECT NUMBER: 210428

SUBMISSION AND REVISIONS:		
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	ISSUED FOR PERMIT	10/10/2022

SHEET TITLE  
**BUILDING  
SECTION**

SHEET NUMBER  
**A3.3**